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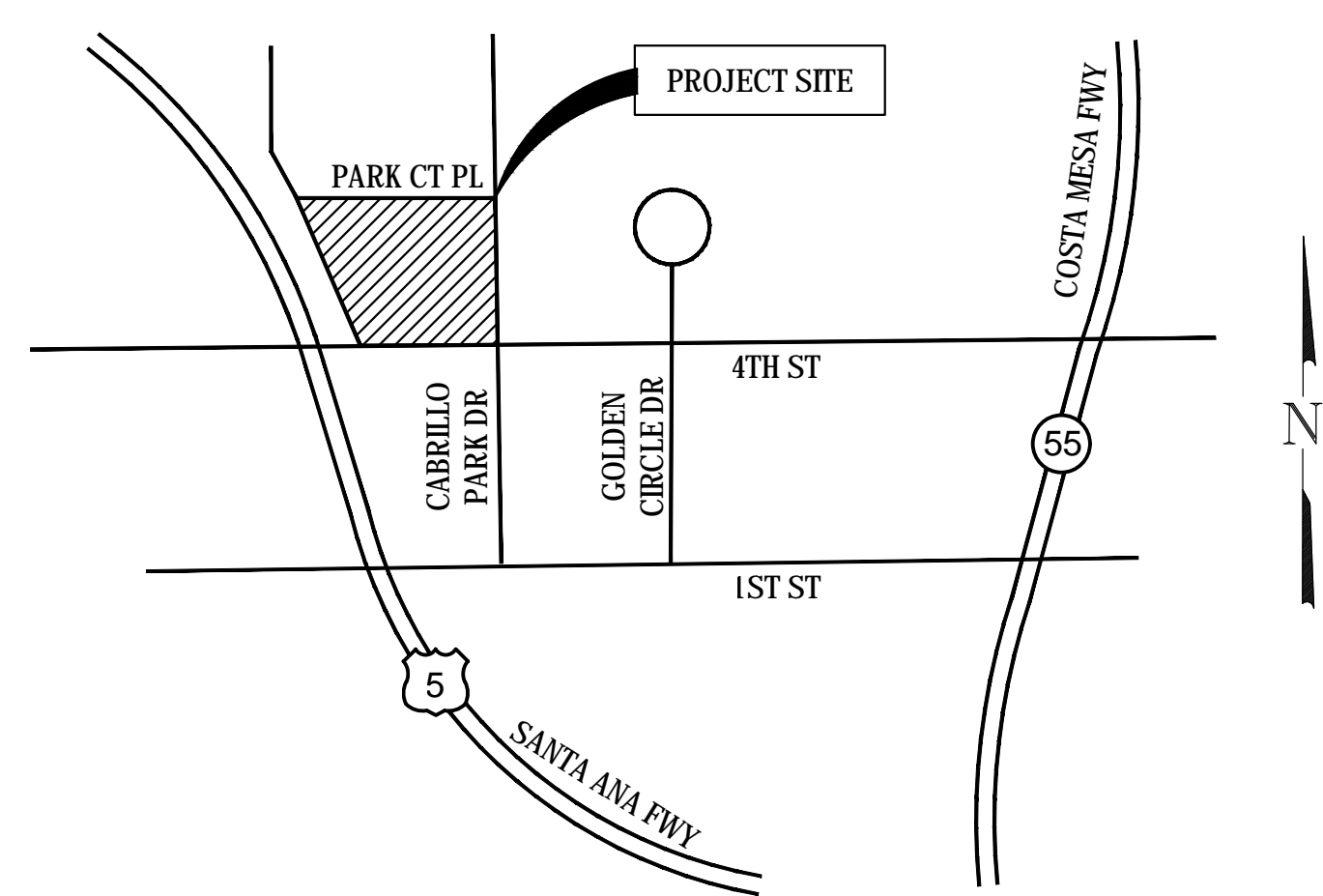
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

COVER SHEET
SHEET INDEX

G-001

VICINITY MAP



PROJECT DESCRIPTION

Central Pointe is a proposed mixed-use development, located at the intersection of 4th Street and Cabrillo Park Drive. The Project consists of 644 apartment units and approximately 15,200 sf of commercial space that fronts onto 4th street. "Building A" and "Building B" are proposed, both are made up of 5-story mixed-use components, 7 levels of parking structure with 1 level of subterranean parking, and rooftop amenities atop the garage.

For Fire Protection related information, please see F-1 and F-2

ZONING SUMMARY

Site Description:	
Land-Use Designation:	District Center
Zoning:	P/OZ-1
	Metro East Mixed-Use Overlay
Development District:	Active Urban District
Gross Site Area	± 8.35 Acres
Net Site Area	±8.03 Acres
Total Dwelling Units	± 644 DU
Net Density	± 80.2 DU/AC

Metro East Mixed-Use Overlay Compliance:

Section 4	Development Standards
4.1	Permitted Land Use Multi-Family Residential, Retail and Service
4.2	Maximum Number of Stories No Maximum Height; Minimum 3 Stories Req'd
4.3	Min Dev. Site Area 1 Acre
4.4	Permitted Frontages Shop Front (4th Street) Forecourt (Cabrillo Pwky & Park Ct Pl)
4.5	Publically Accessible Open Space See A-102 for project compliance
4.6	Private/ Common Open Space See A-102 for project compliance
4.7	Building Setbacks Building to Street: 10 ft Max. to public ROW
4.8	Parking And Access Minimum of 2.0 spaces (See Parking Summary)

PRIVATE STORAGE SUMMARY

	BUILDING A	BUILDING B	TOTAL PER FLOOR
250 CUBIC FEET STORAGE CLOSET - MINIMUM 4' X 8' DIMENSIONS			
1st Floor	10	10	20
2nd Floor	12	12	24
3rd Floor	12	12	24
4th Floor	12	12	24
5th Floor	12	12	24
7th Floor	272	272	544
TOTAL	330	330	660
	1.02 STORAGE PER UNIT	1.03 STORAGE PER UNIT	

