

KEY NOTES

1. Existing two-story, 5010 s.f. single-family residence to remain. | See Exterior Elevations and floor plans for modifications of balcony railing;
2. Existing 549 s.f. two-car garage to remain.
3. Existing 382 square-foot pool house (non-historic) to be modified.
4. Portion of existing wall to be removed. | See Floor Plan and Exterior Elevations.
5. Portion of existing wall to be retained | See Floor Plan and Exterior Elevations.
6. Existing concrete stoop/railing (non-historic) to be removed/discharged. | See Exterior Elevations.
7. Existing concrete paving (non-historic) to be removed. | See Site Plan.
8. Existing gravel driveway to be removed.
9. Existing Canary Island Date Palm (Phoenix canariensis) tree to remain. | Protect during construction. Do not disturb soil within 3 feet of base of trunk throughout project.
10. Existing driveway apron to be removed/replaced. | See Site Plan.
11. Existing curb to be removed/replaced. | See Site Plan.
12. Existing pool to remain. | Protect during construction.
13. Existing pathway tree to remain. | Protect during construction. Do not disturb soil within 3 feet of base of trunk throughout project.
14. Remove existing (non-historic) concrete block wall for replacement. | See Site Plan.
15. Remove existing landscape only as required to complete project. | See Site Plan.
16. Remove turf to install landscape. See Site Plan.
17. Remove existing security fencing.
18. Remove/relocate existing tree. | See Site Plan.

Feature to be demolished



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DRAWING HISTORY

date revision
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PROJECT NUMBER

22018

PREPARED BY

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associated ark

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home application

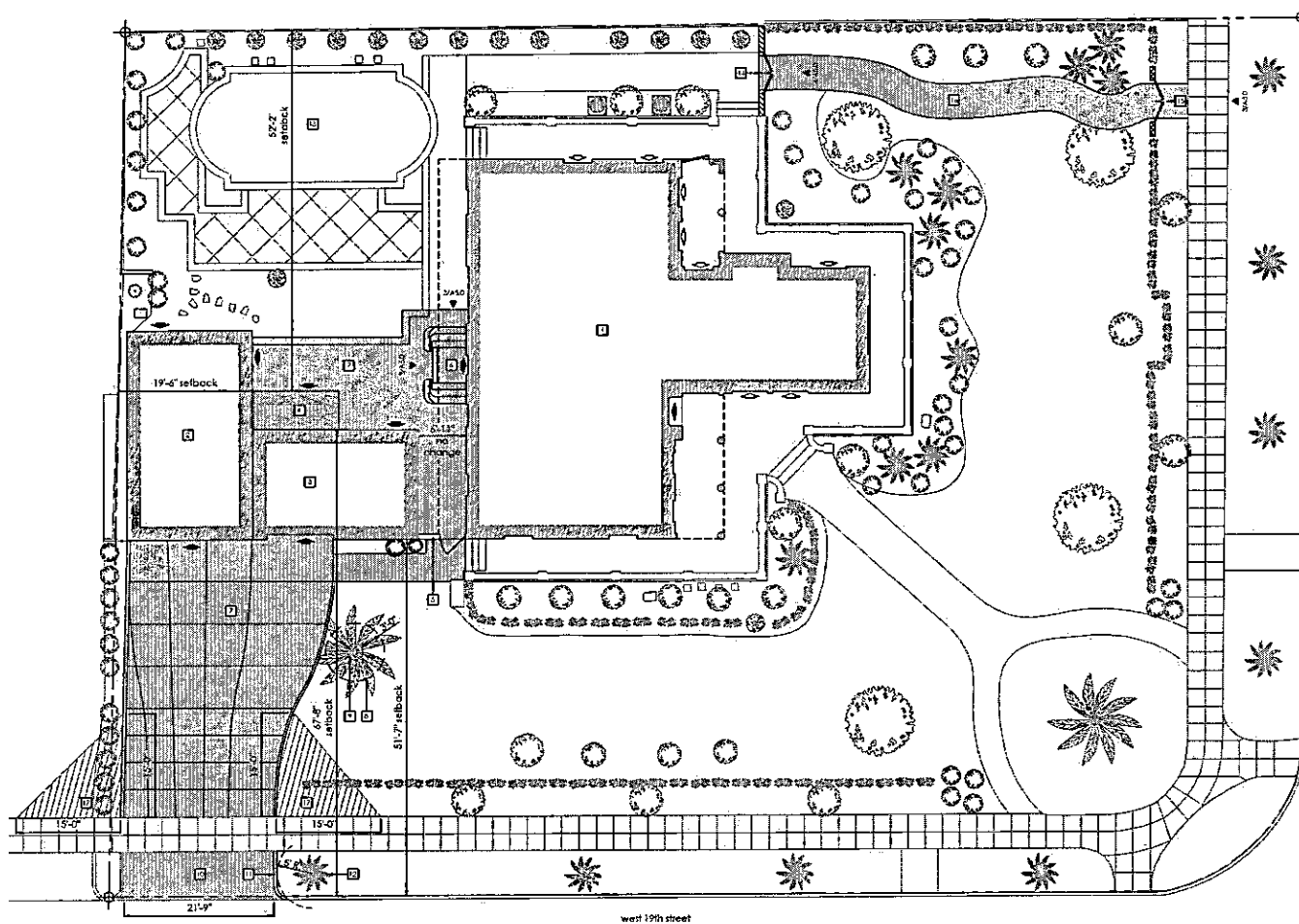
SHEET

D1.0

site plan (demolition)

1 SITE PLAN (DEMOLITION)

scale: 1/8" = 1'-0"



1 SITE PLAN (PROPOSED)

scale: 1/8" = 1'-0"

KEY NOTES

- Existing 3010 s.f. two-story, single-family residence.
- Existing 547 s.f. two-car garage.
- Existing 385 s.f. pool house.
- 49 s.f. pool house addition.
- Existing wall to remain. [See Floor Plan and Exterior Elevations.
- Concrete vloop. [See Exterior Elevations and Details.
- Concrete paving (no less than 4" thick Padform Cement with Topcoat V-6 treatment). To match color and texture of existing pavement. Consult with JANUS for precise forming and scoring.
- 4" wide concrete landscape curb (top flush with grade).
- Existing Canary Island Date Palm (Phoenix canariensis) free to remain. [Protect during construction. Do not disturb soil within 3 feet of base of trunk.
- Driveway apron (topcoat V-6 treatment) to match color and texture of existing pavement.
- Driveway apron curb (topcoat V-6 treatment) to match color and texture of existing pavement. Match curb dimension and radius to existing.
- Existing pathway free to remain. [Protect during construction. Do not disturb soil within 6 feet of base of trunk.
- Existing pool to remain. [Protect during construction.
- 4'-High concrete block wall with stucco finish (match existing) and wood gate. [See Details.
- 3'-High concrete block wall with stucco finish (match existing) and wood gate. [See Details.
- Foot path (decomposed granite).
- Driveway Sight Triangle (no free-standing signs or visual obstructions higher than 2.5 are allowed in this area.)
- Remove/relocate existing tree.

