

6-UNIT
DEVELOPMENT
WASHINGTON AVE
SANTA ANA, CA



TYPICAL ENTRY FACADE FOR
UNITS 2, 3, AND 4

THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ACCESSIBILITY REQUIREMENTS FOR PUBLIC HOUSING FACILITIES PER 2022 CBC SECTION IIB-233.

UNIT 6 SHALL BE PROVIDED WITH BOTH MOBILITY AND COMMUNICATION FEATURES PER 2022 CBC SECTION IIB-809.

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ARCHITECTURAL

- CS COVER SHEET
- A0.0 PROPOSED SITE PLAN

BLDG '1'

- A1.11 1ST FLOOR PLAN
- A1.12 2ND FLOOR PLAN
- A1.13 1X PORCH FLOOR & ROOF PLAN
- A1.20 ROOF PLAN
- A1.31 EXTERIOR ELEVATIONS
- A1.32 1X EXTERIOR ELEVATIONS

BLDG '2'

- A2.11 1ST FLOOR PLAN
- A2.12 2ND FLOOR PLAN
- A2.20 ROOF PLAN
- A2.31 EXTERIOR ELEVATIONS
- A2.32 EXTERIOR ELEVATIONS & TRASH ENCLOSURE PLAN AND EXT. ELEVATIONS

- I3 ARCHITECTURAL SHEETS

CIVIL

- 1 COVER SHEET, INDEX, & GENERAL NOTES
- 2 PRELIMINARY GRADING PLAN

- 2 CIVIL SHEETS

LANDSCAPE

- L-1 CONCEPTUAL LANDSCAPE PLAN
- L-2 CONCEPTUAL LANDSCAPE PALETTE

- 2 LANDSCAPE SHEETS

LIGHTING

- 1 PHOTOMETRICS PLAN

- 1 LIGHTING SHEET

- 18 TOTAL SHEETS



NEWPORT BEACH LOCATION:
1401 DOVE STREET
SUITE 230
NEWPORT BEACH, CA 92660
PHONE: 949-863-3000

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NO:	DATE:	REVISION:
	05-22-23	DEVELOPMENT SUBMITTAL
△	08-03-23	DEVELOPMENT REVIEW COMMENTS
△	04-22-23	DEMO PLAN REVS

PROFESSIONAL SEAL:

PROJECT TITLE:

ATTACHED
RESIDENTIAL

1921 W Washington Ave
Santa Ana, CA 92706

DEVELOPMENT
SUBMITTAL
NOT FOR
CONSTRUCTION

CLIENTS NAME:

Habitat for Humanity
Orange County
2200 Ritchey St
Santa Ana, CA 92705
(714) 434-6200

PROJECT NO: GMD22501


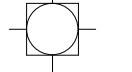
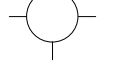
SHEET TITLE:

COVER SHEET

PRINT DATE:
October 27, 2023

SHEET NO:

CS

LUMINAIRE SCHEDULE				
SYMBOL	QTY	LABEL PER PHOTOMETRIC PLAN	DESCRIPTION	MODEL
	12	A	BOLLARD 43" HIGH	Pemco - CAV52QF1X18WU4KC
	4	B	SURFACE MOUNT 18" WIDE	Cooper McGraw Edison - TT-D2-740-U-WQ
	23	C	WALL MOUNT 24" HIGH	Pemco - PIO20QF1X36U4KO

project data

APN: 405-101-37
ZONING DISTRICT: R-2 TWO FAMILY RESIDENCE
GENERAL PLAN: LOW DENSITY RESIDENTIAL LR-7 (7 DU/AC)

PARKING PROPOSED:
ENCLOSED PRIVATE GARAGE STALLS (2 PER UNIT): 12
STANDARD GUEST STALLS: 2
VAN ACCESSIBLE GUEST STALLS: 1
TOTAL PARKING PROVIDED: 15

OCCUPANCY GROUP: R3/U
TYPE OF CONSTRUCTION: V-B, SPRINKLERED
LOT COVERAGE: 50% MAX ALLOWABLE

site plan notes

- A. ARCHITECTURAL SITE PLAN, FIELD TO VERIFY ALL SITE DIMENSIONS WITH CIVIL DRAWINGS.
B. THE PROJECT SHALL BE DESIGNED TO ACHIEVE AT LEAST THE MINIMUM ENERGY EFFICIENCY PER CURRENT ENERGY EFFICIENCY STANDARDS.
C. THE PROJECT SHALL RECYCLE AND/OR SALVAGE AT LEAST THE MINIMUM AMOUNT OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS AND IN COMPLIANCE WITH REQUIREMENTS SET FORTH BY THE LOCAL GOVERNING JURISDICTION.
D. ALL PROPOSED UTILITIES WILL BE UNDERGROUND PURSUANT TO SECTION 41-626 OF THE SANTA ANA MUNICIPAL CODE (SAMC).
E. WATER SERVICE AND SEWER LATERAL REQUIREMENTS WILL BE DEFERRED UNTIL THE TECHNICAL CHECK IS DONE DURING STREET IMPROVEMENT PLAN CHECK.
F. GRIND AND CAP OF 2'-3" OF THE EXISTING AC PAVEMENT FROM THE STREET CENTERLINE TO THE GUTTER UP EDGE ALONG THE ENTIRE PROPERTY FRONTAGE.
G. THIS SITE WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD SANTA ANA REGION ORDER NO. R8-2009-0030 DISCHARGE REQUIREMENTS (MS4 PERMIT).
H. APPROPRIATE PRIVATE BACK FLOW PREVENTER REQUIRED FOR ALL FIRE SERVICE, DOMESTIC, AND LANDSCAPE WATER METER PER GRADING AND STREET IMPROVEMENT PLANS (AS APPLICABLE).
I. NO VEHICULAR GATES ARE PROPOSED FOR THIS PROJECT. ANY PROPOSED GATE WILL BE SUBJECT TO ADDITIONAL REVIEW AND COMMENTS.
J. ALL MECHANICAL EQUIPMENT WHETHER MOUNTED ON THE ROOF OR GROUND SHOULD BE SCREENED FROM PUBLIC VIEW. UTILITY METERS AND EQUIPMENT SHOULD BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO VIEW FROM THE STREET AND MUST BE SCREENED. ALL SCREENING DEVICES ARE TO BE COMPATIBLE WITH THE ARCHITECTURE AND COLOR OF THE ADJACENT STRUCTURES.
K. TRASH REQUIREMENTS:
- DEFICIT AND NOTE THE EXACT LOCATION(S) OF THE TRASH AND RECYCLING RECEPTACLES.
- THE RESIDENTIAL ELEMENT OF A PROJECT WITH 3 OR MORE DWELLING UNITS WILL REQUIRE A MINIMUM COMBINED TRASH AND RECYCLING BIN SERVICE LEVEL OF 0.5 CUBIC YARDS (CY) PER RESIDENTIAL UNIT, PER SAMC SEC. 16-37 AND FOOD WASTE BIN SERVICE LEVEL OF 0.02 CUBIC YARDS (CY) OF FOOD WASTE PER RESIDENTIAL UNIT, PER SB 1383.
- MAXIMUM SIZE OF BIN SHALL BE 4 CUBIC YARDS.
- MAXIMUM NUMBER OF PICK-UPS IS 2 TIMES PER WEEK FOR RESIDENTIAL PROJECTS ONLY.

site plan key

- PROPERTY LINE
STREET CENTER LINE
ROOF OVERHANG
(P) PERIMETER/PRIVACY FENCE
PROPOSED BUILDING TYPE 1
PROPOSED BUILDING TYPE 2
PROPOSED TREE
PRIVATE YARD AREA PLANTINGS BY OWNERS
CONCRETE/IMPERVIOUS PAVING PER LANDSCAPE
COMMON PLANTING AREA PER LANDSCAPE
ENHANCED PAVING
OPEN SPACE AREA EXCLUDING SETBACKS



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NO.	DATE	REVISION
05-22-23		DEVELOPMENT SUBMITTAL
08-03-23		DEVELOPMENT REVIEW COMMENTS
04-22-23		DEMO PLAN REVS
01-18-24		PLAN CHECK COMMENTS

PROFESSIONAL SEAL:

PROJECT TITLE:

ATTACHED RESIDENTIAL

1921 W Washington Ave
Santa Ana, CA 92706

DEVELOPMENT SUBMITTAL NOT FOR CONSTRUCTION

CLIENTS NAME:

Habitat for Humanity
Orange County
2200 Ritchey St
Santa Ana, CA 92705
(714) 434-6200

PROJECT NO: GMD22501

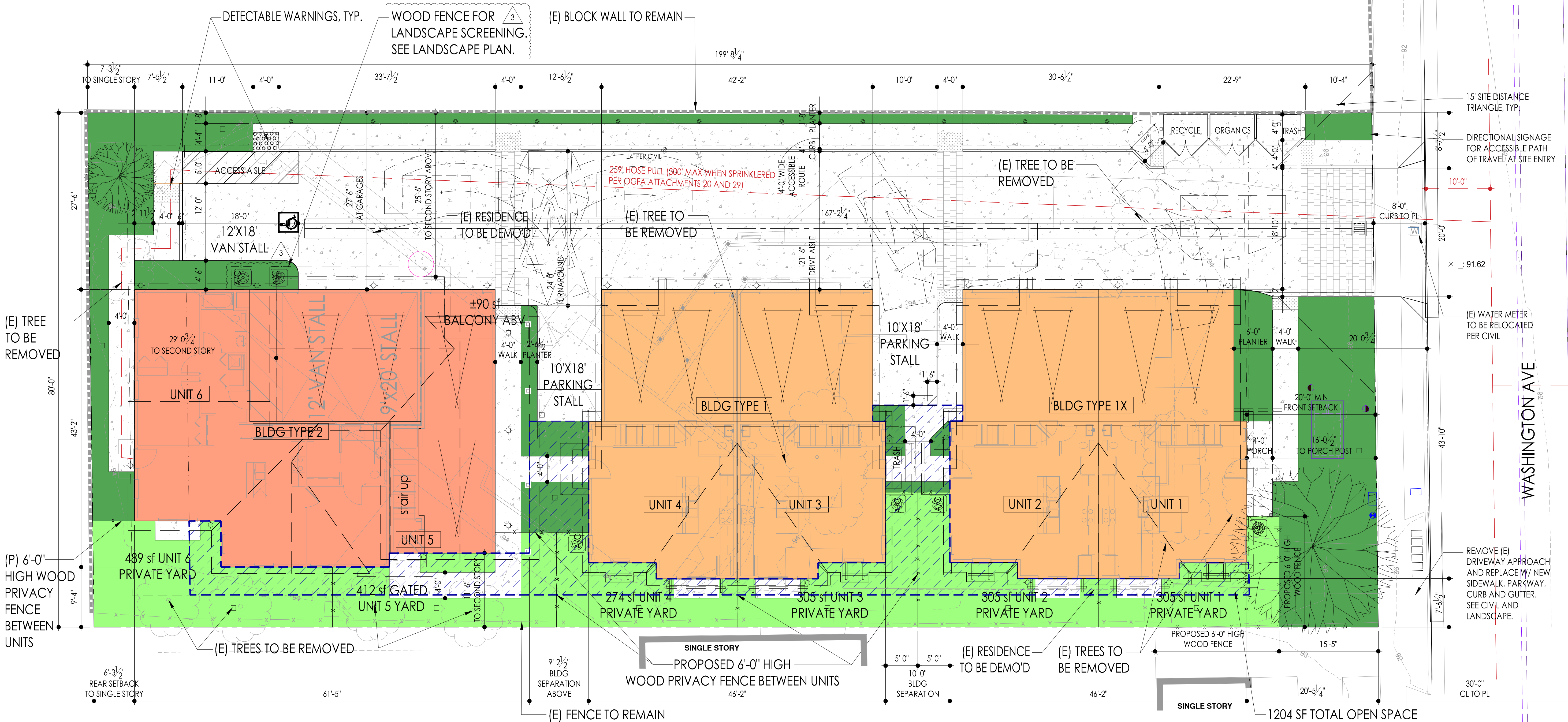
SHEET TITLE:

SITE PLAN

PRINT DATE:
February 16, 2024

SHEET NO:

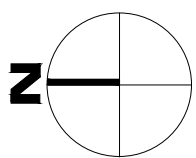
A0.0



density bonus calcs	
PROPOSED DENSITY:	0.37 AC
GROSS ACREAGE	0.37 AC
LESS UNDEVELOPED AREA	0.00 AC
NET ACREAGE	0.37 AC
DENSITY CALCULATION:	
R2 ZONING ALLOWABLE DENSITY	1/6000 SF (1ST UNIT)
	1/3000 SF (ADD'L UNITS)
0.37 AC * ALLOWABLE DENSITY	5 DU PER ZONING
100% LOW INCOME UNITS	35% DENSITY BONUS
5 DU PER ZONING + 35% (ROUND UP)	2 DU DENSITY BONUS
5 DU PER ZONING + 2 DU BONUS	7 DU ALLOWABLE
100% LOW INCOME UNITS	6 DU PROVIDED

building area	
LOT AREA	16,109 sf
EXISTING STRUCTURES TO BE DEMO'D	-3,857 sf
PROPOSED TWO STORY UNITS 1, 2, 3 & 4	4 X 1,859 sf
(incl garage)	
PROPOSED UNIT 5 (incl garage)	1,731 sf
PROPOSED UNIT 6 (incl garage)	1,715 sf
TOTAL PROPOSED BUILDING AREA	10,882 sf

lot coverage	
LOT AREA	16,109 sf
EXISTING STRUCTURES TO BE DEMO'D	-3,857 sf
PROPOSED TWO STORY BLDG FOOTPRINT 1	2 X 1,943 sf
UNITS 1, 2, 3 & 4	
PROPOSED TWO STORY BLDG FOOTPRINT 2	2,289 sf
UNITS 5 & 6	
TOTAL PROPOSED LOT COVERAGE (38%)	6,175 sf



6 Units

Conceptual Site Plan

SCALE: 1/8" = 1'-0" AT 22"X34"
SCALE: 1/16" = 1'-0" AT 11"X17"

1204 SF TOTAL OPEN SPACE
EXCLUSIVE OF SETBACKS
(COMMON AND PRIVATE)

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2200 Ritchey St
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(714) 434-6200

PROJECT NO: GMD22501

SHEET TITLE:

building 1 FIRST FLOOR PLAN

PRINT DATE:

October 27, 2023

SHEET NO:

A1.11

main floor notes

- REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
- REFER TO "EN" SHEETS FOR CERTIFICATE OF COMPLIANCE AND INSULATION VALUES. AFTER INSTALLING WALL, CEILING OR FLOOR INSULATION THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH THE TITLE -24 REQUIREMENTS.
- ALL DIAGONAL WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
- WINDOW "HEAD" HEIGHTS:
-1ST FLOOR = 8'-0" U.N.O. ON EXT. ELEVATIONS
-DOOR HEIGHTS AS NOTED ON PLANS
(ALIGN ADJACENT WINDOW HEADER HEIGHT WITH DOOR HEADERS.)

plan key notes

- ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATE PER CALGREEN SECT 4.303 AS FOLLOWS:
 - SINGLE SHOWERHEADS SHALL NOT EXCEED 1.8 GAL PER MINUTE MEASURED AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT TO EXCEED 1.8 GAL PER MINUTE AT 80 PSI. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.
 - RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GAL PER MINUTE AT 60 PSI.
 - KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GAL PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GAL PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GAL PER MINUTE AT 60 PSI.

- A/C CONDENSER ON 30"x30" MIN PRECAST CONCRETE PAD, 3" MINIMUM ABOVE GRADE. LOCATION VARIES PER SITE PLAN.

- NOT USED.

- 50 GAL "LOWBOY" ELECTRIC WATER HEATER ON PLATFORM AS NOTED. PROVIDE DRAIN PAN, DRAIN TO EXTERIOR. SEE DETAIL X/XX AND GENERAL NOTES SECTION 220000. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS W/ APPROPRIATE CLEARANCES AND RELIEF VALVE WITH DRAIN.

- 30" SLIDE-IN GAS RANGE WITH 30" HOOD. LIGHT, EXHAUST FAN AND MICROWAVE ABOVE. VENT PER GENERAL NOTES SECTION 076000. (DOWNDRAFT-VENT PER GENERAL NOTES SECTION 076000.)

- DRYER VENT TO OUTSIDE AIR PER MECHANICAL PLANS. DUCT SHALL BE OF MIN. 4" DIA. TO THE OUTSIDE. EQUIPPED WITH A BACK-DRAFT DAMPER. DUCT LENGTHS IS LIMITED TO 14 FT. WITH 2 ELBOWS. OTHER LENGTHS OR SIZES AS PERMITTED OR REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND APPROVED BY THE BUILDING OFFICIAL. (PER CMC 504.4.2). ROOF TERMINATION SHALL NOT BE WITHIN 4 FT. OF DWELLING SEPARATION WALL.

- 32" X 60" FIBERGLASS TUB, SHOWER OVER, WITH INTEGRAL SURROUND 70" MINIMUM ABOVE DRAIN. SHOWER HEAD +78". (CLEAR TEMPERED GLASS ENCLOSURE, ANODIZED ALUMINUM FRAME)

- TEMPERED SAFETY GLASS, PER GENERAL NOTES SECTION 080000.

- EMERGENCY EGRESS: ONE SASH IN EA. SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES MAXIMUM SILL HEIGHT AT EGRESS WINDOW SHALL NOT EXCEED 44" A.F.F.

- ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x30". SEE DETAIL 15/AD.4.

- FAU IN ATTIC ABOVE. PROVIDE UNOBSTRUCTED PASSAGEWAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PROVIDE 48" HIGH X 30" WIDE PASSAGEWAY WITH 24" WIDE PLYWOOD FLOORING WITH 30"x42" PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX. 20'-0" FROM ACCESS POINT TO FAU. VERIFY LOCATION W/ MECHANICAL DRAWINGS. INSTALL PER GENERAL NOTES SECTIONS 076000 & 230000. AND DETAIL 16/AD.4.

- INTERIOR SOFFITS: FLAT SOFFIT AT 8'-0". U.N.O.

- WALL MOUNTED UPPER CABINET ABOVE

- FACE FRAME CABINET WITH 5 EQ. SHELVES. SEE DETAIL 9/AD.4.

- ALL WATER CLOSETS THAT WILL BE INSTALLED WILL BE LOW FLOW WATER CLOSETS WITH A MAXIMUM CAPACITY OF 1.28 GALLONS.

- STUB WALL, HEIGHT AT +42" U.N.O. PROVIDE 1/2" PLYWOOD BELOW DRYWALL IF OTHER THAN SOLID FRAMING.

- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES AND ATTICS SHALL BE PROTECTED WITH NO LESS THAN 1/2" GYPSUM BOARD. PER CRC TABLE R302.6

- GARAGE/HOUSE SEPARATION AT HABITABLE ROOMS ABOVE THE GARAGE SHALL BE PROTECTED WITH NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD. PER CRC TABLE R302.6

- HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR W/ SELF CLOSURE AND TIGHT FITTING.

- BENEATH STAIRS AND LANDINGS, 5/8" TYPE 'X', SUPPORTS AT 16" O.C., ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS.

- INDOOR AIR QUALITY FAN, VENTILATION SHALL COMPLY WITH SECTION 4 OF ASHRAE 62.2. OPERATE WHEN THE HOUSE IS IN USE.
MINIMUM REQUIRED RATE OF VENTILATION [CFM]:
(1428 SF/100) + [(3 BEDROOMS + 1) x 7.5] = 45 CFM
EXHAUST FAN AS SELECTED BY OWNER, WITH MAXIMUM SOUND RATING OF 1 SONE, RATED FOR CONTINUOUS USE AND ENERGY STAR RATED.

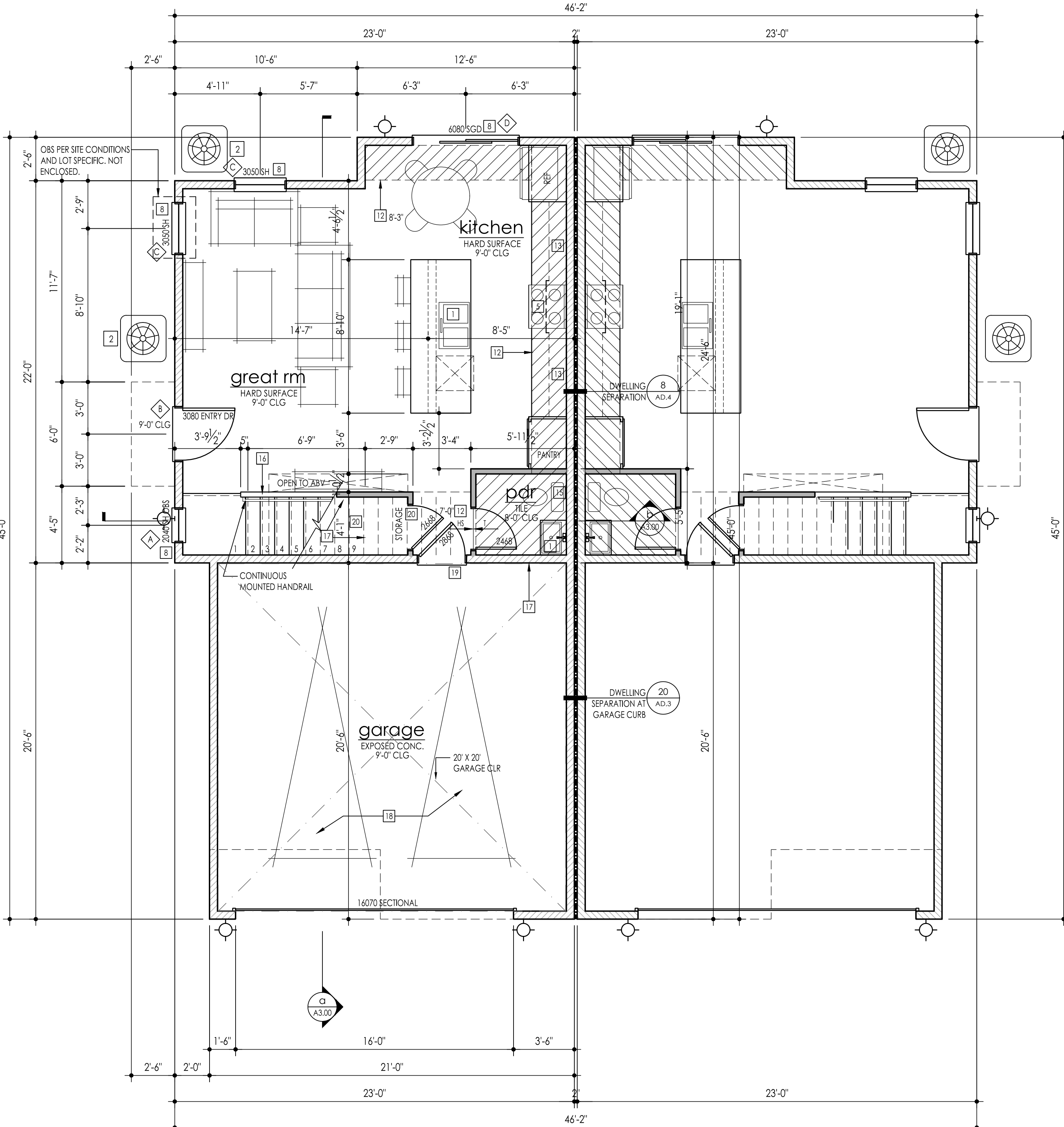
- LOUVERED DOOR PER MECHANICAL PLANS. A MIN. OF 100 SQ. IN. FOR MAKEUP AIR WHEN A DOMESTIC CLOTHES DRYER IS INSTALLED IN A CLOSET DESIGNED FOR THE INSTALLATION. PER SECTION CODE 504.4.1.

- 36" X 60" FIBERGLASS SHOWER WITH INTEGRAL SURROUND 70" MINIMUM ABOVE DRAIN. SHOWER HEAD 6'-8" OR MORE. (OBSCURED TEMPERED GLASS ENCLOSURE, ANODIZED ALUMINUM FRAME) NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.024 SQ. IN. OF FLOOR AREA, AND ENCOMPASS 30 IN. DIA. CIRCLE.

- NOT USED.

- WASHER DRAIN PAN AT SECOND FLOOR ONLY. DRAIN TO EXTERIOR BY MEANS OF AN APPROVED DRAINAGE SYSTEM.

- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).