PARKING SUMMARY

	REQUIRED SPACES PER UNIT	TOTAL UNITS	TOTAL REQUIRED SPACES
Required Parking Per MEMU Sec. 4.8 (A)(3)(C)			
2.0 Space per residential unit inclusive of guest parking and non-residential uses.	2.00	644	1288
Required Parking			1288

	TOTAL PROPOSED SPACES	STANDARD SPACES (8'-6" x 18' MIN)	VAN ACCESSIBLE SPACES (9' + 8' ACCESS x 18' MIN)	STANDARD ACCESSIBLE SPACES	TOTAL ACCESSIBLE SPACES	% PROPOSED ACCESSIBLE SPACES
Proposed Parking						
ASSIGNED GARAGE	1,030	1008	10	12	22	2.1% > 2% OK
UN-ASSIGNED GARAGE	270	256	6	8	14	5.2% > 5% OK
UN-ASSIGNED ON-GRADE	18	16	2	0	2	11.1% > 5% OK
TOTAL PROPOSED SPACES	1318	1280	18	20	38	

BUILDING SUMMARY

Unit Mix		Levels					Total Units	GSF		Ratio
Type	GSF	1	2	3	4	5				
Plan 0-1	518	3	4	4	4	4	19	9,842	sf	3.0%
Plan 0-2	543	4	4	4	4	4	20	10,860	sf	3.1%
Plan 1-1	683	26	24	24	24	24	122	83,326	sf	18.9%
Plan 1-2	726	32	36	36	36	36	176	127,776	sf	27.3%
Plan 1-3	778	0	0	1	1	1	3	2,334	sf	0.5%
Plan 1-4	752	4	4	4	4	4	20	15,040	sf	3.1%
Plan 1-5	750	1	1	1	1	1	5	3,750	sf	0.8%
Plan 2-1	1,066	15	23	34	34	34	140	149,240	sf	21.7%
Plan 2-2	1,148	8	8	8	8	8	40	45,920	sf	6.2%
Plan 2-3	1,071	12	14	14	14	14	68	72,828	sf	10.6%
Plan 3-1	1,274	5	5	5	5	5	25	31850	sf	3.9%
Plan 3-2	1,339	0	0	2	2	2	6	8034	sf	0.9%
		110	123	137	137	137		560,800	gsf	100%
		644 Total Units						870.8	sf ave unit size	

Bedrooms				
0 (Studio)	1	2	3	
19				
20				
	122			
	176			
	3			
	20			
	5			
		140		
		40		
		68		
			25	
			31	
39	326	248	6	
6.1%	50.6%	38.5%	4.8%	

Proposed Parking	On-Grade	18
	B1 Flr	162
	1st Flr	146
	2nd Flr	182
	3rd Flr	182
	4th Flr	182
	5th Flr	182
	6th Flr	182
	7th Flr	64
		1300 Total

Req'd Parking	644 Units
	2.0 Spaces/ DU
	1288 Total

"BUILDING A"

Commercial Building Area: ±9,600 sf

Unit Mix		Levels					Total Units	GSF		Ratio
Type	GSF	1	2	3	4	5				
Plan 0-1	518	0	1	1	1	1	4	2,072	sf	1.2%
Plan 0-2	543	3	3	3	3	3	15	8,145	sf	4.6%
Plan 1-1	683	10	9	9	9	9	46	31,418	sf	14.2%
Plan 1-2	726	18	20	20	20	20	98	71,148	sf	30.2%
Plan 1-3	778	0	0	1	1	1	3	2,334	sf	0.9%
Plan 1-4	752	2	2	2	2	2	10	7,520	sf	3.1%
Plan 1-5	750	1	1	1	1	1	5	3,750	sf	1.5%
Plan 2-1	1,066	7	11	18	18	18	72	76,752	sf	22.2%
Plan 2-2	1,148	4	4	4	4	4	20	22,960	sf	6.2%
Plan 2-3	1,071	5	6	6	6	6	29	31,059	sf	8.9%
Plan 3-1	1,274	4	4	4	4	4	20	25480	sf	6.2%
Plan 3-2	1,339	0	0	1	1	1	3	4017	sf	0.9%
		54	61	70	70	70		286,655	gsf	100%
		325 Total Units						882.0	sf ave unit size	

Bedrooms				
0 (Studio)	1	2	3	
4				
15				
	46			
	98			
	3			
	10			
	5			
		72		
		20		
		29		
			20	
			3	
19	162	121	23	
5.8%	49.8%	37.2%	7.1%	

Proposed Parking	On-Grade	9
	B1 Flr	81
	1st Flr	73
	2nd Flr	91
	3rd Flr	91
	4th Flr	91
	5th Flr	91
	6th Flr	91
	7th Flr	32
		650 Total

Req'd Parking	325 Units
	2.0 Spaces/ DU
	650 Total

"BUILDING B"

Commercial Building Area: ±5,600 sf

Unit Mix		Levels					Total Units	GSF		Ratio
Type	GSF	1	2	3	4	5				
Plan 0-1	518	3	3	3	3	3	15	7,770	sf	4.7%
Plan 0-2	543	1	1	1	1	1	5	2,715	sf	1.6%
Plan 1-1	683	16	15	15	15	15	76	51,908	sf	23.8%
Plan 1-2	726	14	16	16	16	16	78	56,628	sf	24.5%
Plan 1-3	778	0	0	0	0	0	0	0	sf	0.0%
Plan 1-4	752	2	2	2	2	2	10	7,520	sf	3.1%
Plan 1-5	750	0	0	0	0	0	0	0	sf	0.0%
Plan 2-1	1,066	8	12	16	16	16	68	72,488	sf	21.3%
Plan 2-2	1,148	4	4	4	4	4	20	22,960	sf	6.3%
Plan 2-3	1,071	7	8	8	8	8	39	41,769	sf	12.2%
Plan 3-1	1,274	1	1	1	1	1	5	6370	sf	1.6%
Plan 3-2	1,339	0	0	1	1	1	3	4017	sf	0.9%
		56	62	67	67	67		274,145	gsf	100%
		319 Total Units						859.4	sf ave unit size	