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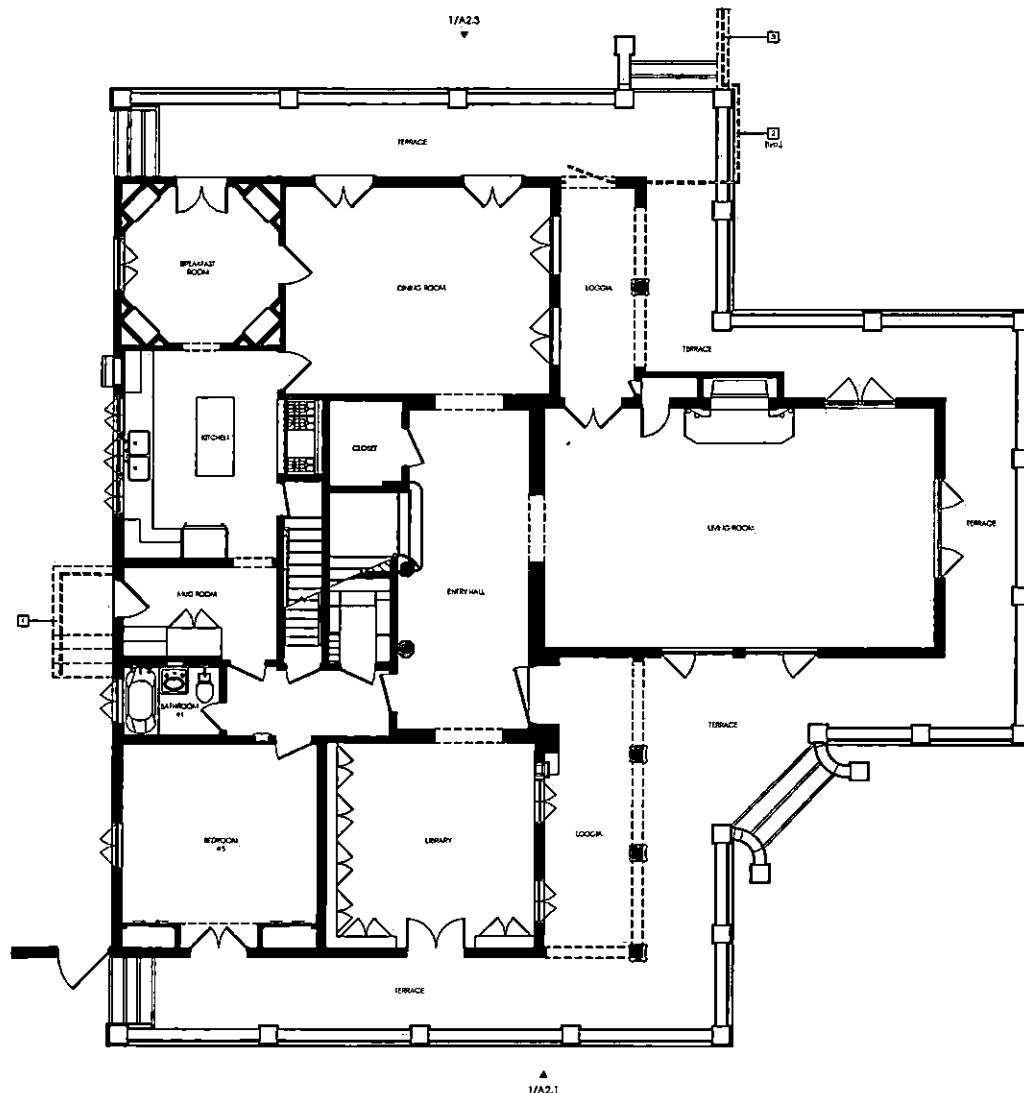
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SHEET

A1.0
site plan [proposed]



KEY NOTES

1. Remove/replace existing (non-historic) stoop. | See Site Plan, Exterior Elevations and Details.
2. Remove existing (non-historic) security fence. | See Site Plan, Exterior Elevations and Details.
3. Remove existing (non-historic) masonry wall. | See Site Plan, Exterior Elevations and Details.