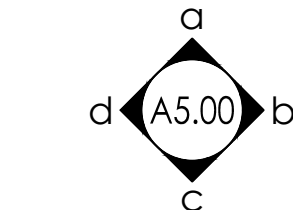
First Floor Plan

SCALE: 1/4"=1'-0" AT 22"X34"

SCALE: 1/8"=1'-0" AT 11"X17"

wall legend

- DWELLING SEPARATION SEE DETAIL 8/AD.4
- 2X4
- 2X6



INTERIOR ELEVATION KEY

THESE CALCULATIONS ARE FOR THE ARCHITECTS USE ONLY AND ARE NOT INTENDED FOR USE BY OTHERS.

units 1-4 sq ftg	
FIRST FLOOR	537 sf
SECOND FLOOR	891 sf
SUBTOTAL	1,428 sf
GARAGE	431 sf
PORCH	15 sf

Note: Refer to floor plan(s) & Title 24 calculations in case of discrepancy, and contact Architect of Record.

Note: Fenestrations must have temporary and permanent labels.

Note: The NFRC temporary label displayed on windows and skylights (incl. Tubular) must remain on the unit until final inspection has been completed.

a. Tempered window per plans.

exterior doors / windows schedule

TAG:	ROOM NAME	WINDOW				SHGC:	NOTES:
		OPERATION TYPE:	SIZE:	MATERIAL:	U-FACTOR:		
A	STAIR	SINGLE-HUNG WINDOW	2'-0" X 4'-0"	VINYL	0.34	0.23	(a) TEMPERED GLASS ONLY OBS PER SITE CONDITIONS
B	GREAT ROOM	IN-SWING ENTRY DOOR	3'-0" X 8'-0"	VINYL	-	-	
C	GREAT ROOM	SINGLE-HUNG WINDOW	3'-0" X 5'-0"	VINYL	0.34	0.23	ONLY OBS PER SITE CONDITIONS
D	KITCHEN	SLIDING GLASS DOOR	6'-0" X 8'-0"	VINYL	0.34	0.23	(a) TEMPERED GLASS
E	MASTER BATH	SLIDING WINDOW	3'-0" X 1'-6"	VINYL	0.34	0.23	
F	BATH	SINGLE-HUNG WINDOW	2'-0" X 4'-0"	VINYL	0.34	0.23	
G	MASTER BED	SLIDING WINDOW	6'-0" X 5'-0"	VINYL	0.34	0.23	
H	MASTER BED	SINGLE-HUNG WINDOW	2'-0" X 4'-0"	VINYL	0.34	0.23	
I	BED	SINGLE-HUNG WINDOW	3'-0" X 5'-0"	VINYL	0.34	0.23	(a) TEMPERED GLASS
J	BATH 2	SINGLE-HUNG WINDOW	2'-0" X 4'-0"	VINYL	0.34	0.23	(a) TEMPERED GLASS
K	BED	SINGLE-HUNG WINDOW	3'-0" X 5'-0"	VINYL	0.34	0.23	

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CLIENTS NAME:

Habitat for Humanity
Orange County
2200 Ritchey St
Santa Ana, CA 92705
(714) 434-6200

PROJECT NO: GMD22501

SHEET TITLE:

building 1 SECOND FLOOR PLAN

PRINT DATE:

October 27, 2023

SHEET NO:

A1.12

main floor notes

- REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
- REFER TO "EN" SHEETS FOR CERTIFICATE OF COMPLIANCE AND INSULATION VALUES. AFTER INSTALLING WALL, CEILING OR FLOOR INSULATION THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH THE TITLE - 24 REQUIREMENTS.
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-1ST FLOOR = 8'-0" U.N.O. ON EXT. ELEVATIONS
-DOOR HEIGHTS AS NOTED ON PLANS
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- A/C CONDENSER ON 30"x30" MIN PRECAST CONCRETE PAD, 3" MINIMUM ABOVE GRADE. LOCATION VARIES PER SITE PLAN.

- NOT USED.

- 50 GAL "LOWBOY" ELECTRIC WATER HEATER ON PLATFORM AS NOTED. PROVIDE DRAIN PAN, DRAIN TO EXTERIOR. SEE DETAIL X/XX AND GENERAL NOTES SECTION 230000. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS W/ APPROPRIATE CLEARANCES AND RELIEF VALVE WITH DRAIN.

- 30" SLIDE-IN GAS RANGE WITH 30" HOOD. LIGHT, EXHAUST FAN AND MICROWAVE ABOVE. VENT PER GENERAL NOTES SECTION 076000. (DOWNDRAFT-VENT PER GENERAL NOTES SECTION 076000.)

- DRYER VENT TO OUTSIDE AIR PER MECHANICAL PLANS. DUCT SHALL BE OF MIN. 4" DIA. TO THE OUTSIDE. EQUIPPED WITH A BACK-DRAFT DAMPER. DUCT LENGTHS IS LIMITED TO 14 FT. WITH 2 ELBOWS. OTHER LENGTHS OR SIZES AS PERMITTED OR REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND APPROVED BY THE BUILDING OFFICIAL. (PER CMC 504.4.2). ROOF TERMINATION SHALL NOT BE WITHIN 4 FT. OF DWELLING SEPARATION WALL.

- 32" X 60" FIBERGLASS TUB, SHOWER OVER, WITH INTEGRAL SURROUND 70" MINIMUM ABOVE DRAIN. SHOWER HEAD +78". (CLEAR TEMPERED GLASS ENCLOSURE, ANODIZED ALUMINUM FRAME)

- TEMPERED SAFETY GLASS, PER GENERAL NOTES SECTION 088000.

- EMERGENCY EGRESS: ONE SASH IN EA. SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES MAXIMUM SILL HEIGHT AT EGRESS WINDOW SHALL NOT EXCEED 44" A.F.F.

- ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x30". SEE DETAIL 15/AD.4.

- FAU IN ATTIC ABOVE. PROVIDE UNOBSTRUCTED PASSAGEWAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PROVIDE 48" HIGH X 30" WIDE PASSAGEWAY WITH 24" WIDE PLYWOOD FLOORING WITH 30"x42" PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX. 20'-0" FROM ACCESS POINT TO FAU. VERIFY LOCATION W/ MECHANICAL DRAWINGS. INSTALL PER GENERAL NOTES SECTIONS 076000 & 230000. AND DETAIL 16/AD.4.

- INTERIOR SOFFITS: FLAT SOFFIT AT 8'-0". U.N.O.

- WALL MOUNTED UPPER CABINET ABOVE

- FACE FRAME CABINET WITH 5 EQ. SHELVES. SEE DETAIL 9/AD.4.

- ALL WATER CLOSETS THAT WILL BE INSTALLED WILL BE LOW FLOW WATER CLOSETS WITH A MAXIMUM CAPACITY OF 1.28 GALLONS.

- STUB WALL, HEIGHT AT +42" U.N.O. PROVIDE 1/2" PLYWOOD BELOW DRYWALL IF OTHER THAN SOLID FRAMING.

- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES AND ATTICS SHALL BE PROTECTED WITH NO LESS THAN 1/2" GYPSUM BOARD. PER CRC TABLE R302.6

- GARAGE/HOUSE SEPARATION AT HABITABLE ROOMS ABOVE THE GARAGE SHALL BE PROTECTED WITH NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD. PER CRC TABLE R302.6

- HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR W/ SELF CLOSURE AND TIGHT FITTING.

- BENEATH STAIRS AND LANDINGS, 5/8" TYPE 'X', SUPPORTS AT 16" O.C., ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS.

- INDOOR AIR QUALITY FAN, VENTILATION SHALL COMPLY WITH SECTION 4 OF ASHRAE 62.2. OPERATE WHEN THE HOUSE IS IN USE.
MINIMUM REQUIRED RATE OF VENTILATION [CFM]:
(1428 SF/100) + [(3 BEDROOMS + 1) x 7.5] = 45 CFM
EXHAUST FAN AS SELECTED BY OWNER, WITH MAXIMUM SOUND RATING OF 1 SONE, RATED FOR CONTINUOUS USE AND ENERGY STAR RATED.

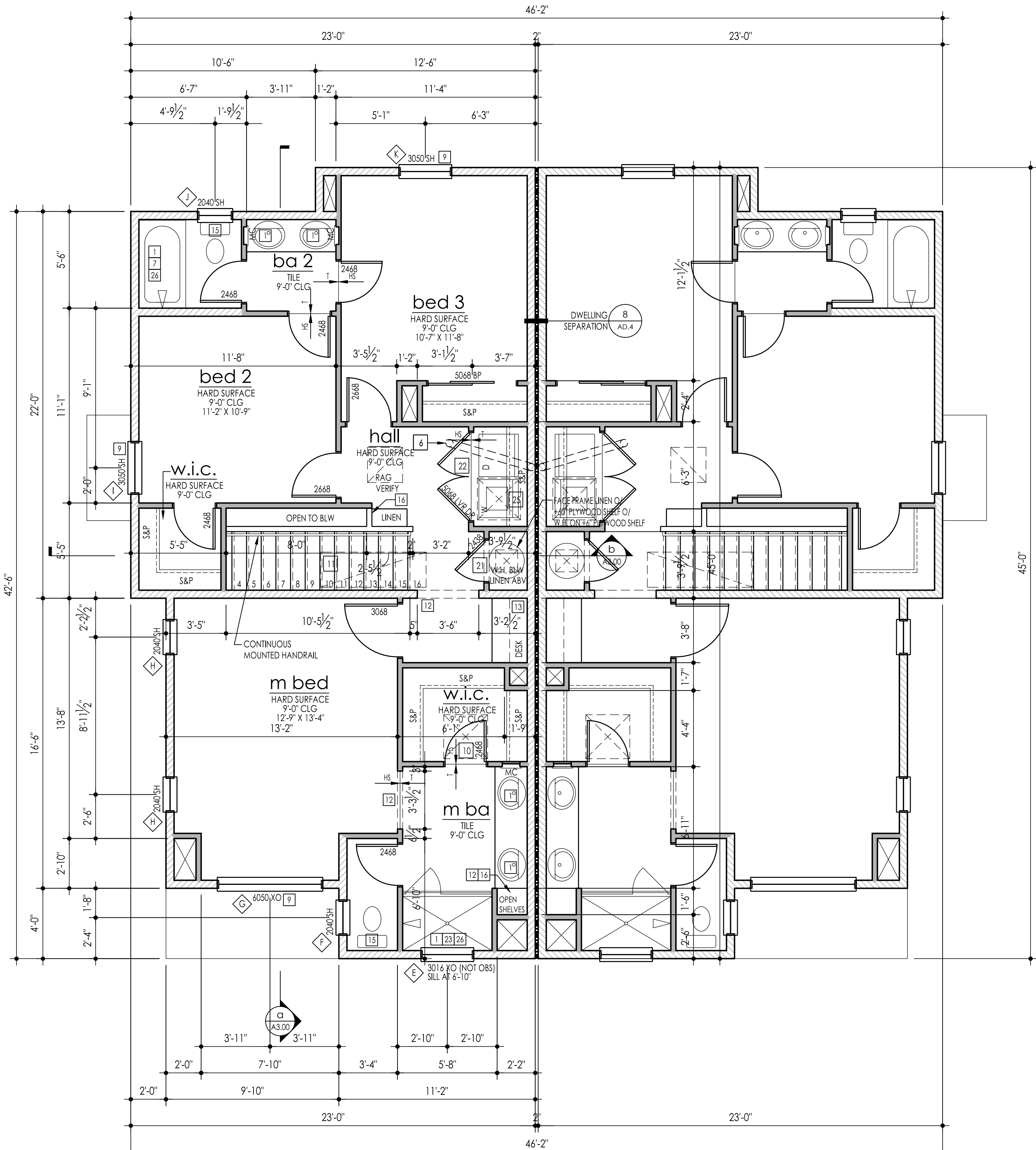
- LOUVERED DOOR PER MECHANICAL PLANS. A MIN. OF 100 SQ. IN. FOR MAKEUP AIR WHEN A DOMESTIC CLOTHES DRYER IS INSTALLED IN A CLOSET DESIGNED FOR THE INSTALLATION. PER SECTION CODE 504.4.1.