Bedrooms				
0 (Studio)	1	2	3	
15				
5				
	76			
	78			
	0			
	10			
	0			
		68		
		20		
		39		
			5	
			3	
20	164	127	8	
6.3%	51.4%	39.8%	2.5%	

Proposed Parking	On-Grade	9
	B1 Flr	81
	1st Flr	73
	2nd Flr	91
	3rd Flr	91
	4th Flr	91
	5th Flr	91
	6th Flr	91
	7th Flr	32
		650 Total

Req'd Parking	319 Units
	2.0 Spaces/ DU
	638 Total



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CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

PROJECT SUMMARY

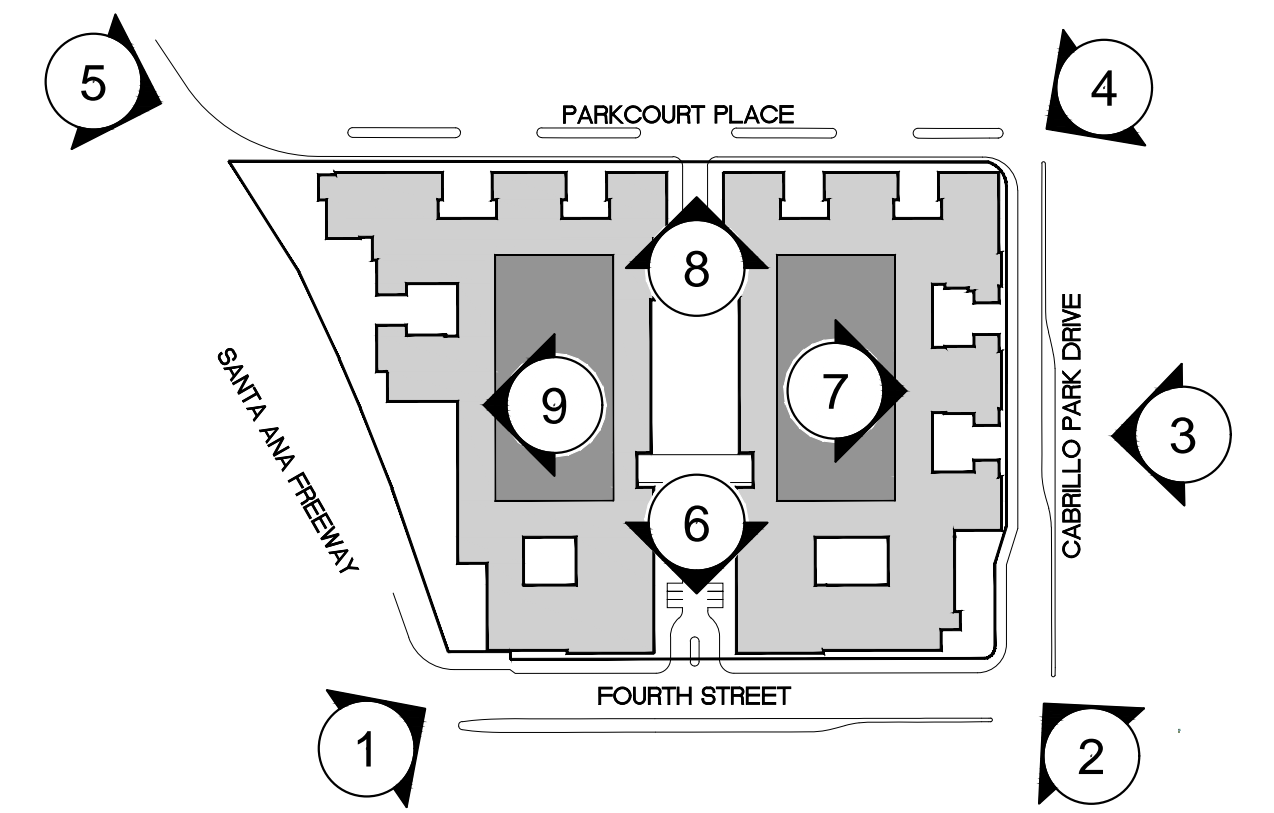
G-011



1. VIEW OF SOUTHWEST CORNER FROM FREEWAY OFF RAMP.



2. VIEW OF SOUTHEAST CORNER FROM ADJACENT INTERSECTION.



KEY PLAN (1:200)



3. VIEW OF EAST EDGE FROM ACROSS CABRILLO PARK DR.



4. VIEW OF NORTHEAST CORNER FROM ACROSS CABRILLO PARK DR.



5. VIEW OF NORTHWEST CORNER.



6. VIEW SOUTH FROM SITE OF FOURTH STREET



7. VIEW EAST FROM SITE OF CABRILLO PARK DRIVE



8. VIEW NORTH FROM SITE OF PARKCOURT PLACE



9. VIEW WEST FROM SITE OF THE SANTA ANA (5) FREEWAY

NOTES

1. ANY PROJECT ADJACENT EXISTING DRIVEWAY WHICH IS PROPOSED TO BE REMOVED SHALL BE REPLACED WITH NEW STREETSCAPE CONSTRUCTED PER CITY OF SANTA ANA PUBLIC WORKS AGENCY STANDARDS (CITY DOWNTOWN THEME).
2. ANY STREET TREE REMOVAL WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY THE ENVIRONMENTAL AND TRANSPORTATION ADVISORY COMMITTEE (ETAC).

