

**FIRST AMENDMENT TO FACILITY USE AGREEMENT WITH TRAINING AND RESEARCH
FOUNDATION FOR CORBIN CENTER AND EL SALVADOR CENTER**

THIS FIRST AMENDMENT to the above-referenced agreement is entered into September 17, 2024, by and between Training and Research Foundation (“TRF”), a California non-profit corporation, and the City of Santa Ana, a charter city and municipal corporation organized and existing under the Constitution and laws of the State of California (“City”). City and TRF are also collectively referred to herein as “the Parties.”

RECITALS

- A. The Parties entered into Agreement No. A-2021-191 (“Agreement”) dated August 17, 2021, to grant TRF the limited right to operate licensed childcare at the Corbin Center and El Salvador Center to provide services to low and mid-income preschool children and families in Santa Ana.
- B. The Agreement is current and in-effect through August 31, 2026.
- C. The Parties now wish to amend the Agreement to add the Logan Center as a service location and increase the monthly fee to account for the Logan Center.

The Parties therefore agree:

- 1. **Section 1C**, is amended to also include **Exhibit C-1** of this First Amendment, attached hereto.
- 2. **Section 1**, is hereby amended to include a paragraph **D**, which shall read as follows:

City grants TRF the right to provide licensed childcare services at Logan Center in the area specified in **Exhibit C-1** attached hereto and incorporated by reference.
- 3. **Section 3, Consideration**, is hereby amended to include an additional monthly fee of **\$600** for the use of Logan Center for a total fee of \$2,600 per month for use of the Facilities.
- 4. Except as modified by this First Amendment, all terms and conditions of the Agreement, shall remain in full force and effect.

[signature page follows]

**SIGNATURE PAGE FOR
FIRST AMENDMENT TO FACILITY USE AGREEMENT WITH TRAINING AND RESEARCH
FOUNDATION FOR CORBIN CENTER AND EL SALVADOR CENTER**

IN WITNESS WHEREOF, the Parties hereto have executed this First Amendment to the Agreement on the date and year first written above.

ATTEST

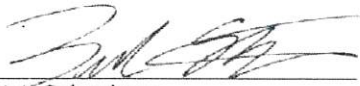
CITY OF SANTA ANA


Jennifer L. Hall
City Clerk

Alvaro Nuñez
City Manager


APPROVED AS TO FORM
SONIA R. CARVALHO
City Attorney

**TRAINING AND RESEARCH
FOUNDATION**

By: 
Brandon Salvatierra
Deputy City Attorney


Name: Renee Jacobs
Title: CEO

RECOMMENDED FOR APPROVAL



Hawk Scott (Sep 3, 2024 15:23 PDT)
Hawk Scott
Executive Director
Parks, Recreation and Community Services Agency

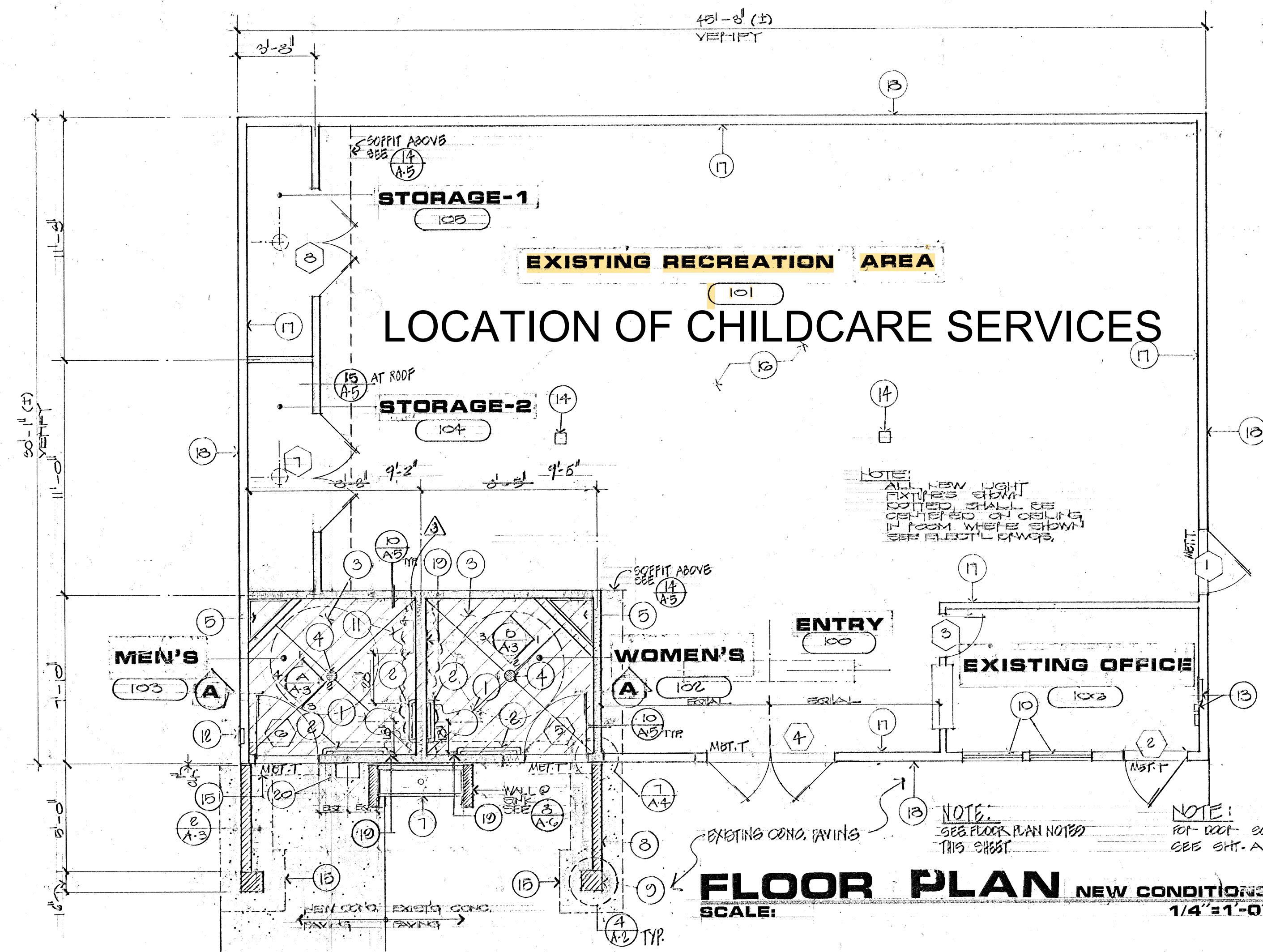
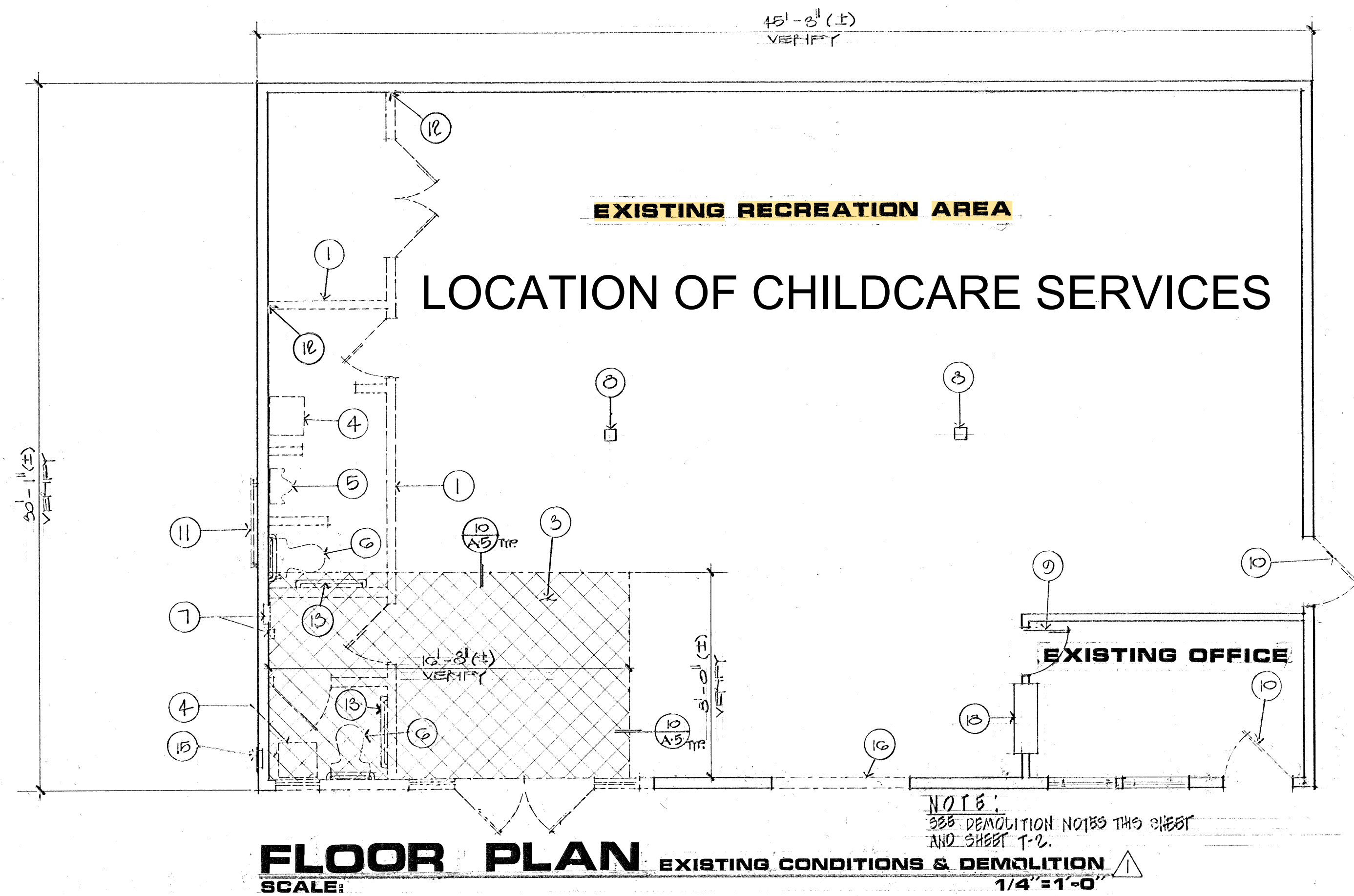
EXHIBIT C-1