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Robert Imboden
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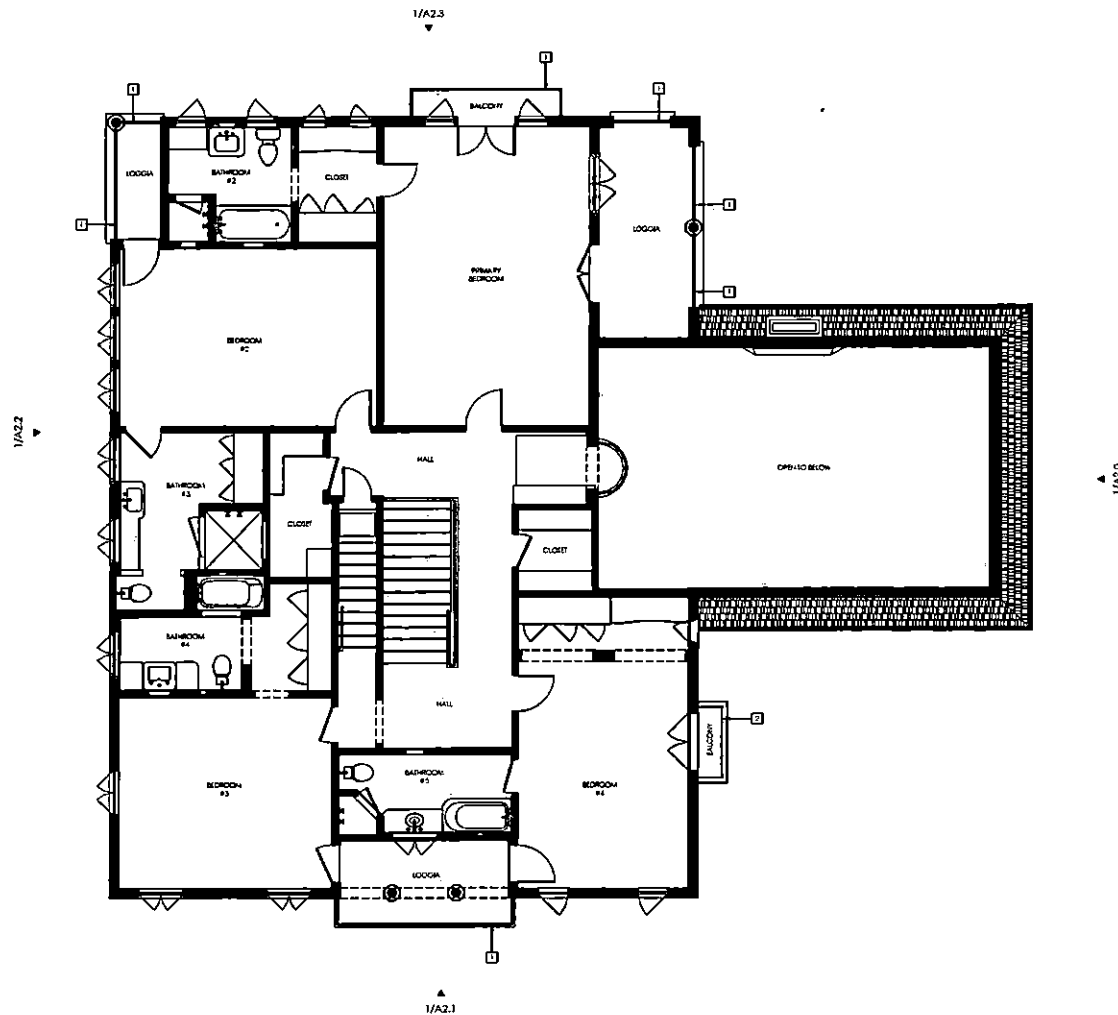
SHEET

A1.1

house floor plan

1 HOUSE FLOOR PLAN | LOWER LEVEL

scale: 1/4" = 1'-0"



1 HOUSE FLOOR PLAN | UPPER LEVEL

scale: 1/4" = 1'-0"

KEY NOTES

1. Temporarily remove existing metal railings for modification and re-install. | See Exterior Elevations and Details.
2. Existing wooden railing to remain. Remove paint down to bare wood using the gentlest means possible. Protect during construction. | See Exterior Elevations.

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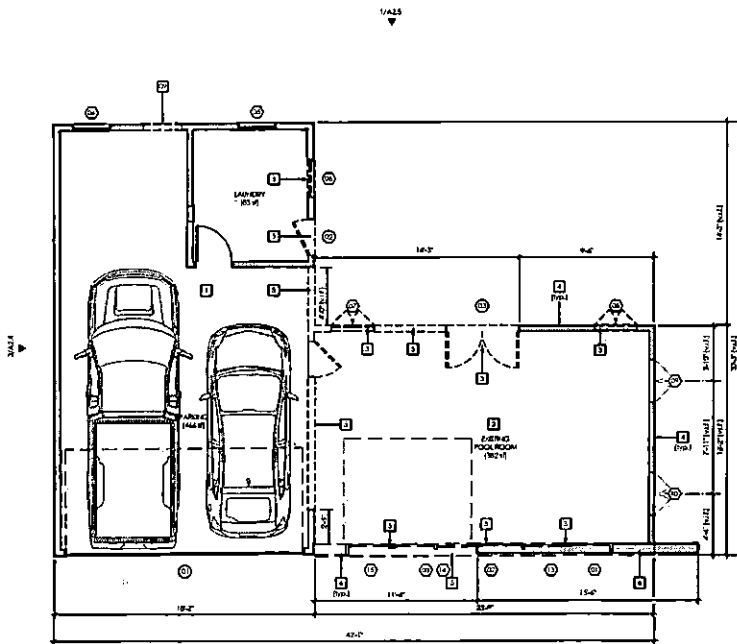
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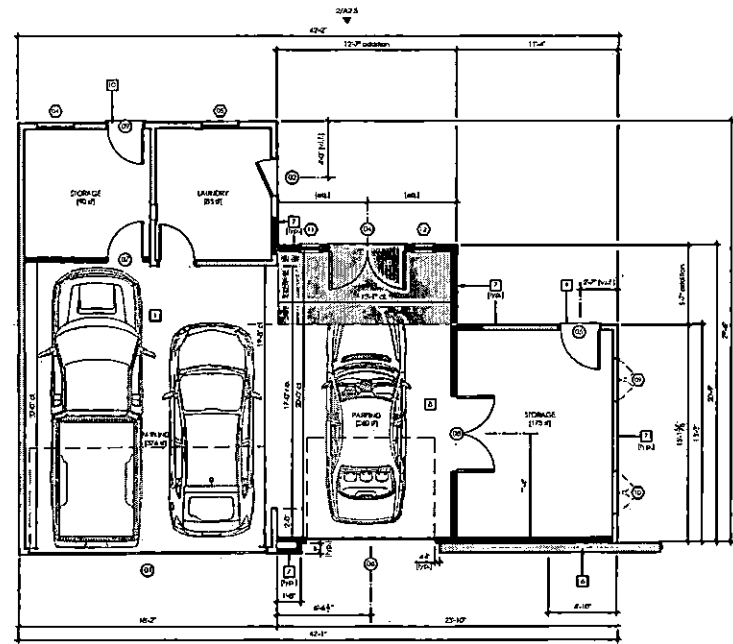
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hema application

SHEET

A1.2
house floor plan



1 GARAGE FLOOR PLAN | EXISTING



1 GARAGE FLOOR PLAN | PROPOSED

KEY NOTES

- Existing (549 square-foot) two-car garage/laundry to remain. Modify plan to include storage room.
- Existing (382 square-foot) pool house (non-historic) to be modified (pool, cladding, walls, conc. slab and partition wall).
- Existing door/window to be removed/salvaged for reuse. [See Exterior Elevations and Door/Window Schedule]
- Existing ship-lap siding (non-historic) to be removed/disposed. [See Exterior Elevations.]
- Remove existing wall.
- Portion of existing garden wall to be retained. [See Floor Plan and Exterior Elevations.]
- Stucco cladding [match existing]. [See Exterior Elevations.]
- 433 square-foot (includes 49 square-foot addition) garage/storage. [See Exterior Elevations.]
- Create opening for door. [See Exterior Elevations and Door Schedule.]
- Custom door. [See Door Schedule.]