ABBREVIATIONS

AC	ACRE	HYD	HYDRANT
APPROX.	APPROXIMATE	NAP	NOT A PART
BLDG.	BUILDING	OHW	OVERHEAD WIRE
BW	BACK OF WALK	PL	PROPERTY LINE
CB	CATCH BASIN	PROP.	PROPOSED
C&G	CURB & GUTTER	R/W	RIGHT-OF-WAY
DWY	DRIVEWAY	SD	STORM DRAIN
ELECT.	ELECTRIC	SF	SQUARE FEET
ESMT.	EASEMENT	SS	SANITARY SEWER
EXIST.	EXISTING	SW	SIDEWALK
FF	FINISHED FLOOR	TC	TOP OF CURB
FL	FLOW LINE	TYP.	TYPICAL
FS	FINISHED SURFACE		

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING CENTERLINE
---	EXISTING PARCEL LINE
---	EXISTING EASEMENT LINE
(XX.XX)	EXISTING ELEVATION
(XXXX)	PROPOSED BUILDING OUTLINE

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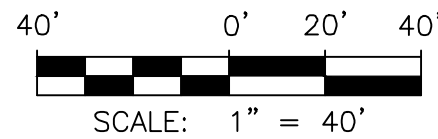


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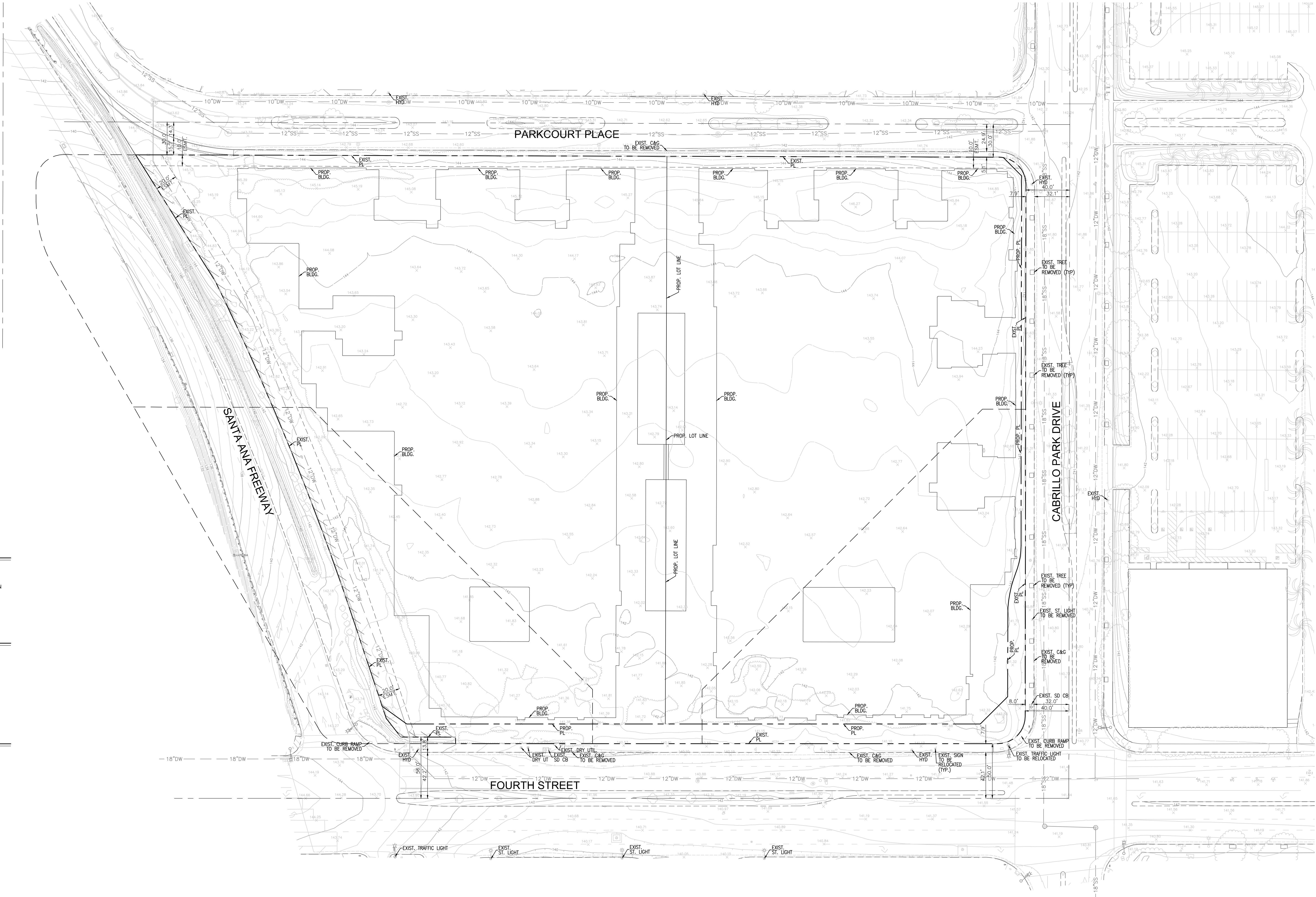
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