4 of 14

PR 7517

Logan Park

1-24-16



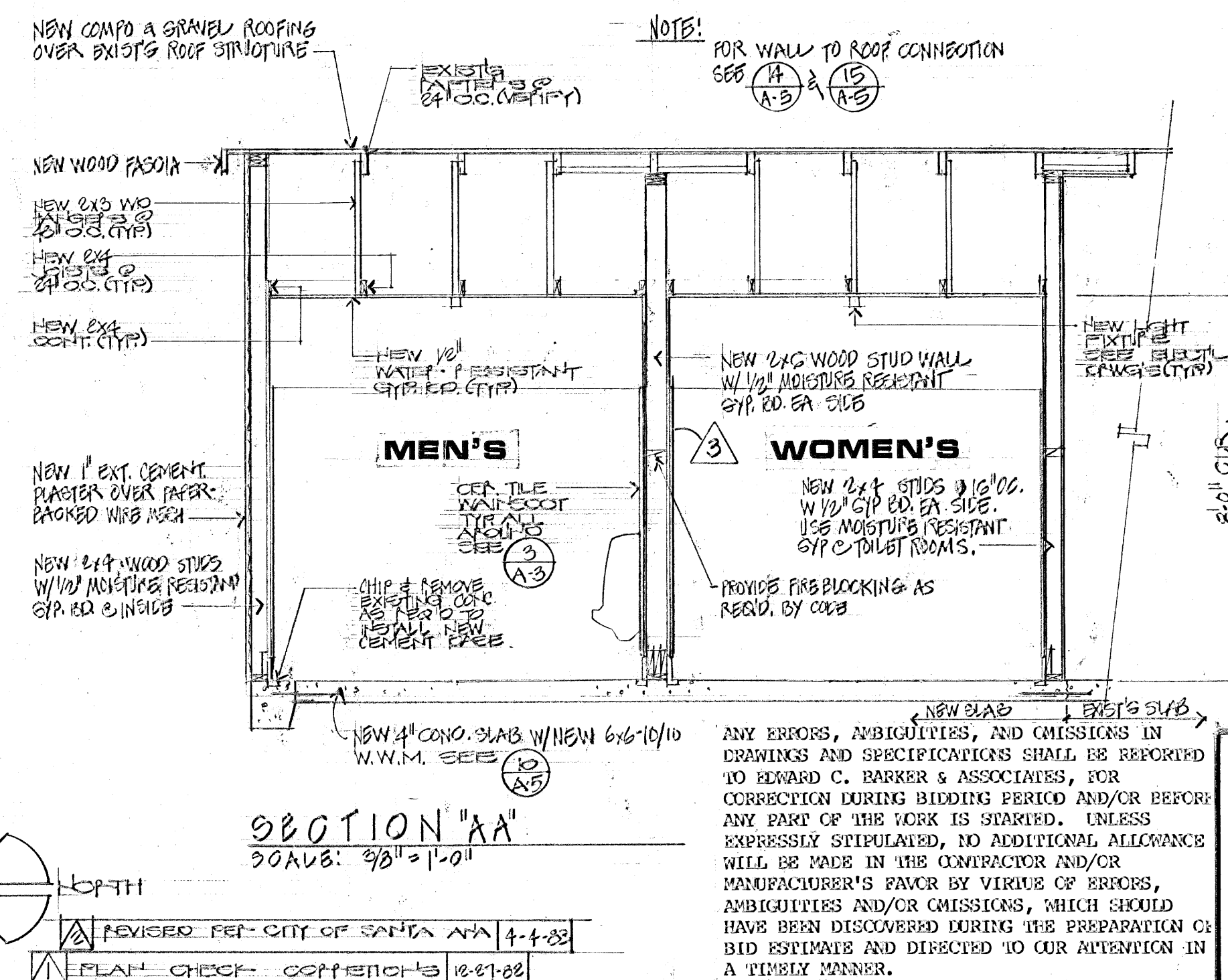
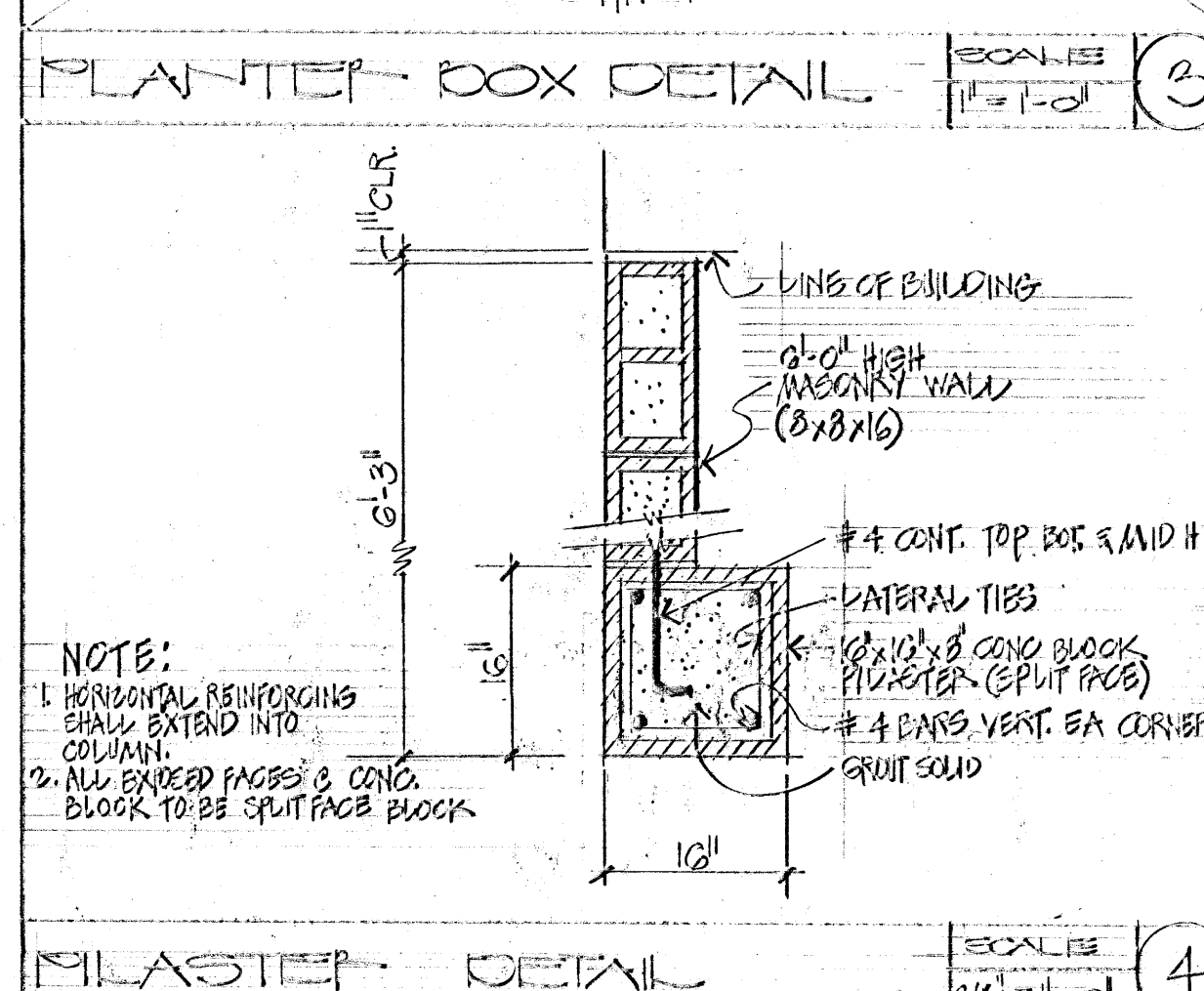