- 36" X 60" FIBERGLASS SHOWER WITH INTEGRAL SURROUND 70" MINIMUM ABOVE DRAIN. SHOWER HEAD 6'-8" OR MORE. (OBSCURED TEMPERED GLASS ENCLOSURE, ANODIZED ALUMINUM FRAME) NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.024 SQ. IN. OF FLOOR AREA, AND ENCOMPASS 30 IN. DIA. CIRCLE.

- NOT USED.

- WASHER DRAIN PAN AT SECOND FLOOR ONLY. DRAIN TO EXTERIOR BY MEANS OF AN APPROVED DRAINAGE SYSTEM.

- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).



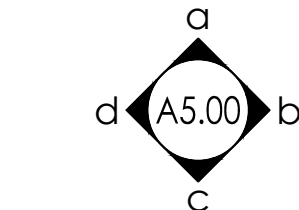
Second Floor Plan

SCALE: 1/4"=1'-0" AT 22"x34"

SCALE: 1/8"=1'-0" AT 11"x17"

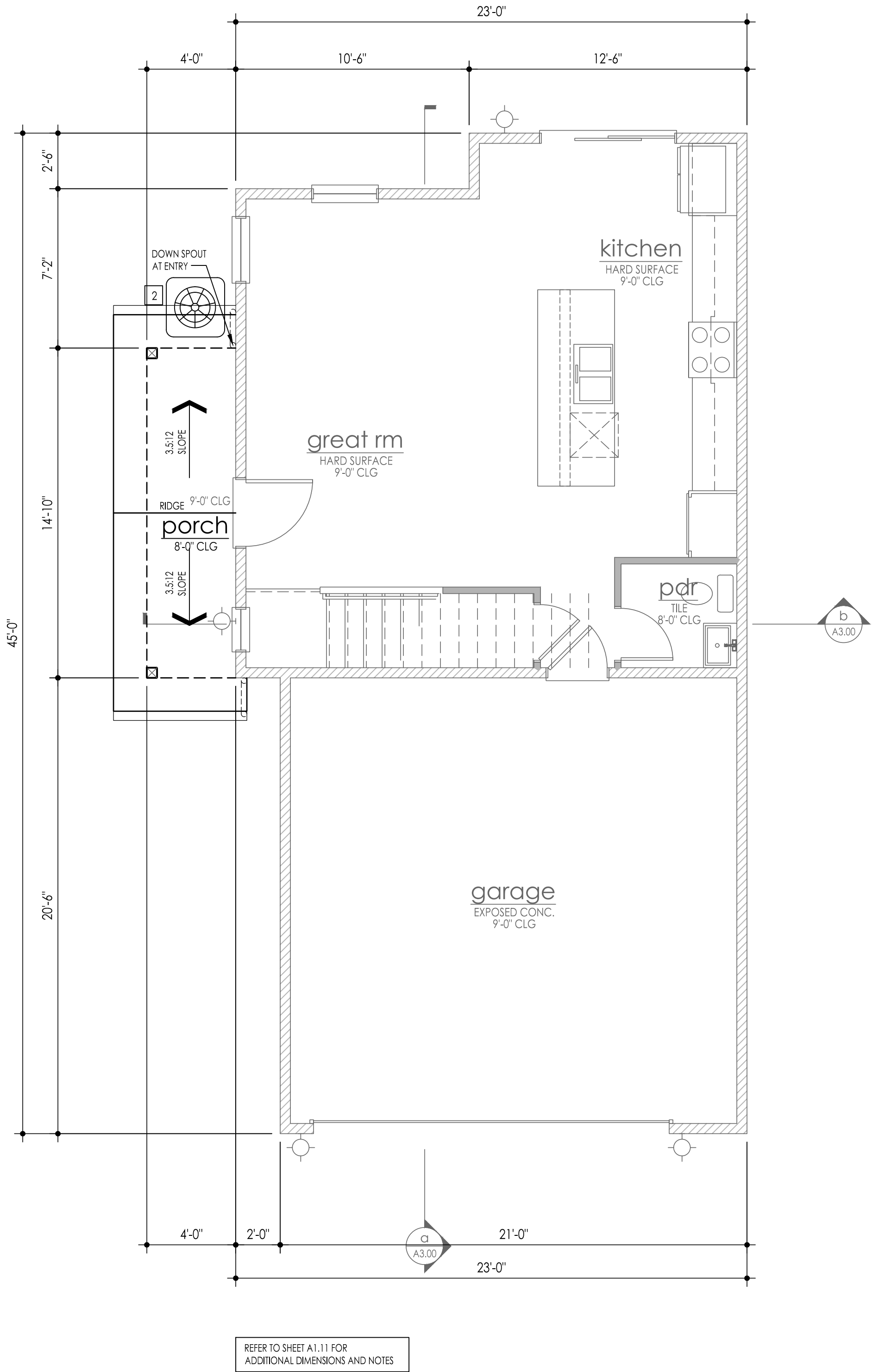
wall legend

- DWELLING SEPARATION
SEE DETAIL 8/AD.4
- 2X4
- 2X6



units 1-4 sq ftg

FIRST FLOOR	537 sf
SECOND FLOOR	891 sf
SUBTOTAL	1,428 sf
GARAGE	431 sf
PORCH	15 sf



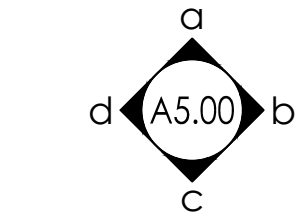
Porch Floor & Roof Plan

SCALE: 1/4"=1'-0" AT 22"X34"

SCALE: 1/8"=1'-0" AT 11"X17"

wall legend

- DWELLING SEPARATION
SEE DETAIL 8/AD.4
- 2x4
- 2x6



INTERIOR ELEVATION KEY
THESE CALCULATIONS ARE FOR THE
ARCHITECTS USE ONLY AND ARE NOT
INTENDED FOR USE BY OTHERS.

units 1-4 sq ftg	
FIRST FLOOR	537 sf
SECOND FLOOR	891 sf
SUBTOTAL	1,428 sf
GARAGE	431 sf
PORCH	15 sf

19 HOUSE TO GARAGE DOOR SEPARATION.
PROVIDE 1-3/8" SOLID CORE DOOR OR
APPROVED 20 MINUTE RATED DOOR W/ SELF
CLOSURE AND TIGHT FITTING.

20 BENEATH STAIRS AND LANDINGS, 5/8" TYPE 'X',
SUPPORTS AT 16" O.C., ON WALLS AND
CEILING OF ENCLOSED ACCESSIBLE AREAS.

21 INDOOR AIR QUALITY FAN, VENTILATION SHALL
COMPLY WITH SECTION 4 OF ASHRAE 62.2. OPERATE
WHEN THE HOUSE IS IN USE.
MINIMUM REQUIRED RATE OF VENTILATION (CFM):
(1428 SF/100) + [(3 BEDROOMS + 1) x 7.5] = 45 CFM
EXHAUST FAN AS SELECTED BY OWNER, WITH
MAXIMUM SOUND RATING OF 1 SONE, RATED FOR
CONTINUOUS USE AND ENERGY STAR RATED.

22 LOUVERED DOOR PER MECHANICAL PLANS.
A MIN. OF 100 SQ. IN. FOR MAKEUP AIR WHEN A
DOMESTIC CLOTHES DRYER IS INSTALLED IN A
CLOSET DESIGNED FOR THE INSTALLATION. PER
SECTION CODE 504.4.1.

23 36" X 60" FIBERGLASS SHOWER WITH INTEGRAL
SURROUND 70" MINIMUM ABOVE DRAIN. SHOWER HEAD
6'-8" OR MORE. (OBSCURED TEMPERED GLASS
ENCLOSURE, ANODIZED ALUMINUM FRAME) NET AREA
OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.024
SQ. IN. OF FLOOR AREA, AND ENCOMPASS 30 IN. DIA.
CIRCLE.

24 NOT USED.

25 WASHER DRAIN PAN AT SECOND FLOOR
ONLY, DRAIN TO EXTERIOR BY MEANS OF
AN APPROVED DRAINAGE SYSTEM.

26 BATHTUB AND SHOWER FLOORS, WALLS ABOVE
BATHTUBS WITH A SHOWERHEAD, AND SHOWER
COMPARTMENTS SHALL BE FINISHED WITH A
NONABSORBENT SURFACE. SUCH WALL
SURFACES SHALL EXTEND TO A HEIGHT OF NOT
LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

- A. REFER TO GENERAL NOTE SHEETS FOR PLAN
GENERAL NOTES.
- B. REFER TO "EN" SHEETS FOR CERTIFICATE OF
COMPLIANCE AND INSULATION VALUES.
AFTER INSTALLING WALL, CEILING OR FLOOR
INSULATION THE INSTALLER SHALL POST IN A
CONSPICUOUS LOCATION A CERTIFICATE SIGNED
BY THE INSTALLER STATING THAT THE
INSTALLATION WAS PERFORMED IN ACCORDANCE
WITH THE TITLE - 24 REQUIREMENTS.
- C. ALL DIAGONAL WALLS TO BE 45 DEGREES
UNLESS NOTED OTHERWISE.
- D. WINDOW "HEAD" HEIGHTS:
-1ST FLOOR = 8'-0" U.N.O. ON EXT. ELEVATIONS
-DOOR HEIGHTS AS NOTED ON PLANS
(ALIGN ADJACENT WINDOW HEADER HEIGHT WITH
DOOR HEADERS.)

plan key notes

- 1 ALL PLUMBING FIXTURES SHALL COMPLY WITH THE
MAXIMUM FLOW RATE PER CALGREEN SECT
4.303 AS FOLLOWS:
- SINGLE SHOWERHEADS SHALL NOT EXCEED
1.8 GAL PER MINUTE MEASURED AT 80 PSI.
WHEN A SHOWER IS SERVED BY MORE THAN
ONE SHOWERHEAD, THE COMBINED FLOW
RATE OF ALL SHOWER HEADS AND/OR
OTHER SHOWER OUTLETS CONTROLLED BY A
SINGLE VALVE SHALL NOT TO EXCEED 1.8
GAL PER MINUTE AT 80 PSI. OR THE SHOWER
SHALL BE DESIGNED TO ALLOW ONLY ONE
SHOWER OUTLET TO BE IN OPERATION AT A
TIME.
 - RESIDENTIAL LAVATORY FAUCETS SHALL NOT
EXCEED 1.2 GAL PER MINUTE AT 60 PSI.
 - KITCHEN FAUCETS SHALL NOT EXCEED 1.8
GAL PER MINUTE AT 60 PSI. KITCHEN FAUCETS
MAY TEMPORARILY INCREASE THE FLOW
ABOVE THE MAXIMUM RATE, BUT NOT TO
EXCEED 2.2 GAL PER MINUTE AT 60 PSI AND
MUST DEFAULT TO A MAXIMUM FLOW RATE
OF 1.8 GAL PER MINUTE AT 60 PSI.

2 A/C CONDENSER ON 30"x30" MIN PRECAST
CONCRETE PAD, 3" MINIMUM ABOVE GRADE.
LOCATION VARIES PER SITE PLAN.

3 NOT USED.

4 50 GAL "LOWBOY" ELECTRIC WATER HEATER ON
PLATFORM AS NOTED. PROVIDE DRAIN PAN, DRAIN
TO EXTERIOR. SEE DETAIL X/XX AND GENERAL NOTES
SECTION 220000. INSTALL PER MANUFACTURER'S
INSTALLATION INSTRUCTIONS W/ APPROPRIATE
CLEARANCES AND RELIEF VALVE WITH DRAIN.

5 30" SLIDE-IN GAS RANGE WITH 30" HOOD.
LIGHT, EXHAUST FAN AND MICROWAVE ABOVE.
VENT PER GENERAL NOTES SECTION 076000.
(DOWNDRAFT-VENT PER GENERAL NOTES
SECTION 076000.)

6 DRYER VENT TO OUTSIDE AIR PER MECHANICAL
PLANS. DUCT SHALL BE OF MIN. 4" DIA. TO THE
OUTSIDE, EQUIPPED WITH A BACK-DRAFT DAMPER.
DUCT LENGTHS IS LIMITED TO 14 FT. WITH 2 ELBOWS.
OTHER LENGTHS OR SIZES AS PERMITTED OR
REQUIRED BY THE MANUFACTURER'S INSTALLATION
INSTRUCTIONS AND APPROVED BY THE BUILDING
OFFICIAL. (PER CMC 504.4.2).
ROOF TERMINATION SHALL NOT BE WITHIN 4 FT. OF
DWELLING SEPARATION WALL.