- new wall
- existing wall to remain
- existing feature to be removed
- item above
- area of addition

DOOR SCHEDULE

Tag	Dimensions width height	Type	Header Height	Operation	Orientation	Material	Glazing	Notes
01	18'w 8'4'h	-	8'4"	roll-up	south	wood	none	existing, retain/protect during construction
02	32'w 8'0'h	-	8'0"	swing	east	wood	single-leaf	existing, remove/relocate
03	32'w 8'0'h	-	8'0"	swing	north	n/a	multi-leaf	existing, remove/dispose (non-historic)
04	6'4'w 8'0'h	-	8'0"	swing	north	wood/paint	multi-leaf	pair, see exterior elevations
05	32'w 8'0'h	-	8'0"	swing	north	wood	single-leaf	custom, match door 02
06	10'6'w 8'4'h	-	8'4"	lift-up	south	wood	none	vertical board, walnut stain/oil seal
07	32'w 8'0'h	-	8'0"	swing	n/a	wood	none	match existing interior door
08	32'w 8'0'h	-	8'0"	swing	n/a	wood	none	pair, match existing interior door
09	32'w 8'0'h	-	8'0"	swing	n/a	wood	single-leaf	custom, match door 02

WINDOW SCHEDULE

Tag	Dimensions width height	Type	Header Height	Operation	Orientation	Material	Glazing	Notes
01	32'w 22'h	-	4'2"	fix	south	wood	multi-leaf	existing, remove/salvage/make available for reuse (non-historic)
02	32'w 22'h	-	4'2"	fix	south	wood	multi-leaf	existing, remove/salvage/make available for reuse (non-historic)
03	32'w 22'h	-	4'2"	fix	south	wood	multi-leaf	existing, remove/salvage/make available for reuse (non-historic)
04	30'w 36'h	-	8'0"	double-hung	north	wood	single-leaf sash	existing, no change/protect during construction
05	30'w 36'h	-	8'0"	double-hung	north	wood	single-leaf sash	existing, no change/protect during construction
06	30'w 36'h	-	8'0"	double-hung	east	wood	single-leaf sash	existing, remove/salvage/make available for reuse
07	36'w 42'h	-	8'0"	casement	north	wood	multi-leaf sash	existing, remove/salvage/make available for reuse (non-historic)
08	36'w 42'h	-	8'0"	casement	north	wood	multi-leaf sash	existing, remove/salvage/make available for reuse (non-historic)
09	36'w 42'h	-	8'0"	casement	east	wood	multi-leaf sash	existing, no change/protect during construction
10	26'w 42'h	-	8'0"	casement	east	wood	multi-leaf sash	existing, no change/protect during construction
11	18'w 8'0'h	-	8'0"	fixed	north	wood	multi-leaf sash	custom side-leaf, match detailing of door 04, see Exterior Elevations
12	18'w 8'0'h	-	8'0"	fixed	north	wood	multi-leaf sash	custom side-leaf, match detailing of door 04, see Exterior Elevations
13	32'w 22'h	-	4'2"	fixed	south	wood	multi-leaf	existing, remove/salvage/make available for reuse (non-historic)
14	32'w 22'h	-	4'2"	fixed	south	wood	multi-leaf	existing, remove/salvage/make available for reuse (non-historic)
15	32'w 22'h	-	4'2"	fixed	south	wood	multi-leaf	existing, remove/salvage/make available for reuse (non-historic)

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DRAWING HISTORY

date revision
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PROJECT NUMBER

2208

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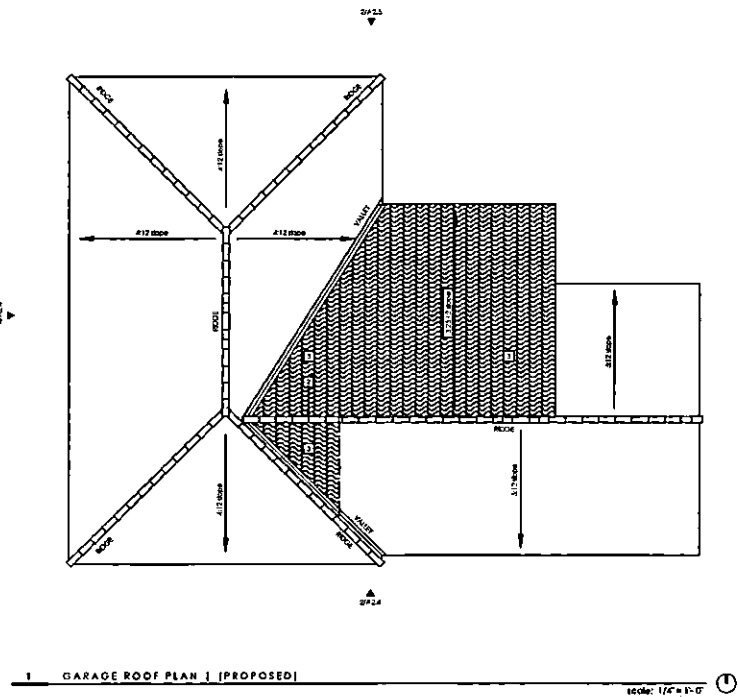
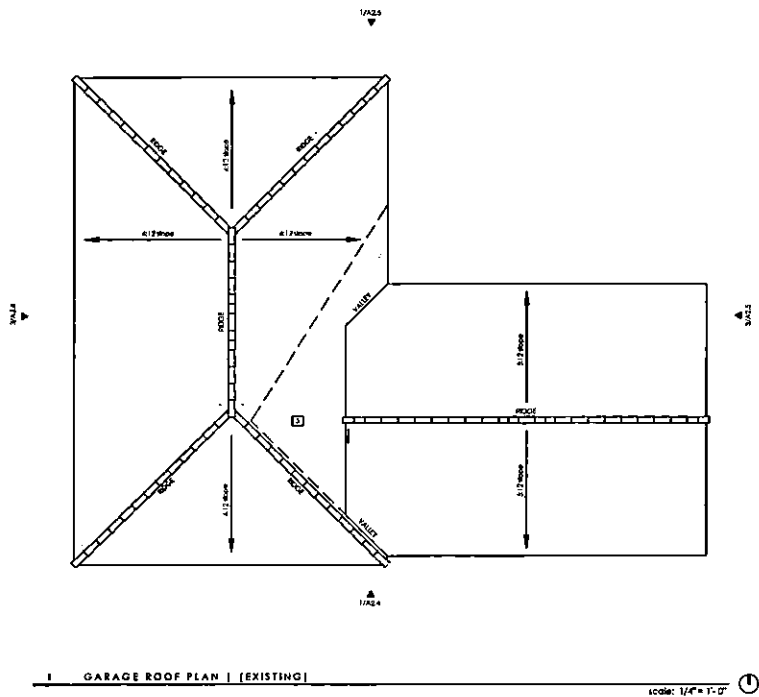
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final application

SHEET

A1.3

garage floor plan



KEY NOTES

1. Remove (temporarily) existing clay S-tile and salvage for reuse.
2. Extend existing ridge to garage roof.
3. Salvaged clay S-tile (salvaged) at new roof. Any supplementary tile to match existing in size, color and texture.