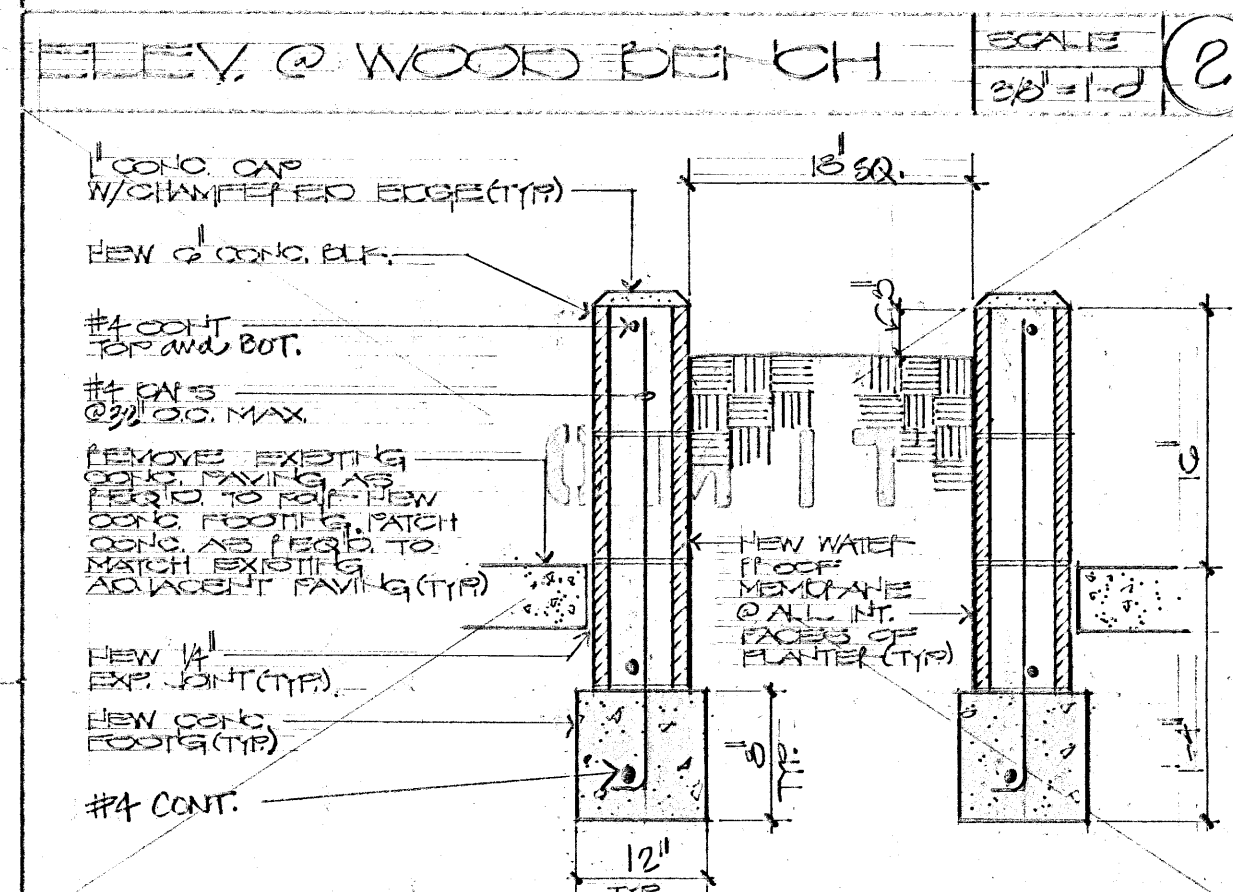
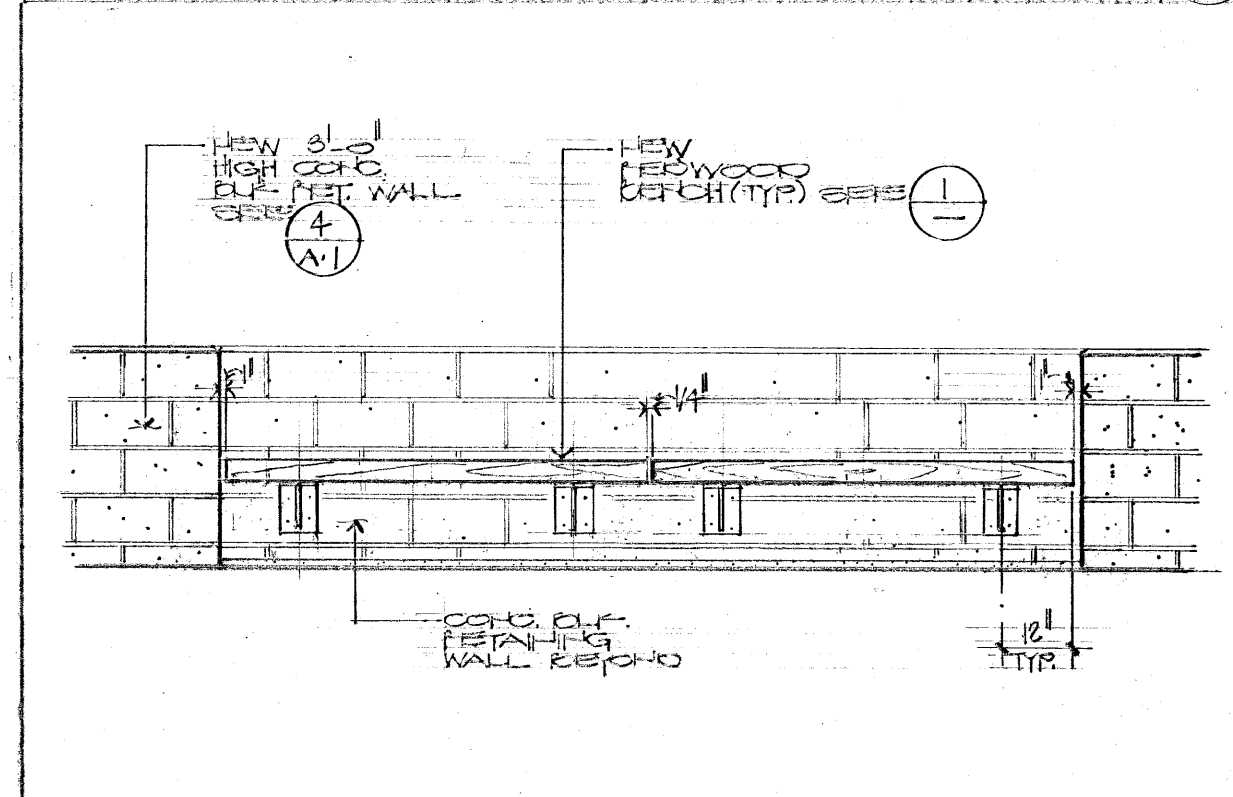
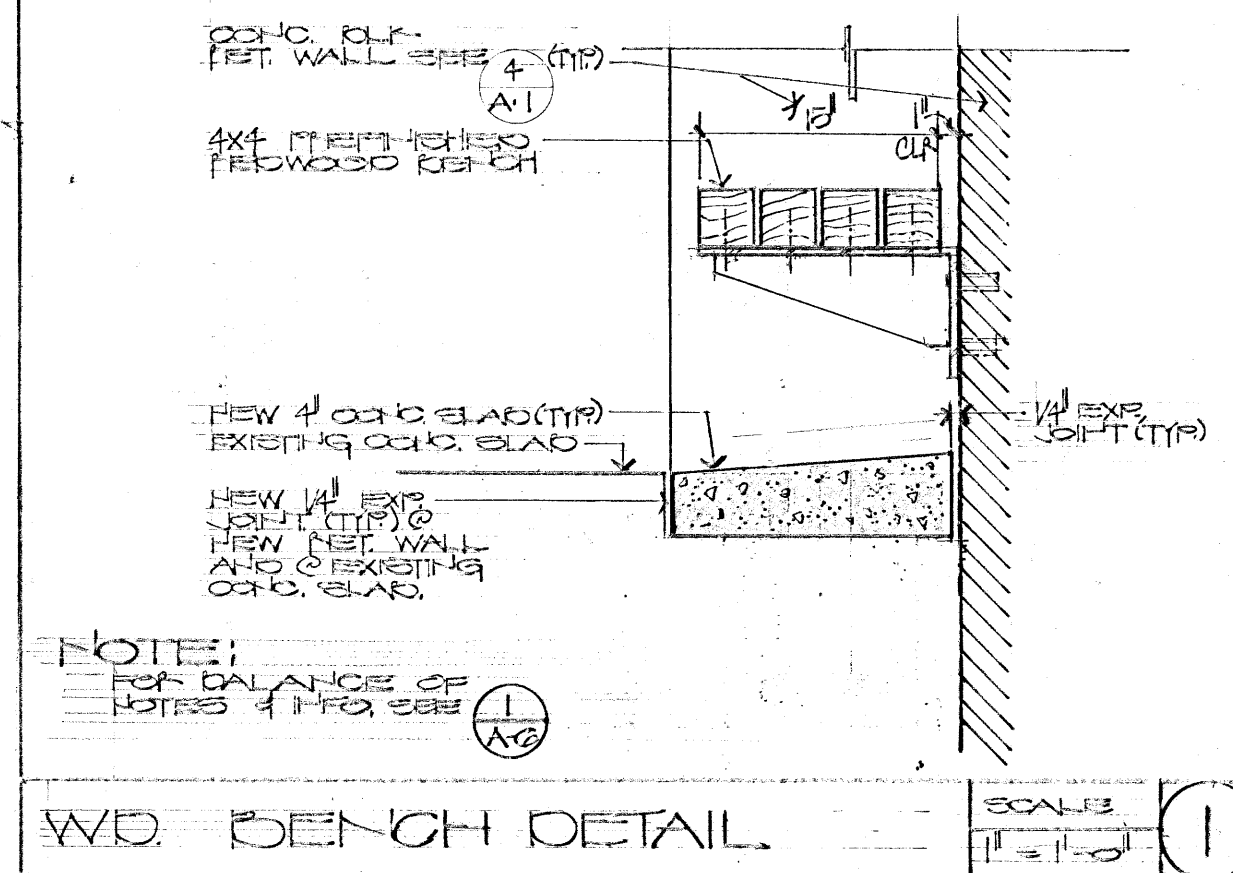
FLOOR PLAN NOTES