SCHEMATIC DESIGN
July 20, 2020



**SITE PLAN - EXISTING
CONDITIONS**

C1.0



NOTES

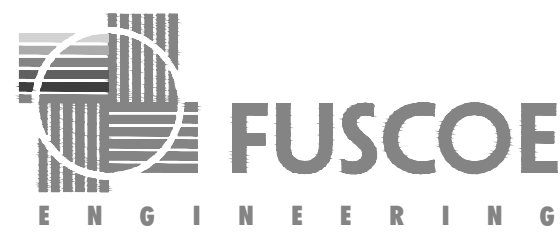
1. ANY PROPOSED DRIVEWAY, CURB, GUTTER, CURB RAMP AND/OR SIDEWALK TO BE CONSTRUCTED PER CITY OF SANTA ANA PUBLIC WORKS AGENCY STANDARDS (PER THE METRO EAST PUBLIC REALM AMENITY PLAN).
2. THE SITE WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD SANTA ANA REGION ORDER NO. RB-2009-0030 DISCHARGE REQUIREMENTS (MS4 PERMIT).
3. ALL TRAFFIC IMPACT ANALYSIS (TIA) RECOMMENDATION(S) WILL BE IMPLEMENTED PRIOR TO THE BUILDING PERMIT, SOLELY AT THE DEVELOPER'S EXPENSE.
4. PROPOSED STREET TREES SHALL BE 24" BOX @ 35' ON CENTER ALONG FRONTAGE PER CITY OF SANTA ANA PUBLIC WORKS AGENCY STANDARDS (CITY DOWNTOWN THEME) AND APPROVED PLANS, AS NEEDED.
5. PROPOSED DRIVEWAY TOP OF THE "X" SHALL BE A MINIMUM 10-FT AWAY FROM ANY AND ALL UTILITIES.
6. UTILITY EASEMENT WITHIN PRIVATE STREETS TO BE EXCLUSIVE (UNDERGROUND, NON-EXCLUSIVE SURFACE, PUBLIC UTILITY EASEMENT IN FAVOR OF THE CITY OF SANTA ANA).
7. ANY STREET TREE REMOVAL WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY THE ENVIRONMENTAL AND TRANSPORTATION ADVISORY COMMITTEE (ETAC).
8. NO GATES ARE PROPOSED ON THIS PROJECT AT ENTRIES AND PROPOSED GATE WILL BE SUBJECT TO ADDITIONAL REVIEW AND COMMENTS. EMERGENCY VEHICLE ACCESS POINTS HAVE GATES SET BACK AT LEAST 60'

ABBREVIATIONS

AC	ASPHALT CONCRETE	FS	FINISHED SURFACE
ACR	ACRE	HYD	HYDRANT
APPROX.	APPROXIMATE	OHW	OVERHEAD WIRE
BLDG.	BUILDING	NAP	NOT A PART
BW	BACK OF WALK	PL	PROPERTY LINE
C&G	CURB & GUTTER	PROP.	PROPOSED
CLR.	CLEARANCE	R/W	RIGHT-OF-WAY
DWY	DRIVEWAY	SF	SQUARE FEET
ESMT.	EASEMENT	SS	SANITARY SEWER
EXIST.	EXISTING	SW	SIDEWALK
FF	FINISHED FLOOR	TC	TOP OF CURB
FL	FLOW LINE	TYP.	TYPICAL

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING CENTERLINE
---	EXISTING EASEMENT LINE
(XX.XX)	EXISTING ELEVATION
---	PROPOSED BUILDING OUTLINE
---	PROPOSED SIGHT TRIANGLE
---	PROPOSED CORNER CUT-OFF
---	ACCESSIBLE PATH OF TRAVEL



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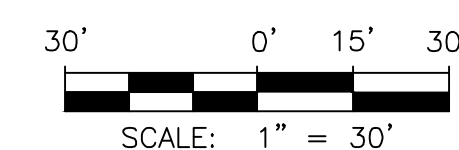


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CENTRAL POINTE
SANTA ANA, CA # 2019-0129