7 32" X 60" FIBERGLASS TUB, SHOWER OVER, WITH
INTEGRAL SURROUND 70" MINIMUM ABOVE DRAIN.
SHOWER HEAD +78". (CLEAR TEMPERED GLASS
ENCLOSURE, ANODIZED ALUMINUM FRAME)

8 TEMPERED SAFETY GLASS, PER GENERAL
NOTES SECTION 088000.

9 EMERGENCY EGRESS: ONE SASH IN EA. SLEEPING
AREA SHALL COMPLY WITH GOVERNING FIRE
AND BUILDING CODES MAXIMUM SILL HEIGHT AT
EGRESS WINDOW SHALL NOT EXCEED 44" A.F.F.

10 ATTIC ACCESS LARGE ENOUGH TO REMOVE
LARGEST PIECE OF EQUIPMENT BUT NOT LESS
THAN 30"x30". SEE DETAIL 15/AD.4.

11 FAU IN ATTIC ABOVE. PROVIDE UNOBSTRUCTED
PASSAGEWAY WHICH IS LARGE ENOUGH TO REMOVE
THE LARGEST PIECE OF EQUIPMENT. PROVIDE 48" HIGH X
30" WIDE PASSAGEWAY WITH 24" WIDE PLYWOOD
FLOORING WITH 30"x42" PLATFORM AT SERVICE SIDE OF
THE EQUIPMENT. MAX. 20'-0" FROM ACCESS POINT TO
FAU. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
INSTALL PER GENERAL NOTES SECTIONS 076000 & 230000.
AND DETAIL 16/AD.4.

12 INTERIOR SOFFITS: FLAT SOFFIT AT 8'-0". U.N.O.

13 WALL MOUNTED UPPER CABINET ABOVE

14 FACE FRAME CABINET WITH 5 EQ. SHELVES.
SEE DETAIL 9/AD.4.

15 ALL WATER CLOSETS THAT WILL BE INSTALLED
WILL BE LOW FLOW WATER CLOSETS WITH A
MAXIMUM CAPACITY OF 1.28 GALLONS.

16 STUB WALL, HEIGHT AT +42" U.N.O. PROVIDE 1/2"
PLYWOOD BELOW DRYWALL IF OTHER THAN
SOLID FRAMING.

17 HOUSE TO GARAGE FIRE SEPARATION.
GARAGE/HOUSE SEPARATION AT VERTICAL
SURFACES AND ATTICS SHALL BE PROTECTED WITH
NO LESS THAN 1/2" GYPSUM BOARD. PER CRC
TABLE R302.6

18 GARAGE/HOUSE SEPARATION AT HABITABLE
ROOMS ABOVE THE GARAGE SHALL BE PROTECTED
WITH NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD.
PER CRC TABLE R302.6



NEWPORT BEACH LOCATION:
1401 DOVE STREET
SUITE 230
NEWPORT BEACH, CA 92660
PHONE: 949-863-3000

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△	08-03-23	DEVELOPMENT REVIEW COMMENTS
△	04-22-23	DEMO PLAN REVS

PROFESSIONAL SEAL:

PROJECT TITLE:

ATTACHED RESIDENTIAL

1921 W Washington Ave
Santa Ana, CA 92706

DEVELOPMENT
SUBMITTAL
NOT FOR
CONSTRUCTION

CLIENTS NAME:

Habitat for Humanity
Orange County
2200 Ritchey St
Santa Ana, CA 92705
(714) 434-6200

PROJECT NO: GMD22501

SHEET TITLE:

building 1X PORCH FLOOR PLAN

PRINT DATE:

October 27, 2023

SHEET NO:

A1.13

attic ventilation

AREA 1:

ATTIC AREA:	932 SQ. FT.		
VENT RATIO:	1/300		
REQUIRED VENTILATION:	448 SQ. IN.		
PROPOSED VENTILATION:	467 SQ. IN.		
VENT TYPE MFR:	QUAN:	AREA:	TOTAL:
EAVE	8	9 SQ. IN.	72 SQ. IN.
O' HAGIN	4	98.75 SQ. IN.	395 SQ. IN.

AREA 2:

ATTIC AREA:	932 SQ. FT.		
VENT RATIO:	1/300		
REQUIRED VENTILATION:	448 SQ. IN.		
PROPOSED VENTILATION:	467 SQ. IN.		
VENT TYPE MFR:	QUAN:	AREA:	TOTAL:
EAVE	8	9 SQ. IN.	72 SQ. IN.
O' HAGIN	4	98.75 SQ. IN.	395 SQ. IN.

NOTE: ATTIC AREAS WHICH USE THE 1:300 RATIO HAVE BEEN DESIGNED SO THAT AT LEAST 40% AND NOT MORE THAN 50% OF VENTING IS PROVIDED IN THE UPPER PORTION OF THE ATTIC.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AGAINST THOSE NOTED ABOVE. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

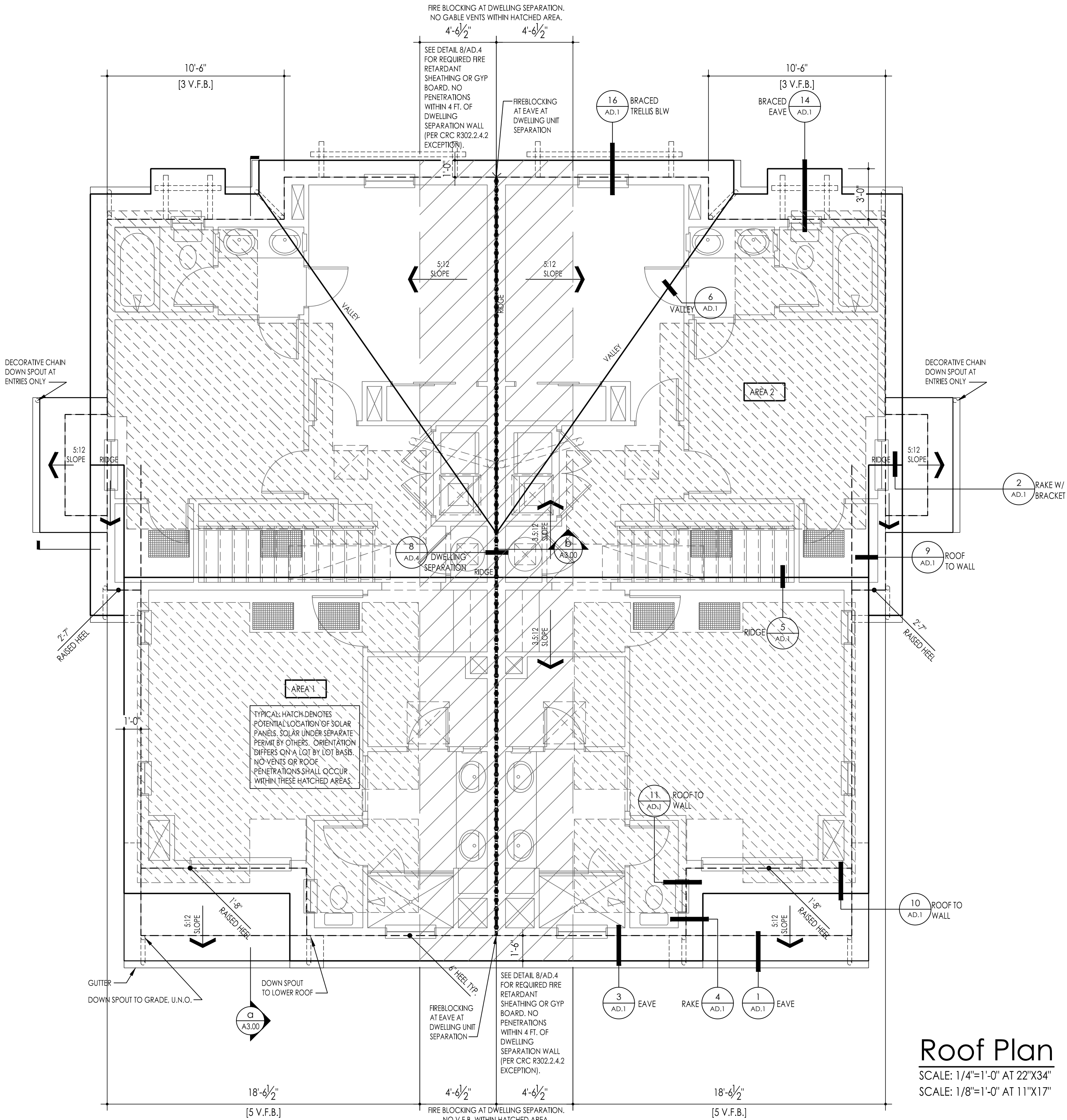
SINGLE-FAMILY RESIDENCES LOCATED IN SUBDIVISIONS WITH TEN OR MORE SINGLE FAMILY RESIDENCES SHALL BE SOLAR READY AS FOLLOWS:

- THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OF THE BUILDING AND HAVE A TOTAL AREA NO LESS THAN 250 SQUARE FEET.
- AREAS SHALL HAVE NO DIMENSION LESS THAN FIVE FEET AND NO LESS THAN 80 SQUARE FEET EACH.
- ORIENTED BETWEEN 110 DEGREES AND 270 DEGRESS OF TRUE NORTH.
- NO OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, ARCHITECTURAL FEATURES AND ROOF MOUNTED EQUIPMENT, SHALL BE LOCATED IN THE SOLAR ZONE.
- SEE STRUCTURAL FOR DESIGN LOADS AT AREAS OF THE ROOF DESIGNATED AS SOLAR ZONE.
- MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC."

roof notes

1.

REFER TO CIVIL ENGINEER'S DRAINAGE PLANS FOR DISCHARGE OF ROOF DRAINAGE TO APPROVED DRAINAGE SYSTEM.
ROOF DRAINAGE SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST OF FIVE FEET AWAY OR TO AN APPROVED DRAINAGE SYSTEM PER R801.3.



Roof Plan

SCALE: 1/4"=1'-0" AT 22"X34"

SCALE: 1/8"=1'-0" AT 11"X17"



NEWPORT BEACH LOCATION:
1401 DOVE STREET
SUITE 230
NEWPORT BEACH, CA 92660
PHONE: 444-863-3000

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RESIDENTIAL

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Santa Ana, CA 92706

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CLIENTS NAME:
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Orange County**
2200 Ritchey St
Santa Ana, CA 92705
(714) 434-6200