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DRAWING HISTORY

date	revision

PROJECT NUMBER

220.8

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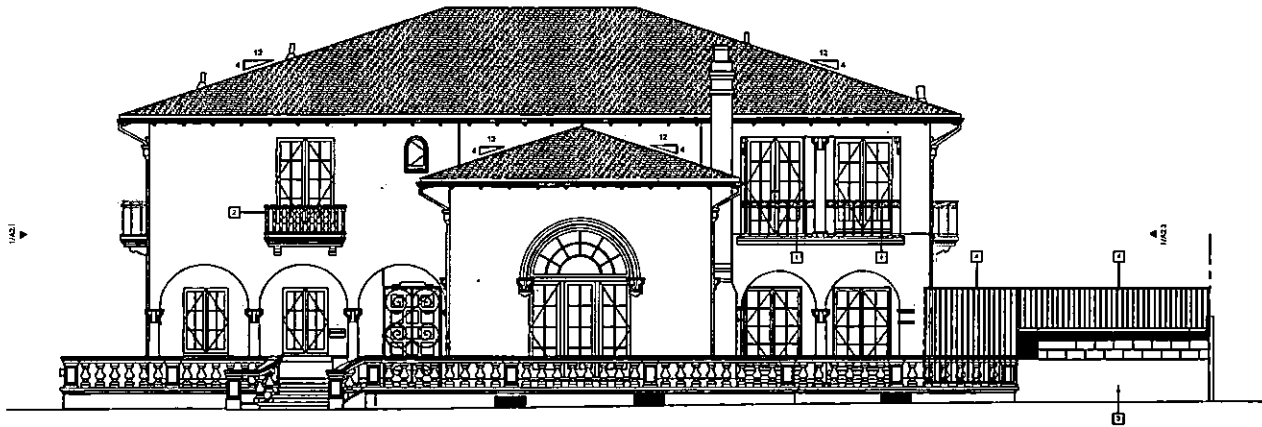
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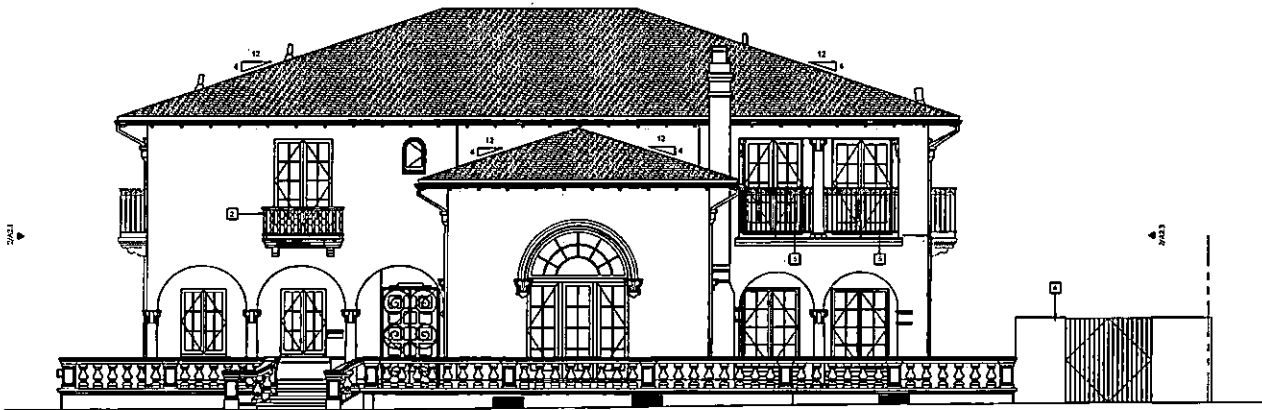
A1.4

garage roof plan



1 EAST ELEVATION | EXISTING

scale: 1/4" = 1'-0"



2 EAST ELEVATION | PROPOSED

scale: 1/4" = 1'-0"

KEY NOTES

1. Remove (temporarily) existing metal railings for modification. [See Floor Plans and Details.
2. Existing wooden railing to remain. Remove paint down to bare wood using the gentlest means possible. Protect during construction. [See Exterior Elevations.
3. Remove masonry wall (non-historic) for replacement. [See Site Plan and Exterior Elevations.
4. Remove existing iron security fencing (non-historic). [See Site Plan and Exterior Elevations.
5. Reinstall (modified) metal garrack. [See Floor Plans and Details.
6. Install security wall and wood gate. [See Site Plan, Exterior Elevations and Details.