SCHEMATIC DESIGN
July 20, 2020



SITE PLAN - IMPROVEMENTS

C2.0

NOTES

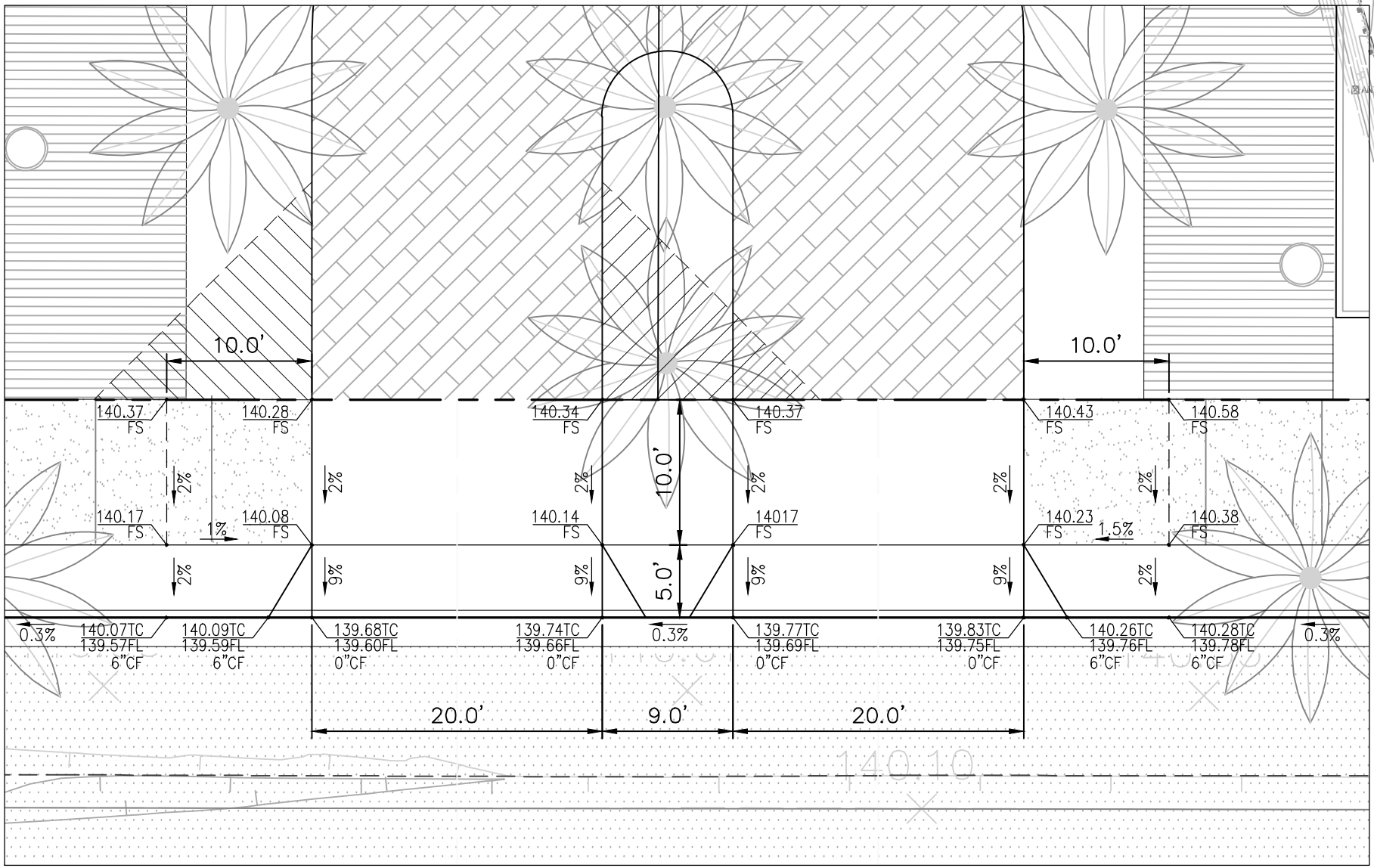
1. ANY PROPOSED DRIVEWAY, CURB, GUTTER, CURB RAMP AND/OR SIDEWALK TO BE CONSTRUCTED PER CITY OF SANTA ANA PUBLIC WORKS AGENCY STANDARDS (PER THE METRO EAST PUBLIC REALM AMENITY PLAN).
2. THE SITE WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD SANTA ANA REGION ORDER NO. R8-2009-0030 DISCHARGE REQUIREMENTS (MS4 PERMIT).
3. ALL TRAFFIC IMPACT ANALYSIS (TIA) RECOMMENDATION(S) WILL BE IMPLEMENTED PRIOR TO THE BUILDING PERMIT, SOLELY AT THE DEVELOPER'S EXPENSE.
4. PROPOSED STREET TREES SHALL BE 24" BOX PER CITY OF SANTA ANA PUBLIC WORKS AGENCY STANDARDS (CITY DOWNTOWN THEME) AND APPROVED PLANS.
5. PROPOSED DRIVEWAY TOP OF THE "X" SHALL BE A MINIMUM 10'-0" AWAY FROM ANY AND ALL UTILITIES.
6. UTILITY EASEMENT WITHIN PRIVATE STREETS TO BE EXCLUSIVE UNDERGROUND, NON-EXCLUSIVE SURFACE. PUBLIC UTILITY EASEMENT IN FAVOR OF THE CITY OF SANTA ANA.
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ABBREVIATIONS

AC	ASPHALT CONCRETE	FS	FINISHED SURFACE
ACR	ACRE	HYD	HYDRANT
APPROX.	APPROXIMATE	OHW	OVERHEAD WIRE
BLDG.	BUILDING	NAP	NOT A PART
BW	BACK OF WALK	PL	PROPERTY LINE
C&G	CURB & GUTTER	PROP.	PROPOSED
CLR.	CLEARANCE	R/W	RIGHT-OF-WAY
DWY	DRIVEWAY	SF	SQUARE FEET
ESMT.	EASEMENT	SS	SANITARY SEWER
EXIST.	EXISTING	SW	SIDEWALK
FF	FINISHED FLOOR	TC	TOP OF CURB
FL	FLOW LINE	TYP.	TYPICAL

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING CENTERLINE
---	EXISTING EASEMENT LINE
(XX.XX)	EXISTING ELEVATION
---	PROPOSED BUILDING OUTLINE
---	PROPOSED SIGHT TRIANGLE
---	PROPOSED CORNER CUT-OFF
---	PROPOSED FULL DEPTH AC PAVEMENT



ENTRY DETAIL

SCALE: 1"=10'