PROJECT NO: GMD22501

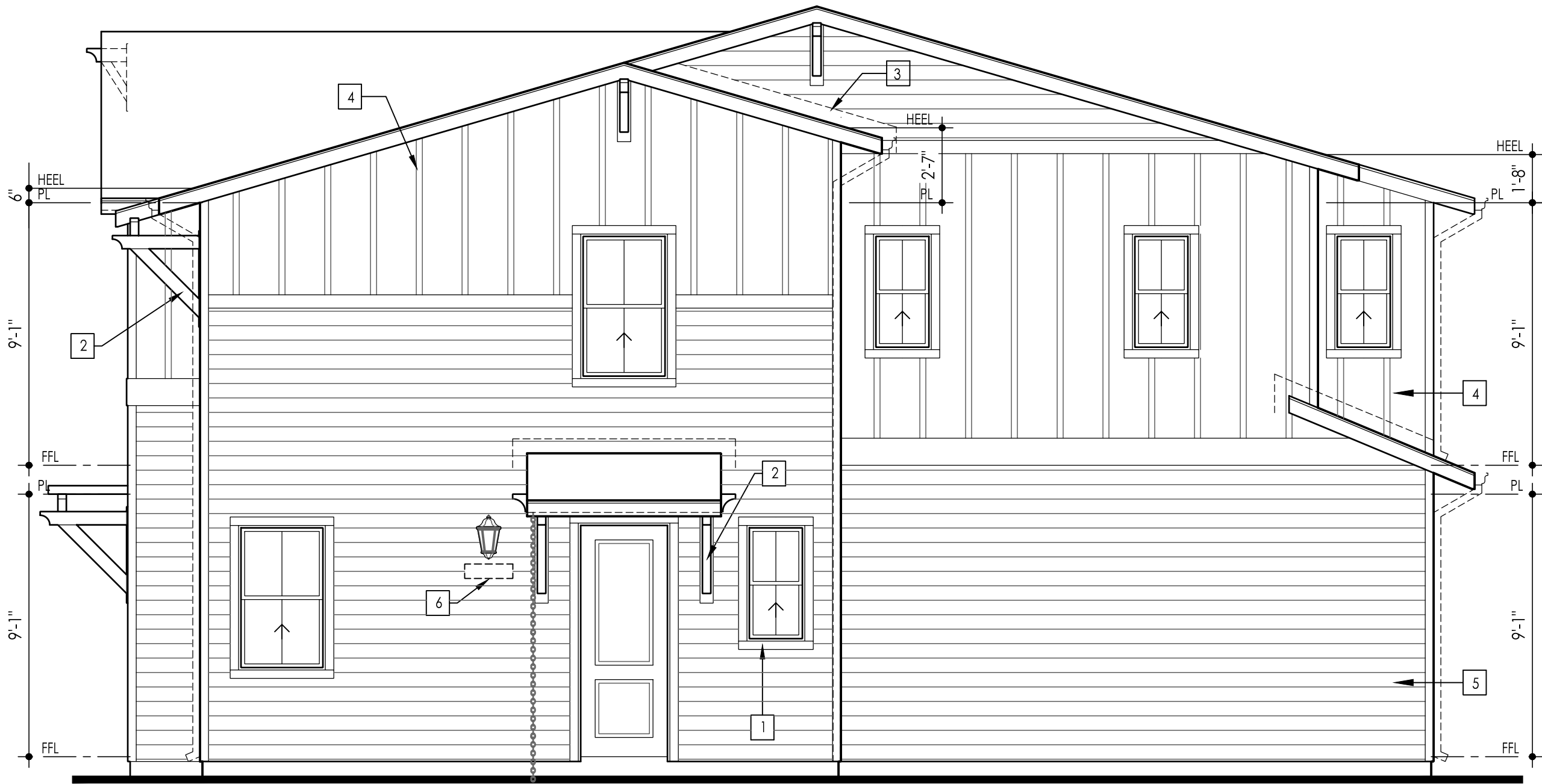
SHEET TITLE:

building 1

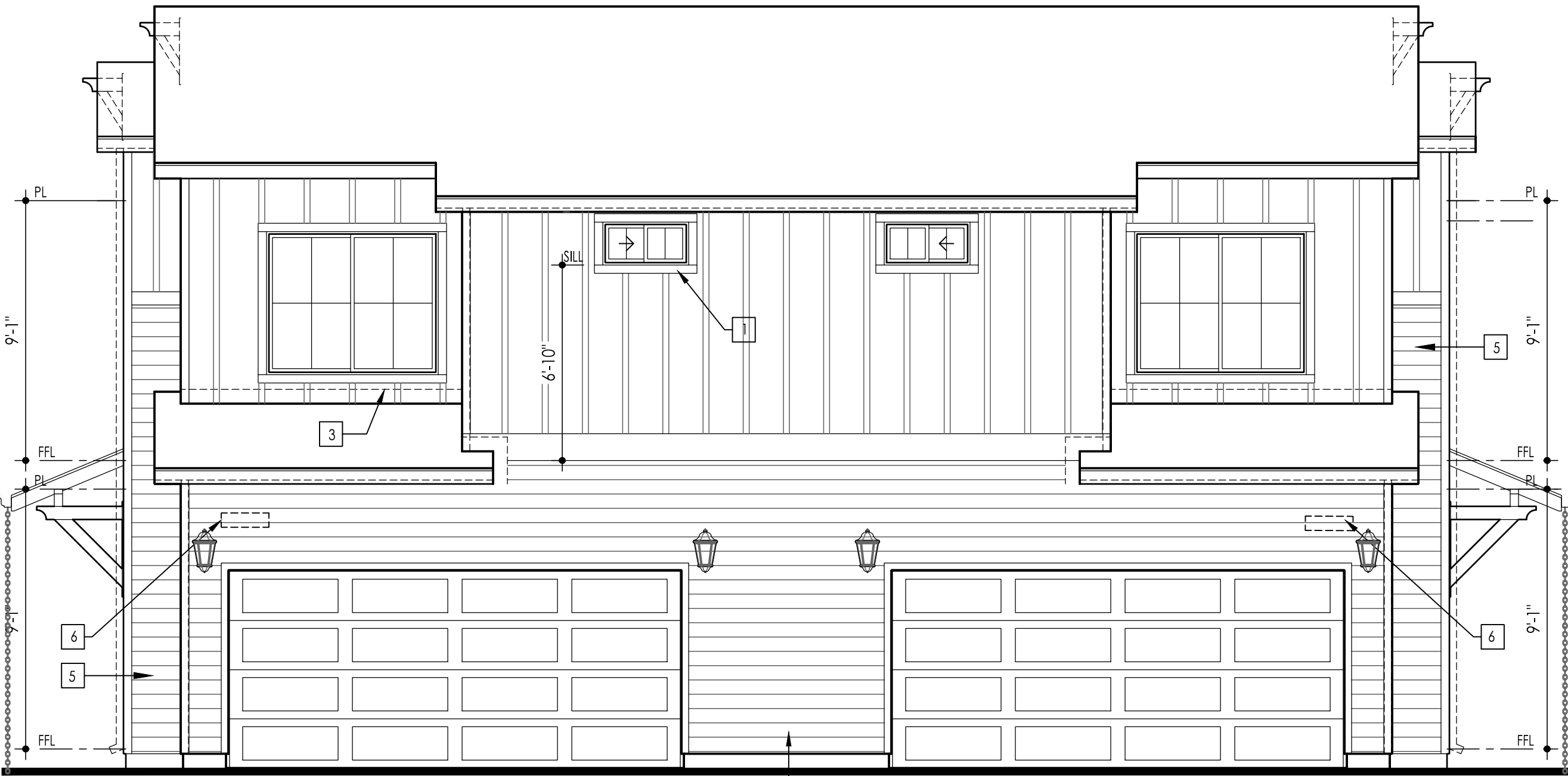
ROOF PLAN

PRINT DATE:
October 27, 2023

SHEET NO:
A1.20



FARMHOUSE
Right Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE
Rear Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE
Left Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE
Front Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"

exterior elevation notes

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
- B. WINDOW "HEAD" HEIGHTS:
-1ST & 2ND FLRS = 8'-0" U.N.O. ON EXT. ELEVATIONS
-DOOR HEIGHTS AS NOTED ON PLANS.
[ALIGN ADJACENT WINDOW HEADER HEIGHT WITH DOOR HEADERS.]
- C. EXTERIOR WALLS:
-FIBERCEMENT SIDING PER GENERAL NOTES.
- D. EXTERIOR SOFFITS:
-FIBERCEMENT SOFFIT PANEL SIDING PER GENERAL NOTES.
- E. ROOFING:
CLASS 'A' FIRE-RETARDANT CONCRETE TILES.
UES EVALUATION REPORT ER-1900
- FLAT CONCRETE TILE PER GENERAL NOTES.
SEE ROOFING DETAILS FOR FASCIAS.
- F. WINDOWS:
- VINYL WINDOWS PER GENERAL NOTES, DIVIDED LITES WHERE SHOWN ON EXTERIOR ELEVATIONS.
- G. ENTRY DOORS:
- RAISED PANEL PER GENERAL NOTES AND AS SELECTED BY OWNER.
- H. DOOR AND WINDOW TRIM:
- FIBERCEMENT TRIM WITH WOOD GRAIN FINISH, PER GENERAL NOTES. SEE DETAILS
- ELEVATION KEY NOTES
- 1 FIBER CEMENT TRIM PER GENERAL NOTES. 2X4 U.N.O. SEE DETAILS.
- 2 RESAWN WOOD POST, BRACE AND/OR BEAM. SEE DETAILS
- 3 CORROSION RESISTANT ROOF TO WALL FLASHING. SEE ROOF DETAILS.
- 4 FIBERCEMENT PANEL SIDING W/ 1X3 BATTS AT 18" O.C. AND 2X CORNER BOARDS. SEE DETAILS.
- 5 6" FIBERCEMENT LAP SIDING W/ 2X CORNER BOARDS. SEE DETAILS.
- 6 HOUSE STREET NUMBERS PER BUILDER. SHALL BE VISIBLE AND LEGIBLE FROM THE STREET.



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NEWPORT BEACH, CA 92660
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(714) 434-6200

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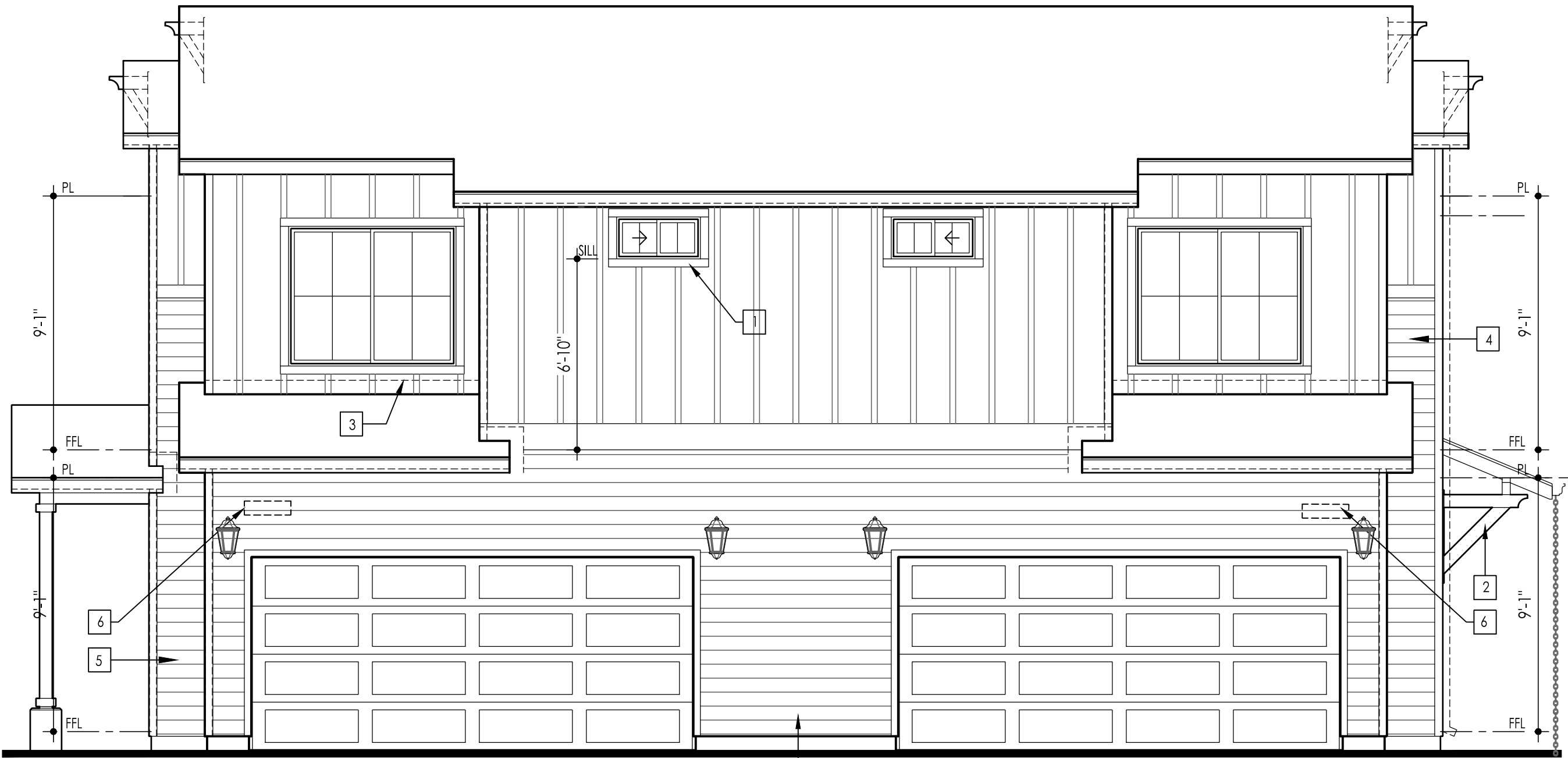
**building 1
EXTERIOR
ELEVATIONS**

PRINT DATE:
October 27, 2023

SHEET NO:
A1.31



FARMHOUSE
Right Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE
Rear Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE
Left Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE
Front Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"

exterior elevation notes

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
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-DOOR HEIGHTS AS NOTED ON PLANS.
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-FIBERCEMENT SOFFIT PANEL SIDING PER GENERAL NOTES.
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CLASS 'A' FIRE-RETARDANT CONCRETE TILES.
UES EVALUATION REPORT ER-1900
- FLAT CONCRETE TILE PER GENERAL NOTES.
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- RAISED PANEL PER GENERAL NOTES AND AS SELECTED BY OWNER.
- H. DOOR AND WINDOW TRIM:
- FIBERCEMENT TRIM WITH WOOD GRAIN FINISH, PER GENERAL NOTES. SEE DETAILS
- ELEVATION KEY NOTES
- 1 FIBER CEMENT TRIM PER GENERAL NOTES. 2X4 U.N.O. SEE DETAILS.
- 2 RESAWN WOOD POST, BRACE AND/OR BEAM. SEE DETAILS
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- 5 6" FIBERCEMENT LAP SIDING W/ 2X CORNER BOARDS. SEE DETAILS.
- 6 HOUSE STREET NUMBERS PER BUILDER. SHALL BE VISIBLE AND LEGIBLE FROM THE STREET.