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A1.0 design details

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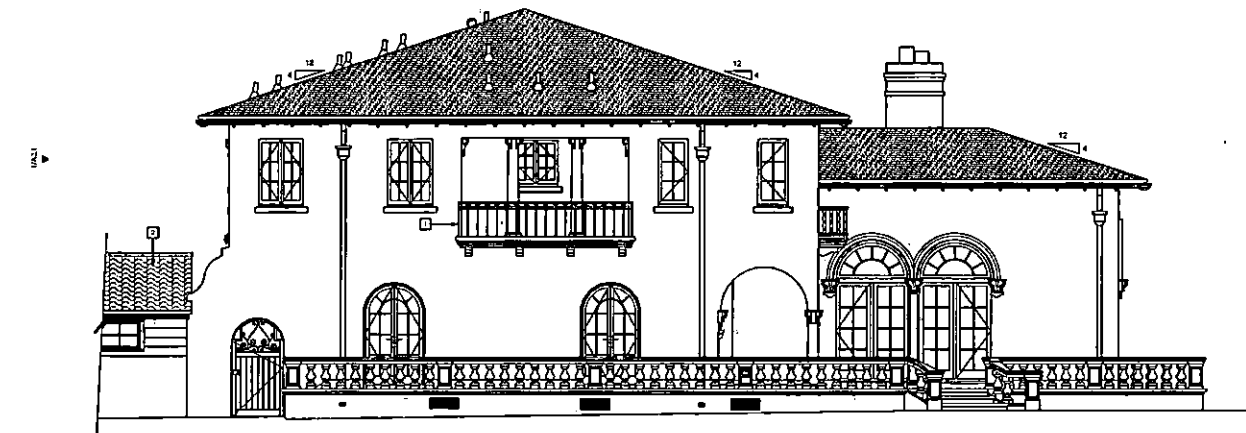
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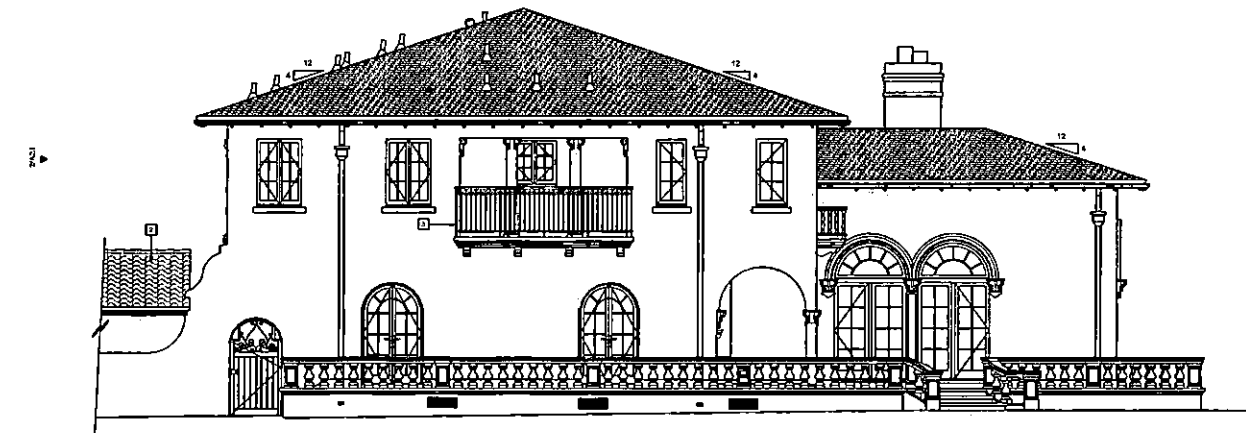
SHEET

A2.0
exterior elevations (east)



1 SOUTH ELEVATION | EXISTING

scale: 1/4" = 1'-0"



2 SOUTH ELEVATION | PROPOSED

scale: 1/4" = 1'-0"

KEY NOTES

1. Remove (temporarily) existing metal railings for modifications. | See Floor Plans and Details.
2. Garage/porch house. | See Site Plan, Floor Plan, Exterior Elevations.
3. Reinstall (modified) guardrail. | See Floor Plans and Details.

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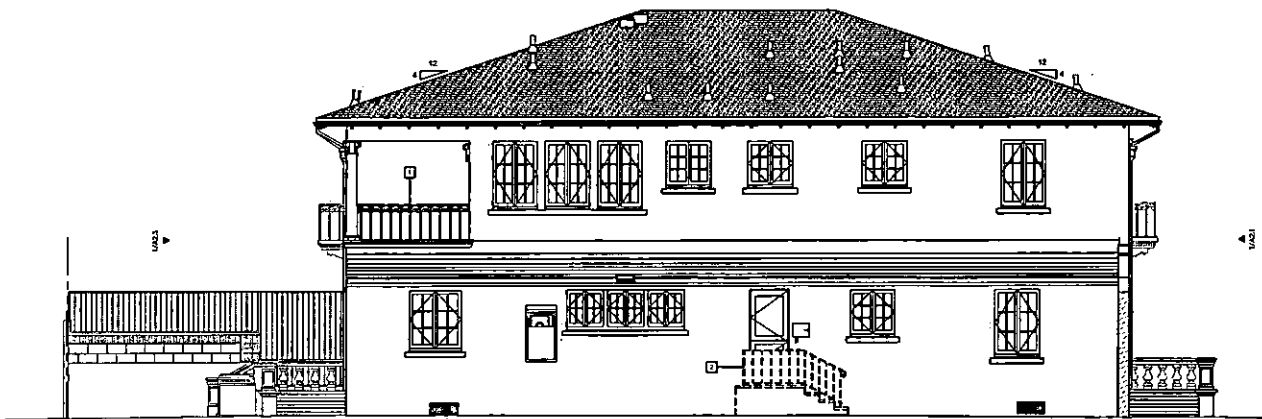
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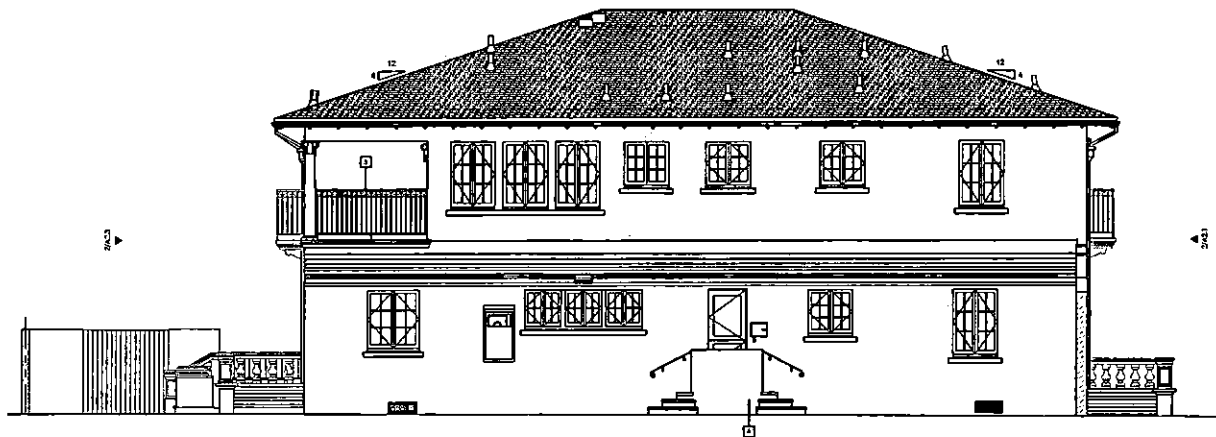
SHEET

A2.1
exterior elevations (south)



1 WEST ELEVATION | EXISTING

scale: 1/4" = 1'-0"



2 WEST ELEVATION | PROPOSED

scale: 1/4" = 1'-0"

KEY NOTES

1. Remove (temporarily) existing metal railings for modification. | See Detail.
2. Remove existing concrete/stone stoop and metal rail (non-historic) for replacement. | See Site Plan, Exterior Elevations and details.
3. Rehabilitate (modified) guardrails. | See Floor Plans and Details.
4. Masonry/concrete stoop. | See Site Plan, Exterior Elevations and details.