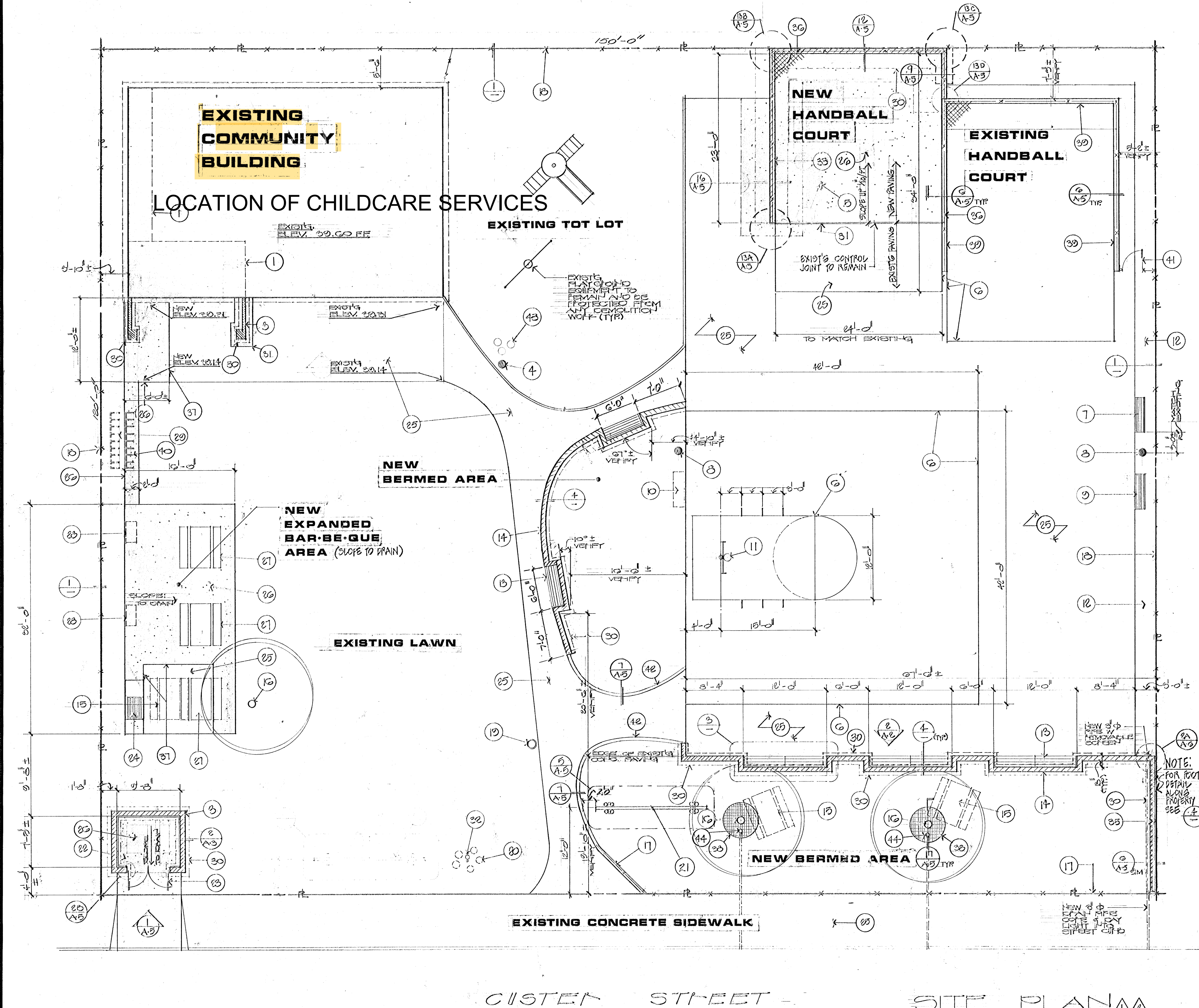
NOTES FOR FLOOR PLAN; (EXISTING CONDITIONS AND DEMOLITION)