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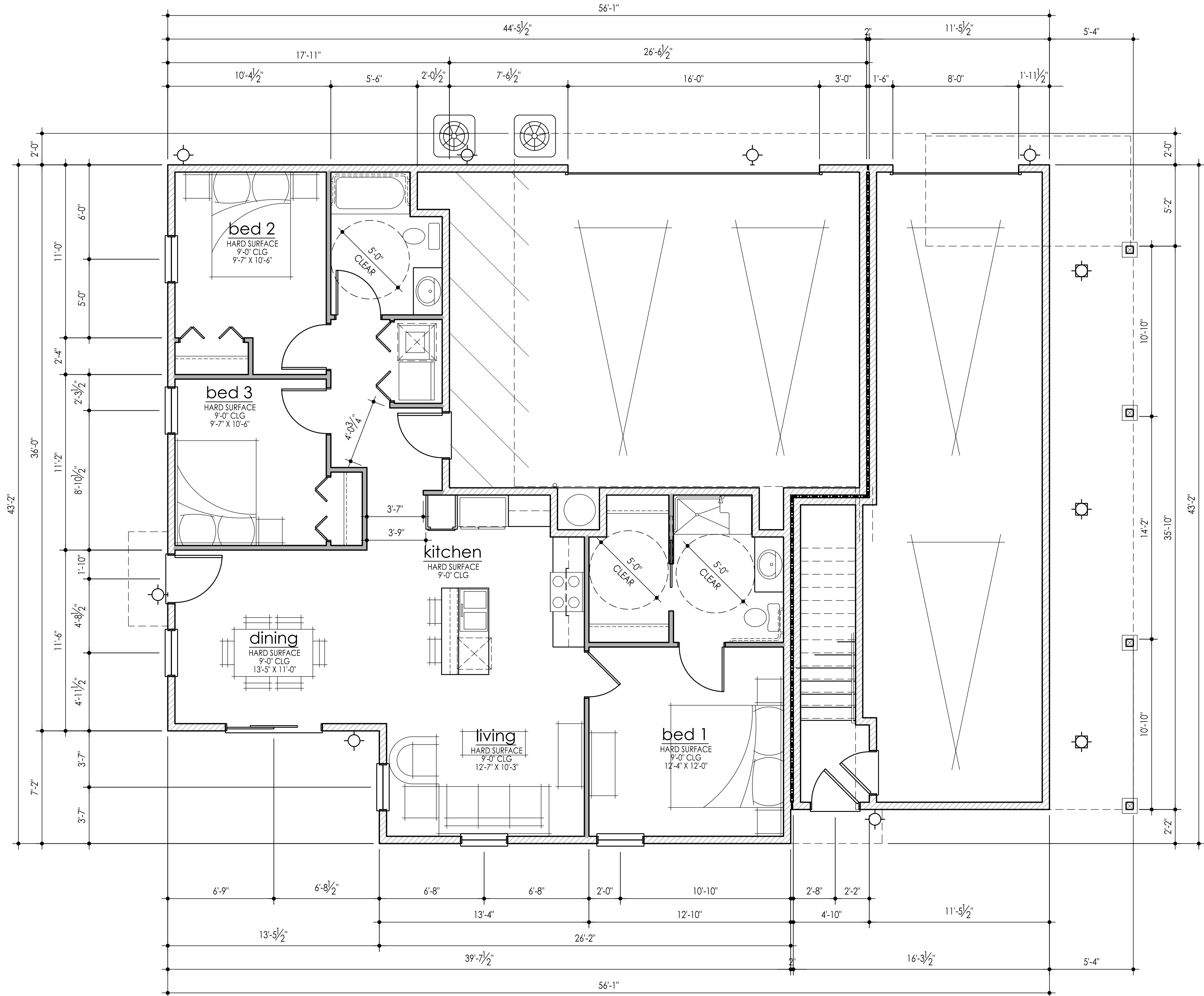
PROJECT NO: GMD22501

SHEET TITLE:

**building 1X
EXTERIOR
ELEVATIONS**

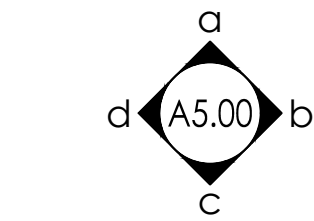
PRINT DATE:
October 27, 2023

SHEET NO:
A1.32



Plan 2X: 1,168 sf
(ADA at ground flr)

SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



INTERIOR ELEVATION KEY
THESE CALCULATIONS ARE FOR THE
ARCHITECTS USE ONLY AND ARE NOT
INTENDED FOR USE BY OTHERS.

unit 6 sq ftg	
GROUND FLOOR	1,168 sf
SUBTOTAL	1,168 sf
GARAGE	547 sf
PORCH	15 sf



NEWPORT BEACH LOCATION:
1401 DOVE STREET
SUITE 230
NEWPORT BEACH, CA 92660
PHONE: 444-863-3000

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PROFESSIONAL SEAL:

PROJECT TITLE:

**ATTACHED
RESIDENTIAL**

1921 W Washington Ave
Santa Ana, CA 92706

**DEVELOPMENT
SUBMITTAL
NOT FOR
CONSTRUCTION**

CLIENTS NAME:

**Habitat for Humanity
Orange County**
2200 Ritchey St
Santa Ana, CA 92105
(714) 434-6200

PROJECT NO: GMD22501

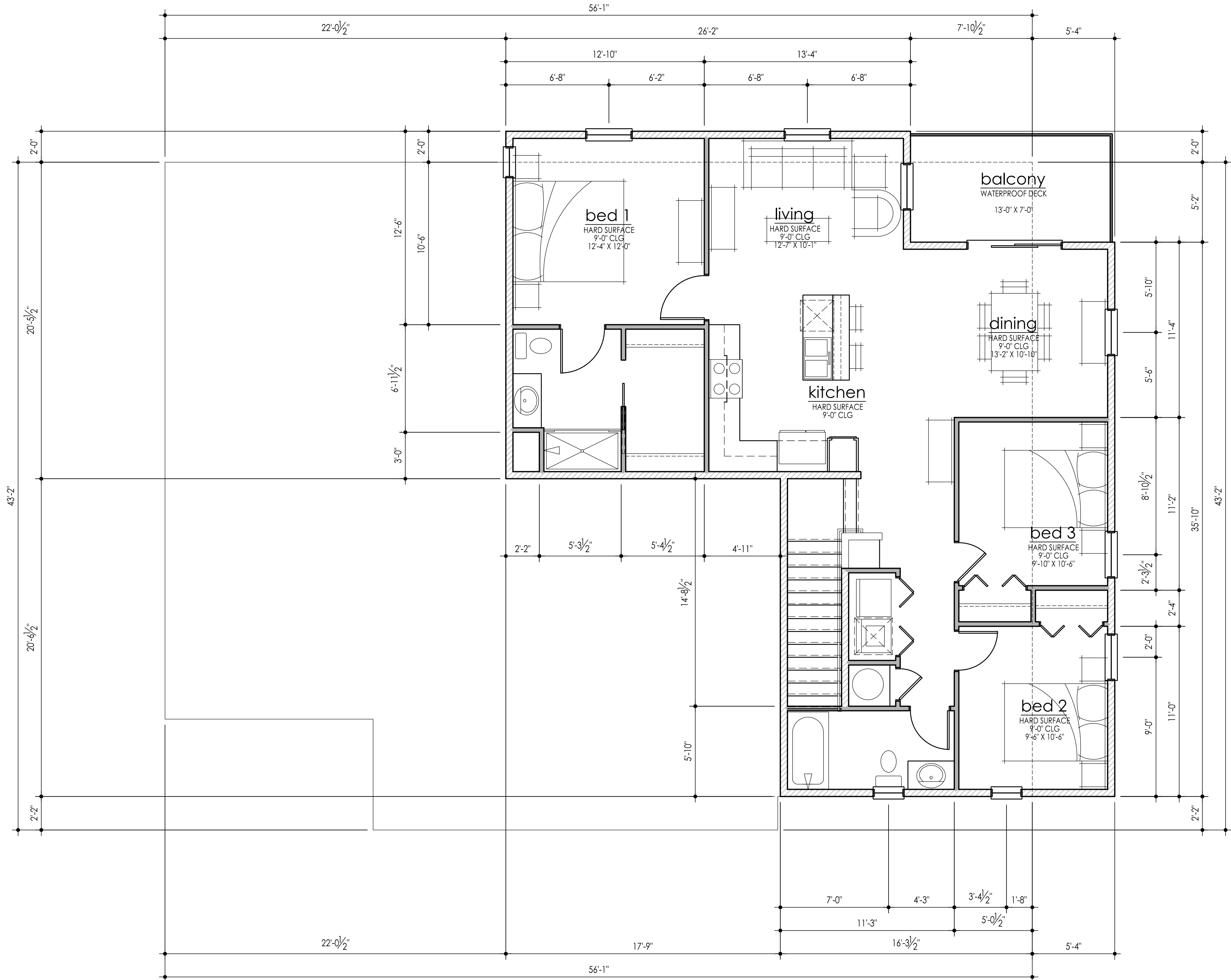
SHEET TITLE:

**building 2
FIRST
FLOOR PLAN**

PRINT DATE:
October 27, 2023

SHEET NO:

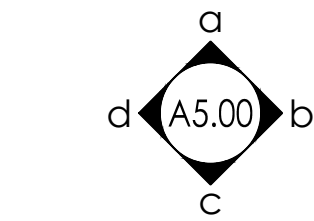
A2.11



Plan 2: 1,165 sf

Upper Flr Unit

SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



INTERIOR ELEVATION KEY
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unit 5 sq ftg	
UPPER FLOOR	1,165 sf
SUBTOTAL	1,165 sf
GARAGE	566 sf
BALCONY	89 sf



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2200 Ritchey St
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(714) 434-6200