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SHEET

A2.2

exterior elevations [west]

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A3.0 design detail

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SHEET

A2.3

exterior elevations (north)

KEY NOTES

1. Remove (temporarily) existing metal railings for modification. | See Details.
2. Remove existing (non-historic) security fence. | See Site Plan, Exterior Elevations and Details.
3. Remove existing (non-historic) masonry wall. | See Site Plan, Exterior Elevations and Details.
4. Remove masonry wall for replacement. | See Site Plan and Exterior Elevations.
5. Omitted.
6. Install modified guardrails. | See Floor Plans and Details.
7. Install masonry wall (6' high) and wood gate. | See Site Plan, Exterior Elevations, and Details.



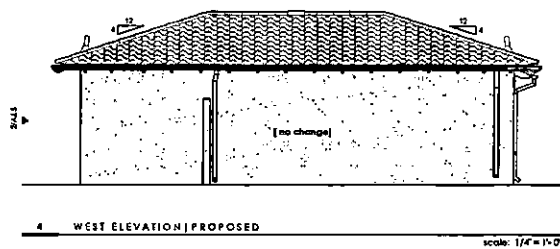
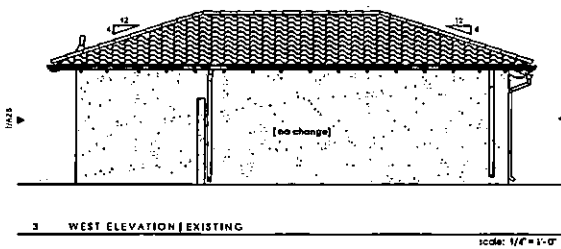
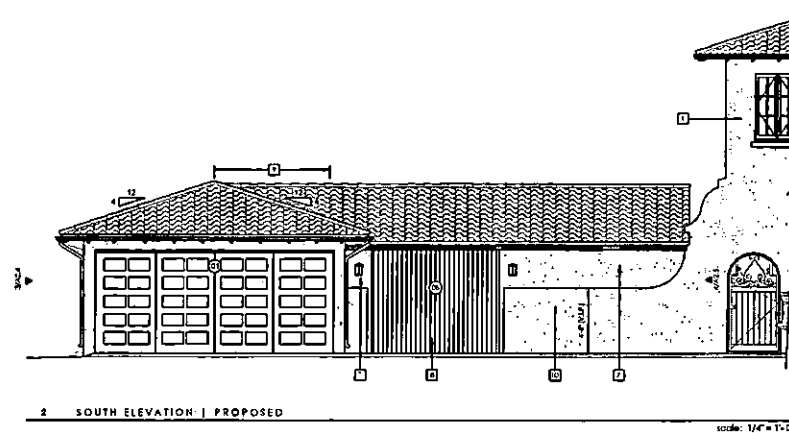
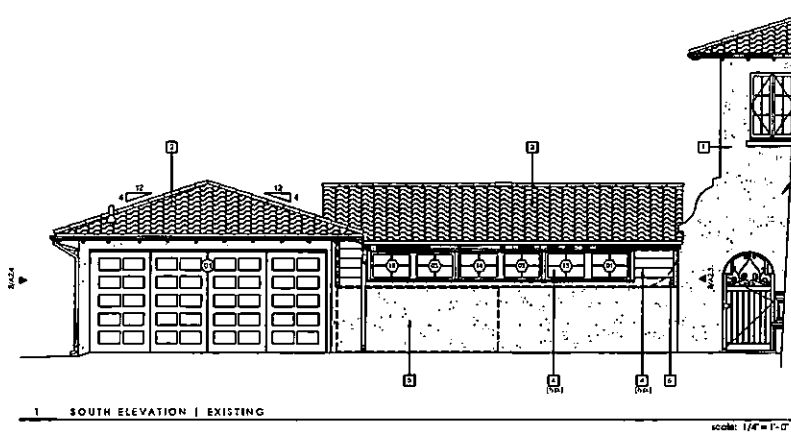
1 NORTH [SIDE] ELEVATION | EXISTING

scale: 1/4" = 1'-0"



1 NORTH [SIDE] ELEVATION | PROPOSED

scale: 1/4" = 1'-0"



KEY NOTES

- Existing two-story single-family residence to remain.
- Existing two-car garage to remain.
- Existing pool house to be modified. | See Floor Plan.
- Existing windows/wood cladding to be removed. | See Floor Plan and Exterior Elevations.
- Portion of existing masonry wall to be removed. | See Floor Plan.
- Conceded portion of existing masonry wall to be retained. | See Floor Plan and Exterior Elevation.
- New wall with stucco finish (match existing). | See Floor Plan.
- Wood garage door (walnut stain with oil seal).
- Extend roof ridge to existing garage. Reuse salvaged tile from garage. Any supplementary S-ls needed to match existing. Match ridge height of existing pool house roof.
- Portion of existing masonry privacy wall to remain.

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A2.4 exterior elevations | garage
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A3.0 design details

DRAWING HISTORY

date	revision

PROJECT NUMBER

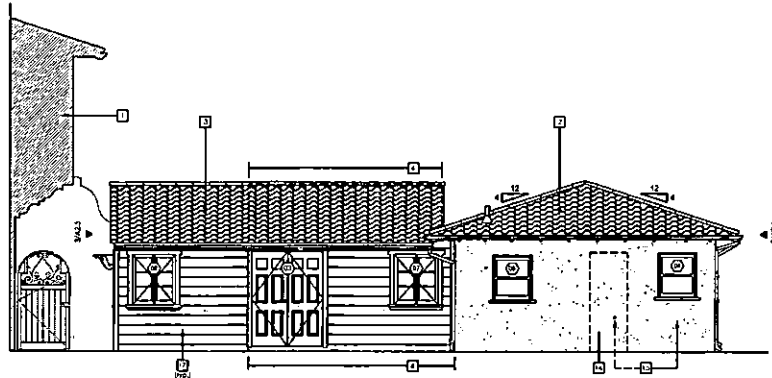
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PREPARED BY
Robert Imboden
architect, inc.