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SANTA ANA, CA # 2019-0129

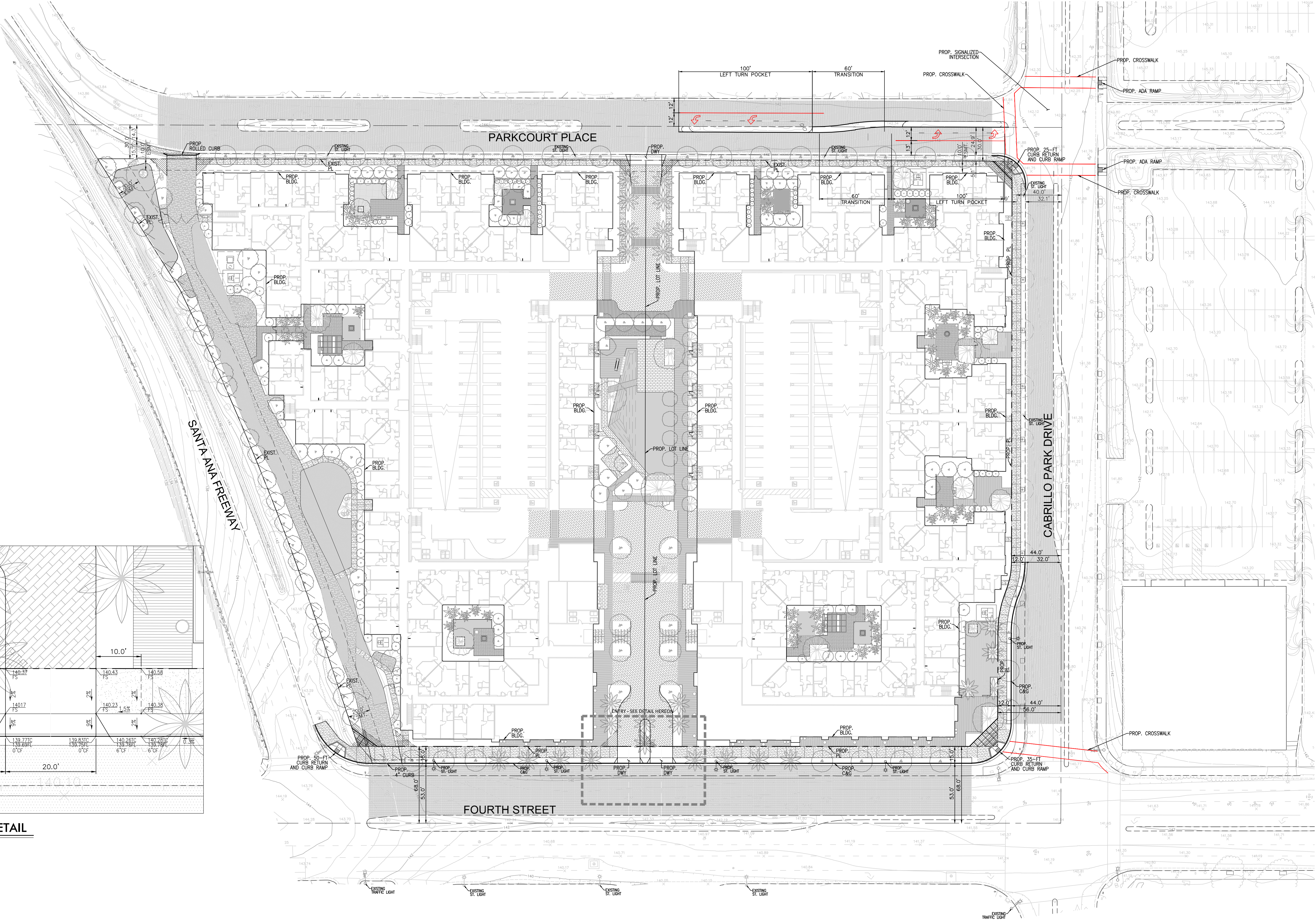
SCHEMATIC DESIGN
July 20, 2020

40' 0' 20' 40'
SCALE: 1" = 40'



SITE PLAN - IMPROVEMENTS
(OFFSITE)

C3.0



NOTES

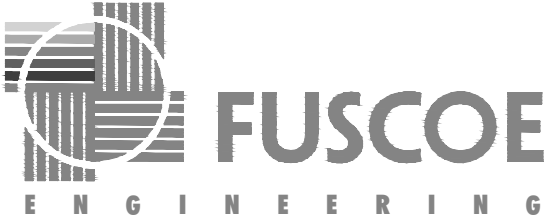
- 1. ALL NEW FOOD SERVICE ESTABLISHMENTS SHALL COMPLY WITH CITY ORDINANCE NS-26-70 FOR FAT, OIL AND GREASE (FOG) CONTROL PROGRAM.
- 2. THE BMP'S SHOWN ON THE APPROVED SITE PLAN ARE ONLY PRELIMINARY AND WILL BE REVISED OR MODIFIED AS NECESSARY UPON COMPLETION OF THE WOMP. PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, THE APPROVED GRADING/UTILITY PLAN SHALL INCORPORATE ALL REQUIRED STRUCTURAL BMP'S.
- 3. THIS SITE WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD SANTA ANA REGION ORDER NO. RS-2009-0030 DISCHARGE REQUIREMENTS (MS4 PERMIT)
- 4. DEMAND CALCULATIONS FOR SIZE DETERMINATION OF DOMESTIC, IRRIGATION AND FIRE SERVICE WATER METERS TO BE CONFIRMED IN FINAL DESIGN.
- 5. SEPARATE LANDSCAPE IRRIGATION WATER SERVICE/METER SHALL BE USED TO IRRIGATE ALL NON-RESIDENTIAL IRRIGATED LANDSCAPES OF 1,000 SQ. FT. AND RESIDENTIAL IRRIGATED LANDSCAPES OF 5,000 SQ. FT. OR GREATER. LANDSCAPE IRRIGATION WATER METER OF PROPER SIZE SHALL BE DESIGNED TO SUPPLY THE PROJECT'S LANDSCAPE IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL UTILIZE WEATHER BASED IRRIGATION CONTROLLERS "SMART TIMERS" AND ROTATING NOZZLES FOR POP-UP SPRAY HEADS.
- 6. ABANDONMENT OF ALL SEWER LATERAL CONNECTIONS FROM THE PROJECT SITE SHALL BE REMOVED TO THE SEWER MAIN.
- 7. ALL UTILITY PIPE SIZES TO BE CONFIRMED IN FINAL DESIGN.
- 8. INSTALL DOUBLE CHECK VALVE AND BACK FLOW PREVENTER FOR THE FIRE SERVICE AND THE LANDSCAPE WATER METER PER THE GRADING AND THE STREET IMPROVEMENT PLANS.