PROJECT NO: GMD22501

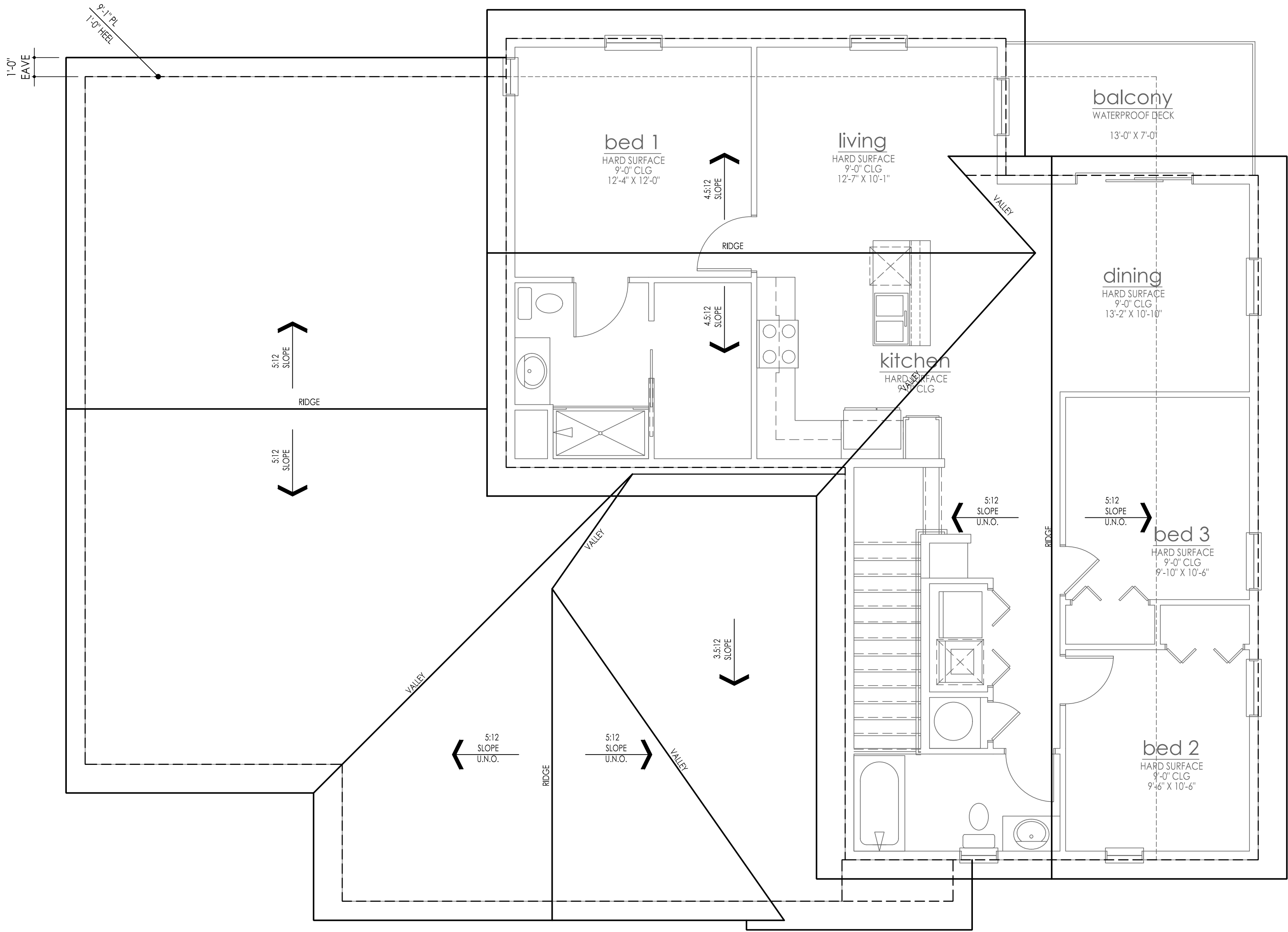
SHEET TITLE:

building 2
SECOND
FLOOR PLAN

PRINT DATE:
October 27, 2023

SHEET NO:

A2.12



Roof Plan

SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



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NO:	DATE:	REVISION:
△	05-22-23	DEVELOPMENT SUBMITTAL
△	08-03-23	DEVELOPMENT REVIEW COMMENTS
△	04-22-23	DEMO PLAN REVS

PROFESSIONAL SEAL:

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SHEET TITLE:

building 2

ROOF PLAN

PRINT DATE:

October 27, 2023

SHEET NO:

A2.20



FARMHOUSE
Rear Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE
Front Elevation
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"

exterior elevation notes

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
- B. WINDOW "HEAD" HEIGHTS:
-1ST & 2ND FLRS = 8'-0" U.N.O. ON EXT. ELEVATIONS
-DOOR HEIGHTS AS NOTED ON PLANS.
[ALIGN ADJACENT WINDOW HEADER HEIGHT WITH DOOR HEADERS.]
- C. EXTERIOR WALLS:
-FIBERCEMENT SIDING PER GENERAL NOTES.
- D. EXTERIOR SOFFITS:
-FIBERCEMENT SOFFIT PANEL SIDING PER GENERAL NOTES.
- E. ROOFING:
CLASS 'A' FIRE-RETARDANT CONCRETE TILES.
UES EVALUATION REPORT ER-1900
- FLAT CONCRETE TILE PER GENERAL NOTES.
SEE ROOFING DETAILS FOR FASCIAS.
- F. WINDOWS:
- VINYL WINDOWS PER GENERAL NOTES, DIVIDED LITES WHERE SHOWN ON EXTERIOR ELEVATIONS.
- G. ENTRY DOORS:
- RAISED PANEL PER GENERAL NOTES AND AS SELECTED BY OWNER.
- H. DOOR AND WINDOW TRIM:
- FIBERCEMENT TRIM WITH WOOD GRAIN FINISH, PER GENERAL NOTES. SEE DETAILS
- ELEVATION KEY NOTES
- 1 FIBER CEMENT TRIM PER GENERAL NOTES. 2X4 U.N.O. SEE DETAILS.
- 2 RESAWN WOOD POST, BRACE AND/OR BEAM. SEE DETAILS
- 3 CORROSION RESISTANT ROOF TO WALL FLASHING. SEE ROOF DETAILS.
- 4 FIBERCEMENT PANEL SIDING W/ 1X3 BATTS AT 18" O.C. AND 2X CORNER BOARDS. SEE DETAILS.
- 5 6" FIBERCEMENT LAP SIDING W/ 2X CORNER BOARDS. SEE DETAILS.
- 6 HOUSE STREET NUMBERS PER BUILDER. SHALL BE VISIBLE AND LEGIBLE FROM THE STREET.



NEWPORT BEACH LOCATION:
1401 DOVE STREET
SUITE 230
NEWPORT BEACH, CA 92660
PHONE: 949-863-3000

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	08-03-23	DEVELOPMENT REVIEW COMMENTS
	04-22-23	DEMO PLAN REVS

PROFESSIONAL SEAL:

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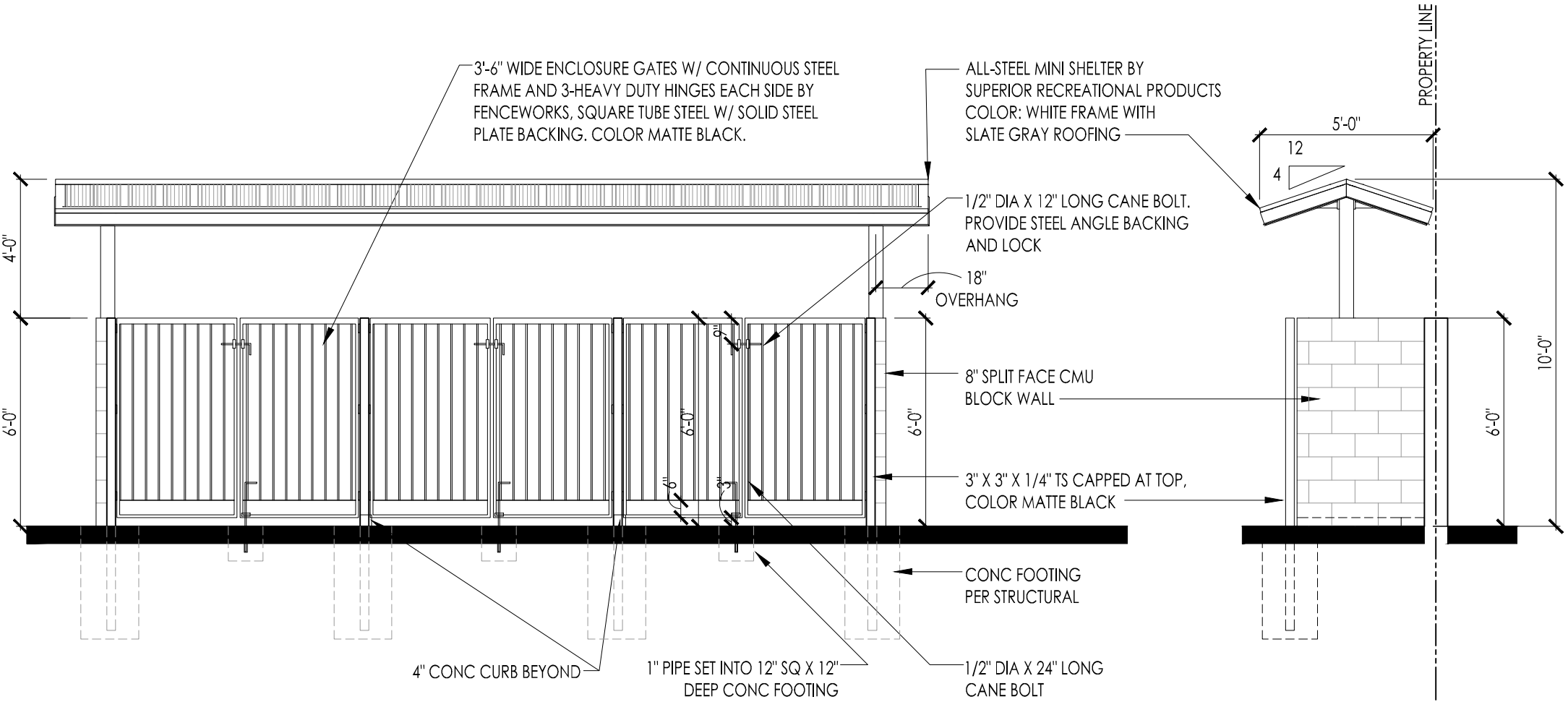
PROJECT NO: GMD22501

SHEET TITLE:

**building 2
EXT.
ELEVATIONS**

PRINT DATE:
October 27, 2023

SHEET NO:
A2.31



Trash Enclosure

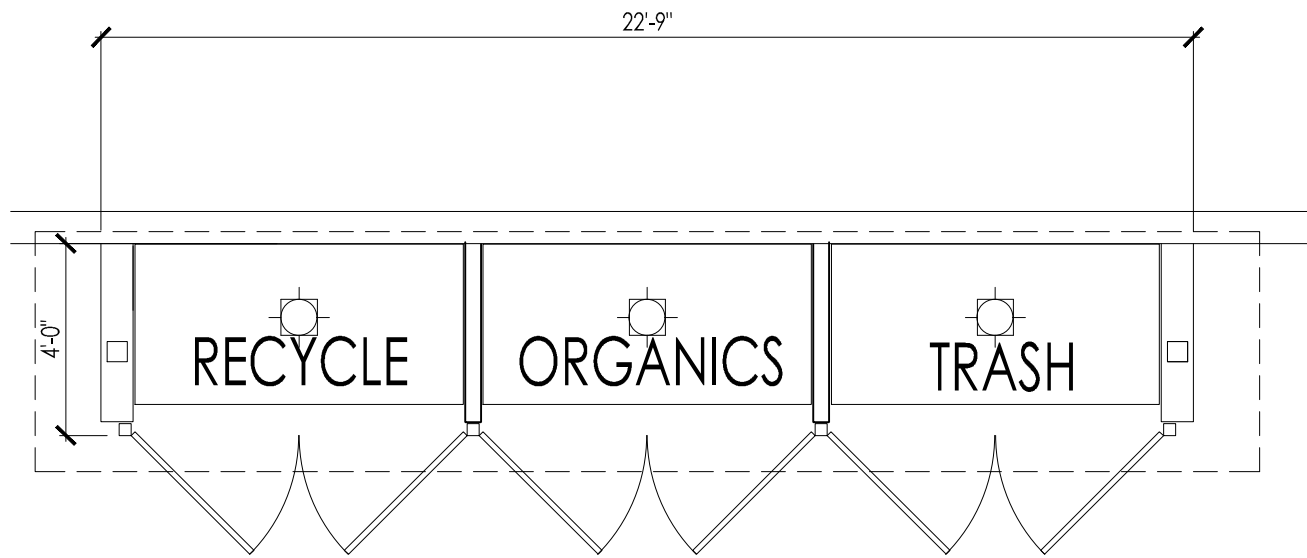
Left

SCALE: 1/4"=1'-0" AT 24"X36"

Trash Enclosure

Front

SCALE: 1/4"=1'-0" AT 24"X36"



Trash Enclosure Plan

SCALE: 1/4"=1'-0" AT 22"X34"

SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE

Right Elevation

SCALE: 1/4"=1'-0" AT 22"X34"

SCALE: 1/8"=1'-0" AT 11"X17"



FARMHOUSE

Left Elevation

SCALE: 1/4"=1'-0" AT 22"X34"

SCALE: 1/8"=1'-0" AT 11"X17"

exterior elevation notes

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- B. WINDOW "HEAD" HEIGHTS:
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PROJECT NO: GMD22501

SHEET TITLE:

building 2 EXT. ELEVATIONS

PRINT DATE:
November 21, 2023

SHEET NO:

A2.32