- Existing walls, partitions, doors, frames, thresholds, hardware, etc. to be demolished and removed, (shown dotted, unless otherwise noted). Contractor shall notify Architect immediately of wood or steel structural posts or columns concealed in partitions or walls indicated to be demolished.
- Existing roof structure to remain. Temporarily shore and/or brace roof structure in-place during demolition and removal of existing partitions and walls below until new concrete footings and new bearing walls are in-place.
- Existing concrete floor slab, footings, anchor bolts, etc to be demolished and removed from the site.
- Existing lavatory to be removed and become property of the Owner.
- Existing urinal to be salvaged, cleaned, repaired as required and relocated to New Men's Restroom.
- Existing water closet to be salvaged, cleaned, repaired as required and relocated to New Men's and Women's Restrooms.
- Existing electrical panel and light timer to be cleaned, repaired as required and relocated to Existing Office (see Floor Plan; New Conditions).
- Existing structural wood post to remain (typ).
- Existing metal gate to be cleaned, repaired as required and remain in place.
- Existing door to be removed.
- Existing plumbing pipes, joints, concrete, etc. to be demolished and removed from the site. Patch wall as required to match existing adjacent plaster.
- Patch existing walls, floors and ceilings at removed partitions as required to match existing adjacent work.
- Existing grab bars to be salvaged cleaned and relocated in new Men's and Women's Restroom. See Floor Plan (New Conditions).
- Remove existing roofing, gravel stop and fascia. Provide and install new corrugated metal roofing, new metal flashing at existing plumbing pipes piercing existing roof. Provide and install new 2 x 10 Cont. Rd. fascia and new 26 gauge, galvanized iron gravel stop all around.
- Existing meter to remain.
- Existing wall to be removed for installation of new door.
- REMOVE EXISTING CONCRETE PAVING AS REQUIRED FOR NEW PLANTER BOX-SEE DETAIL (A2).
- EXISTING PASS-THRU CORNER TO REMAIN.
- NEW TOILET PAPER FOR LOCATION SEE INT. ELEVATIONS.