ISSUE DATE
11.30.2023
permit application

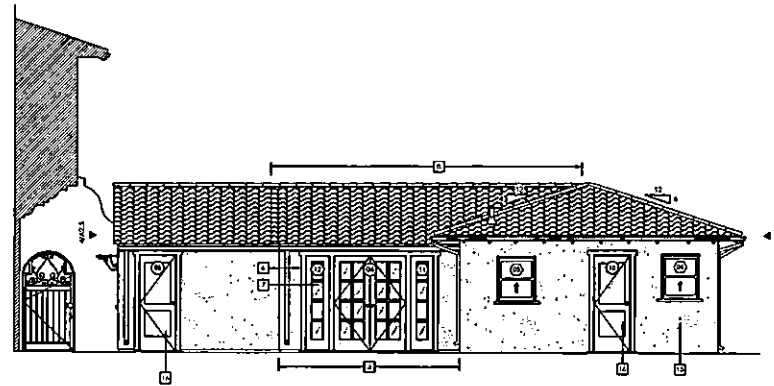
SHEET

A2.4
exterior elevations



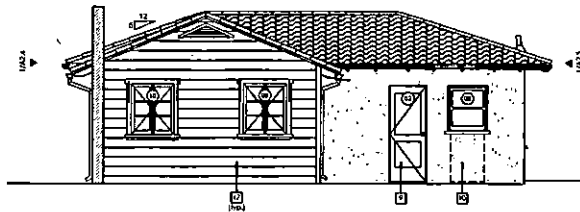
1 NORTH ELEVATION | EXISTING

scale: 1/4" = 1'-0"



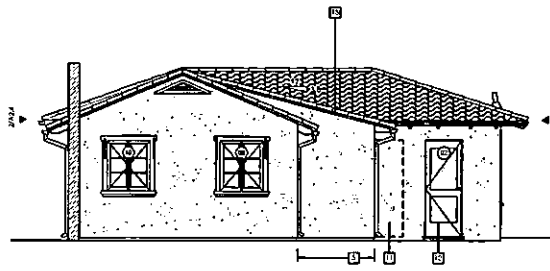
2 NORTH ELEVATION | PROPOSED

scale: 1/4" = 1'-0"



3 EAST ELEVATION | EXISTING

scale: 1/4" = 1'-0"



4 EAST ELEVATION | PROPOSED

scale: 1/4" = 1'-0"

KEY NOTES

- Existing two-story single-family residence to remain.
- Existing two-car garage to remain.
- Existing pool house to be modified. | See Floor Plan.
- Remove portion of existing wall and roof for addition. Salvage existing roof tile for reuse. | See Floor Plan and Exterior Elevations.
- Pool house addition. | See Floor Plan.
- New wall with stucco finish (texture to match existing). | See Floor Plan.
- Glassed double door with side trans. | See Floor Plan and Door/Window Schedule.
- Extend pool room roof ridge to garage. S-shed roof to match existing. Match ridge height of existing pool house roof.
- Existing door to be removed/salvaged for reuse. | See Exterior Elevations, Floor Plan and Door Schedule.
- Enlarge existing opening for door. | See Exterior Elevations, Floor Plan and Door Schedule.
- Intit existing opening. Stucco cladding to match existing. | See Exterior Elevations and Floor Plan.
- Relocated door. | See Exterior Elevations, Floor Plan and Door Schedule.
- S-shed roof of addition. Match existing. | See Floor Plan, Exterior Elevation and Roof Plan.
- Create opening for door. | See Floor Plan and Door Schedule.
- Relocate existing hose bibb.
- Custom door. | See Floor Plan and Door Schedule.
- Existing ship lap siding to be removed/deposited.

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**SHEET
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A25	exterior elevations garage
A3.0	design details

DRAWING HISTORY

date	revision

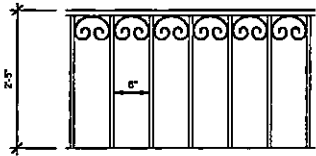
**PROJECT
NUMBER**
2209

**PREPARED
BY**
robert imboden
architect, llc

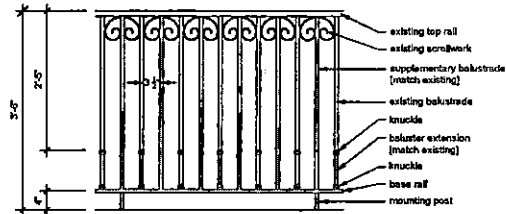
**ISSUE
DATE**
11.30.2023
permit application

SHEET

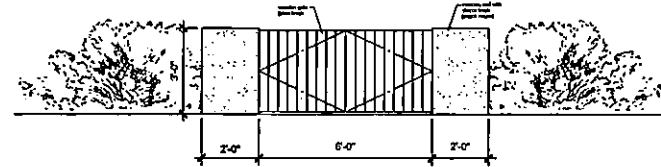
A2.5
exterior elevations



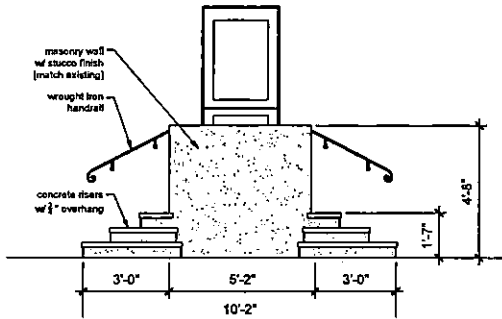
1 IRON BALCONY RAILING | EXISTING
scale: 1" = 1'-0"



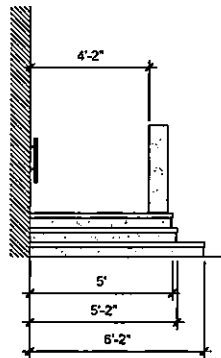
2 IRON BALCONY RAILING | PROPOSED
scale: 1" = 1'-0"



3 GARDEN GATE | VIEWED FROM HELIOTROPE
scale: 3/4" = 1'-0"



3 MASONRY / CONCRETE STOOP
scale: 3/4" = 1'-0"



4 SECURITY GATE | VIEWED FROM HELIOTROPE
scale: 3/4" = 1'-0"

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A5.0 design details

DRAWING HISTORY
date revision
A
A
A
A

PROJECT NUMBER
22018

PREPARED BY
robert imboden
consultant, aka

ISSUE DATE
11.30.2023
henna application

SHEET

A5.0
design details