NOTES FOR FLOOR PLAN; (NEW CONDITIONS)

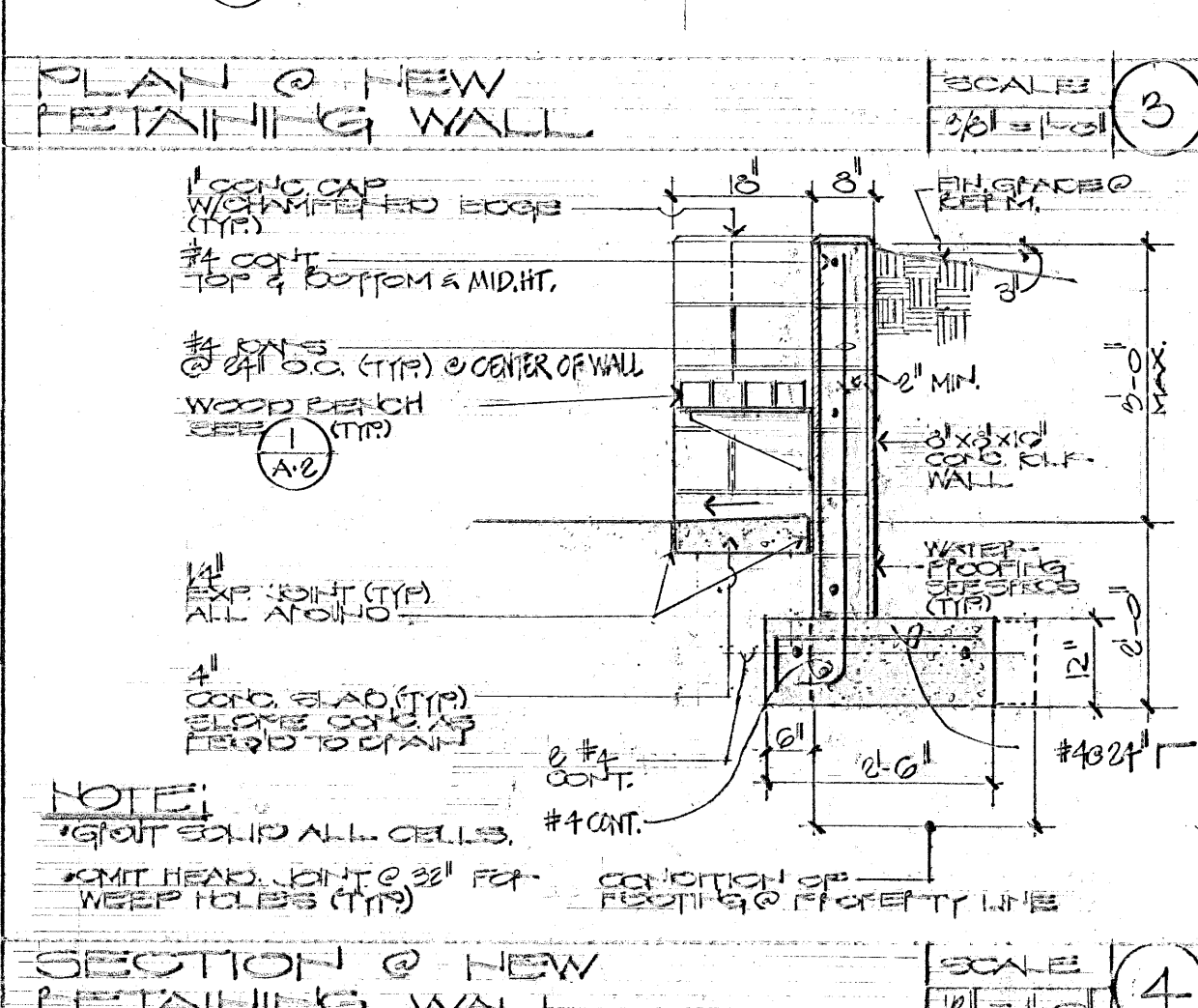
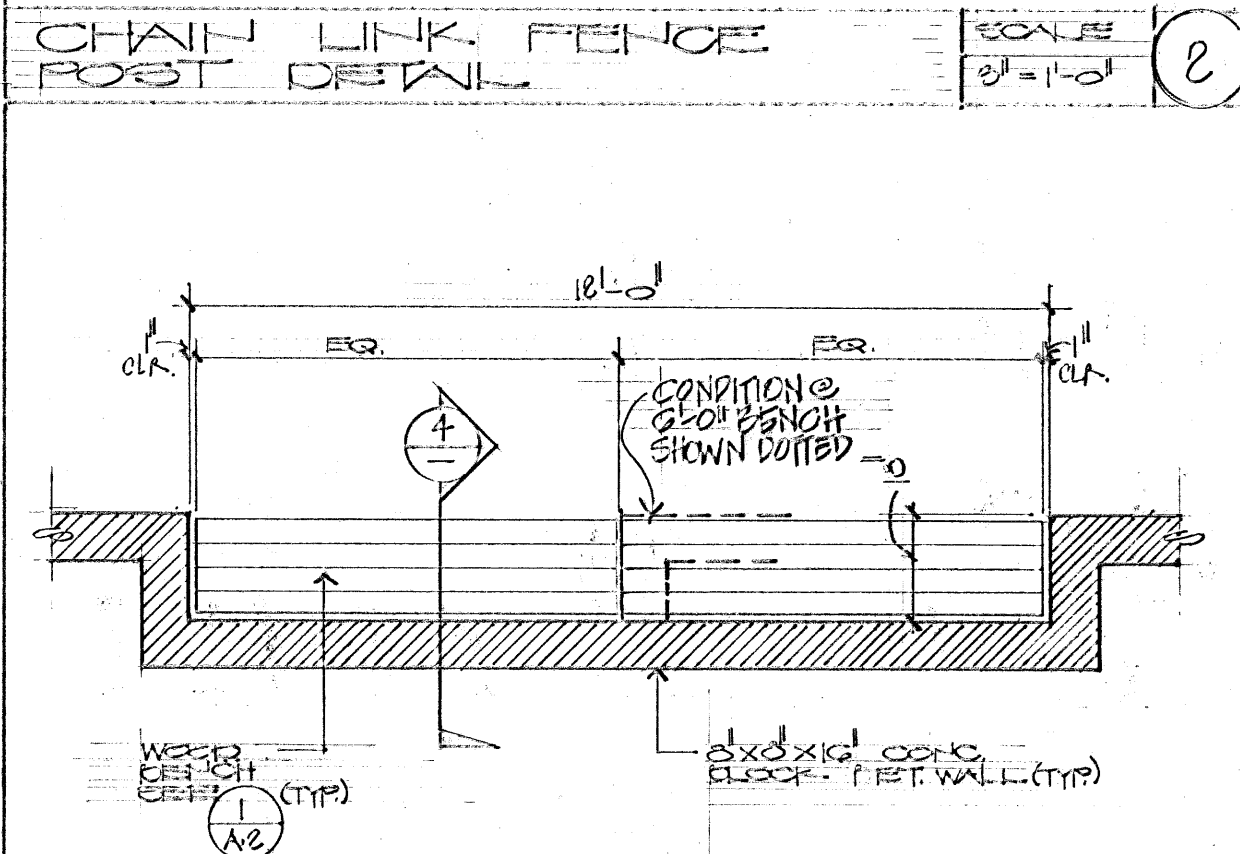
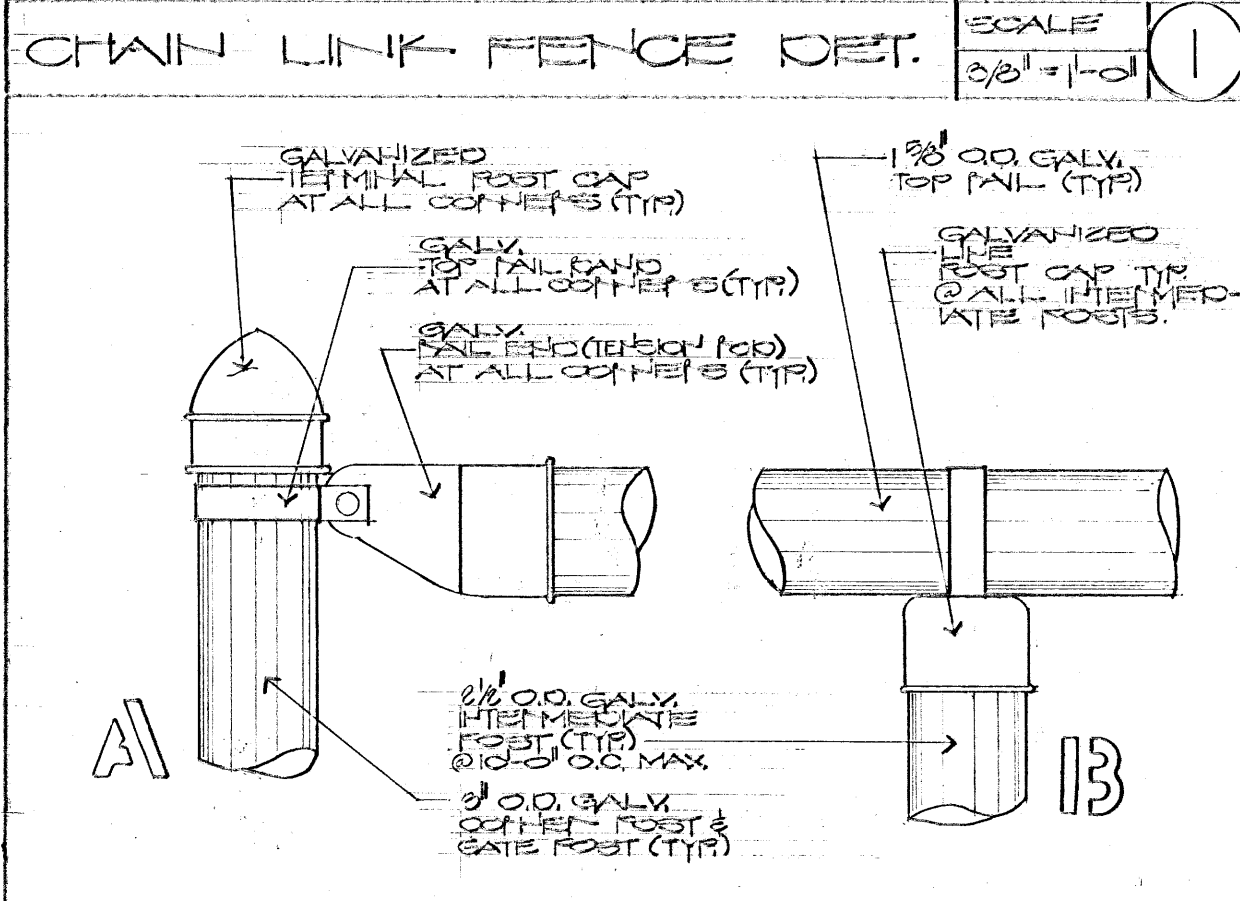
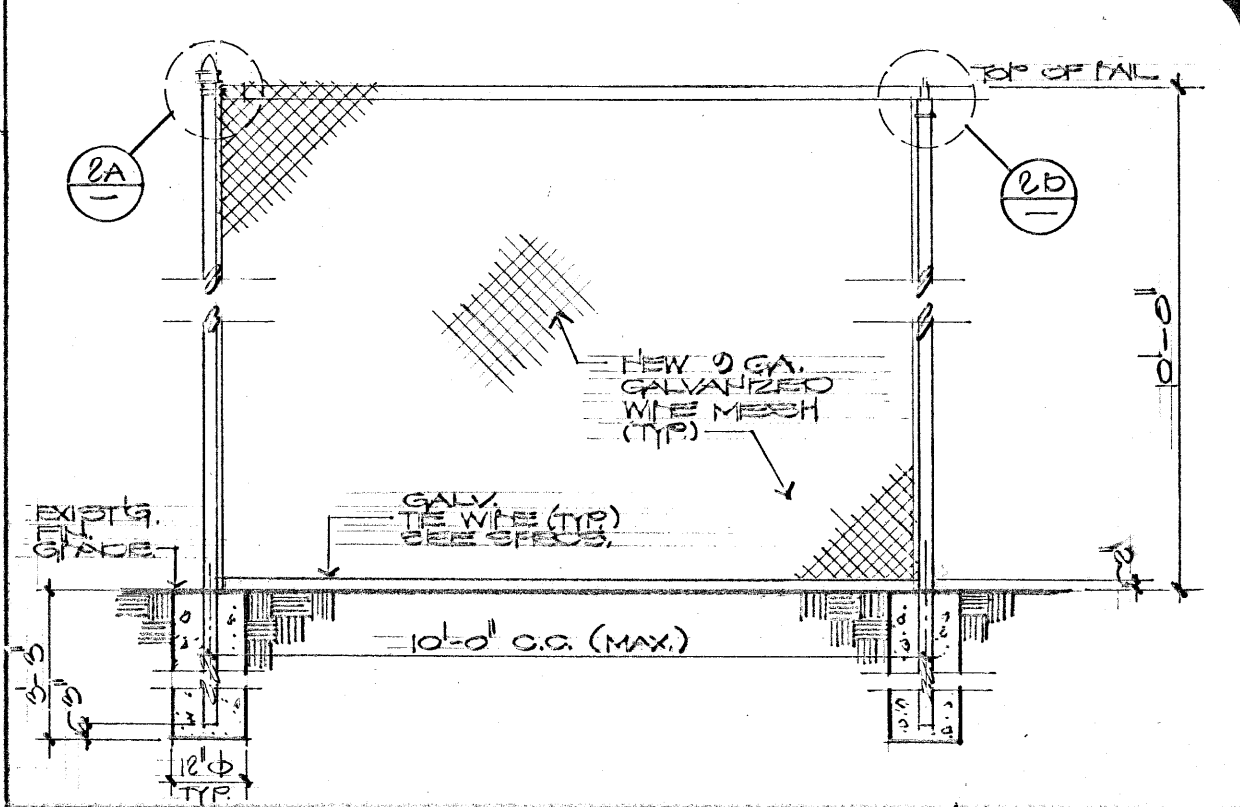
- Relocated water closet.
- GRAB BARS SEE INT. ELEV. SHEET A-3 FOR SIZE PROVIDE 2X BLOCKING 1" WALL FOR MOUNTING.
- New concrete floor slab. Slope 1/4" to 1'-0" to drain.
- New floor drain (see Specifications).
- New 18 gauge metal trash receptacle.
- New concrete block planter, with waterproof membrane coating at entire inside face (see Specifications).
- New 1'-0" long wall mounted, cast iron, porcelain enamel wash sink. Provide 2 x blocking in wall for mounting. SEE DET.
- New concrete block screen (typ.).
- New 12" x 12" concrete block pilaster (typ.).
- Existing window and metal screen to remain. Remove existing paint from window frame, sill, trim and screen. Repair as required and paint (see Finish Schedule).
- Relocated urinal.
- Existing meter to remain.
- Relocated electrical panel and light timer & thermostat control.
- Existing Structural Wood Post to remain.
- New concrete footing below.
- Patch and/or repair cracks in existing concrete slab, clean & prepare as required to receive new floor- (see Spec. 05-20.2).
- Patch and/or repair holes, etc. in walls as required. Clean and prepare to receive new finish (see Finish Schedule).
- Sand blast exterior plaster, patch and or repair holes as required and prepare to receive new dash coat (see Specs.).
- 12" x 12" METAL ACCESS PANEL.
- NEW INCREASED ELECTRICAL LOADS SEE ELECTRICAL DRAWINGS.





SITE PLAN NOTES

- NOTES FOR LOGAN PARK SITE PLAN
1. New Bathrooms and Construction shown dotted.
 2. New Plaster=Box.
 3. New 6'-0" high concrete block wall (typical).
 4. Existing flag pole to remain.
 5. Existing pole to be removed.
 6. New 2' wide painted white lines (typical). (REMOVE EXISTING 1 1/2" LINES)
 7. Relocated wood bench. Provide mounting as required. (REMOVE EXISTING WOOD BENCHES W/ NEW FOOTINGS TO MATCH NEW BENCHES)
 8. Existing light pole to remain. Provide new fixtures at top, and wiring as required and indicated on Electrical Drawings.
 9. Existing wood bench to remain. (REMOVE EXISTING WOOD BENCHES W/ NEW FOOTINGS TO MATCH NEW BENCHES)
 10. Existing wood bench to be relocated to opposite side of Basketball Court. (See Note #7).
 11. Existing Basketball goal to remain.
 12. Existing planting area to remain and receive new planting. See Landscape Drawings.
 13. New redwood benches (typical).
 14. New 3' 0" high concrete block retaining wall (typical). @ EDGE OF EXISTING CONC. PAVING.
 15. Existing fiberglass tabletop and benches to be relocated to expanded bar-be-que pit area. (SEE NOTE #6)
 16. Existing tree to remain. See Landscape Drawings. (REMOVE)
 17. Existing 1' 0" + or - high chain link fence to be removed.
 18. Existing 7'-10" (varify) chain link fence, posts, footings, fasteners etc. to be removed from site and replaced with new 10'-0" high chain link fence, post, footings etc. See Specs. & Details.
 19. Existing drinking fountain to remain.
 20. Existing wood posts to be removed.
 21. New wood park identification sign REMOVE OLD SIGN.
 22. Existing concrete slab footings, anchor bolts, etc. at trash bin area to be demolished and removed from site.
 23. New pair 7' 0" wide x 6' 0" high redwood gates.
 24. Existing bar-be-que pit to remain.
 25. Existing concrete paving to remain.
 26. New 4" thick concrete paving (typical) to match existing CONC. FINISH. (SLOPE TO DRAIN)
 27. Relocated fiberglass table top and benches.
 28. New bar-be-que grill (typical) N.L.C.
 29. Existing bike rack to be RELOCATED
 30. Line of new concrete footing below.
 31. Line of removed existing concrete paving; add expansion joint and patch concrete as required to match existing adjacent paving.
 32. Existing exposed piping to be REMOVED SEE LANDSCAPE DRAWINGS.
 33. New 16' 0" high concrete block handball court.
 34. New Lighting. See Electrical Drawings.
 35. New 10' high chain link fence @ TOP OF NEW CONC. BLOCK WALL SEE #33
 36. New angled chainlink fence @ top of conc. block wall.
 37. Expansion Joint. (NEW)
 38. New 6'-0" high concrete block wall @ TOP OF CONC. BLOCK WALL SEE DET.
 39. EXISTING 6'-0" high concrete block wall @ TOP OF CONC. BLOCK WALL SEE DET.
 40. Relocated 6' x 6' x 6' concrete block wall to match new 6' x 6' x 6' concrete block wall.
 41. REMOVE EXISTING CHAIN LINK FENCE @ TOP OF CONC. BLOCK WALL SEE DET.
 42. NEW 6' x 6' x 6' (WHATEVER HEIGHT)
 43. EXISTING WOOD POSTS TO REMAIN
 44. NEW 6' x 6' x 6' (WHATEVER HEIGHT)
- NOTE: FOR FOOTING DETAIL SEE DETAIL 1
- NOTE: REMOVE EXISTING CHAIN LINK FENCE @ TOP OF CONC. BLOCK WALL SEE DET.
- NOTE: REMOVE EXISTING CHAIN LINK FENCE @ TOP OF CONC. BLOCK WALL SEE DET.



REVISIONS	APPROVED	DESIGNED BY	DATE
1. REVISIONS	10-21-82	10-21-82	10-21-82

SCALE:	PROJECT TITLE
1"=10'	LOGAN PARK RENOVATION

PROJECT TITLE	LOGAN PARK RENOVATION
1001 NORTH CUSTER STREET	SANTA ANA, CALIFORNIA

NUMBER	DATE	INITIAL	APPROVED	DESIGNED BY	DATE
1	10-21-82				10-21-82
2	10-21-82				10-21-82
3	10-21-82				10-21-82
4	10-21-82				10-21-82
5	10-21-82				10-21-82
6	10-21-82				10-21-82
7	10-21-82				10-21-82
8	10-21-82				10-21-82
9	10-21-82				10-21-82
10	10-21-82				10-21-82

PROJECT TITLE	LOGAN PARK RENOVATION
1001 NORTH CUSTER STREET	SANTA ANA, CALIFORNIA

EDWARD C. BARKER
& ASSOCIATES • ARCHITECTS • AIA

308 S. UNION PLACE
LOS ANGELES, CALIFORNIA

TEL. (213) 484-2096
80017

Project No. 7217
Account No. 122-147-621
Work Order No. 63026

RECREATION AND PARKS DEPARTMENT
CITY OF SANTA ANA

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