ABBREVIATIONS

AD	AREA DRAIN	LAT	LATERAL
CB	CATCH BASIN	MH	MANHOLE
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	MWS	MODULAR WETLAND SYSTEM
DW	DOMESTIC WATER	OHW	OVERHEAD WIRE
EXIST.	EXISTING	PROP.	PROPOSED
FW	FIRE WATER	SD	STORM DRAIN
HYD	FIRE HYDRANT	SS	SANITARY SEWER
IRR	IRRIGATION	WM	WATER METER

LEGEND

---	SS	EXISTING SEWER LINE
---	DW	EXISTING DOMESTIC WATER LINE
---	SD	EXISTING STORM DRAIN LINE
---	G	EXISTING GAS LINE
---		EXISTING OVERHEAD WIRE
---	SS	PROPOSED SEWER LINE
---	DW	PROPOSED DOMESTIC WATER LINE
---	FW	PROPOSED FIRE WATER LINE
---		PROPOSED AREA DRAIN LINE



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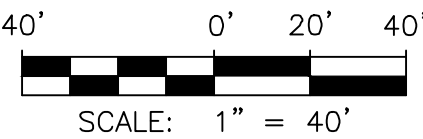


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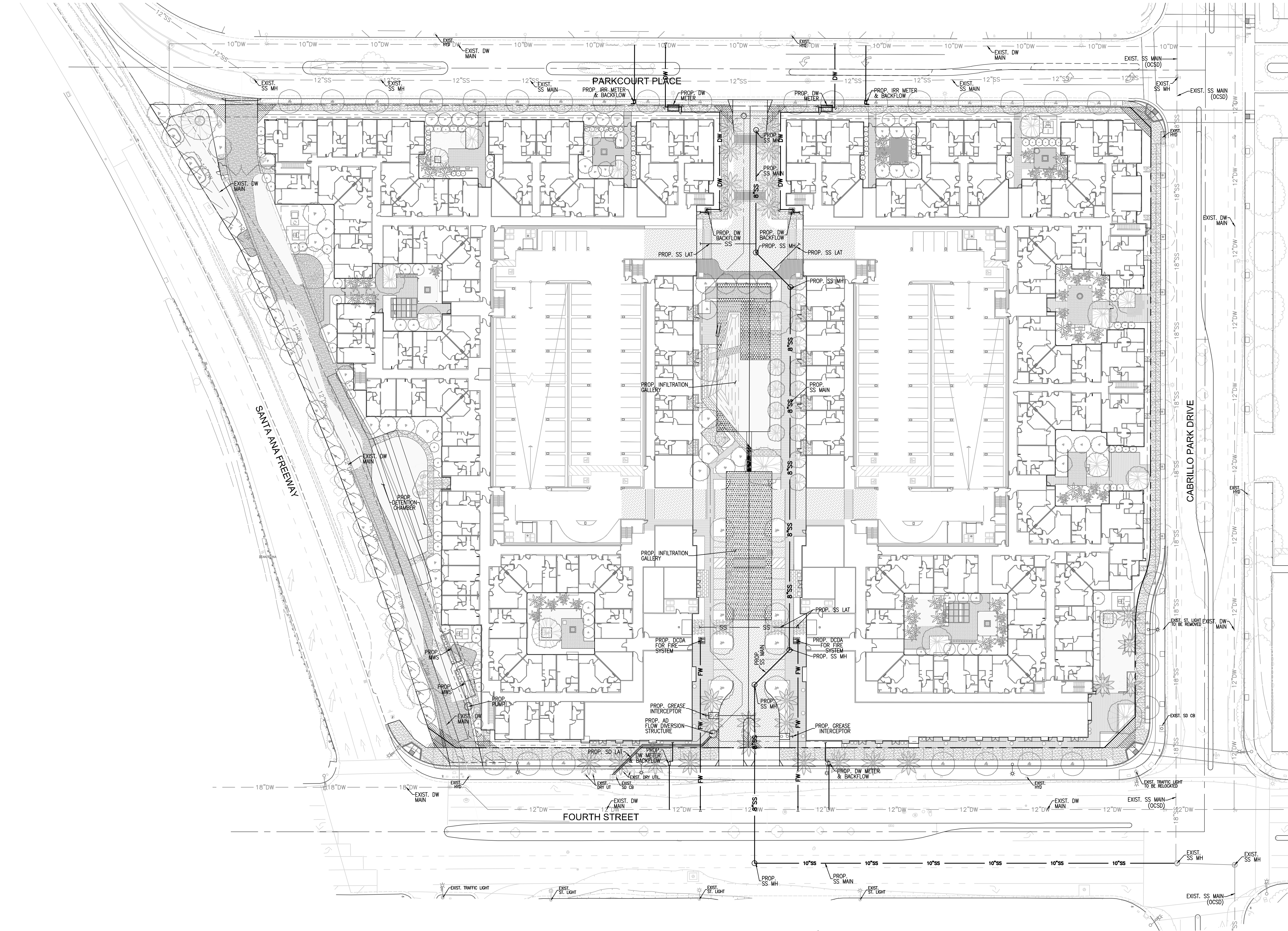
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

SCHEMATIC DESIGN
July 20, 2020



SITE PLAN - UTILITY

C4.0



NOTES

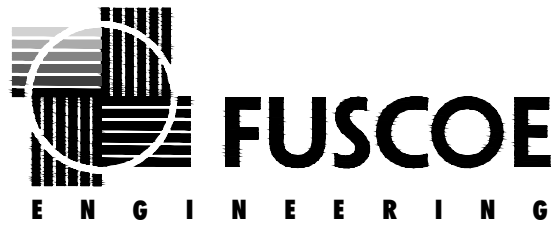
1. ANY FUTURE DIVISION OF LAND WILL HAVE TO MEET ALL STANDARDS REQUIRED AT THAT TIME INCLUDING SUBDIVISION, GENERAL PLAN, ZONING AND WATER QUALITY MANAGEMENT STANDARDS.

ABBREVIATIONS

AC	ACRE	HYD	HYDRANT
APPROX.	APPROXIMATE	NAP	NOT A PART
BLDG.	BUILDING	OHW	OVERHEAD WIRE
BW	BACK OF WALK	PL	PROPERTY LINE
CB	CATCH BASIN	PROP.	PROPOSED
C&G	CURB & GUTTER	R/W	RIGHT-OF-WAY
DWY	DRIVEWAY	SD	STORM DRAIN
ELECT.	ELECTRIC	SF	SQUARE FEET
ESMT.	EASEMENT	SS	SANITARY SEWER
EXIST.	EXISTING	SW	SIDEWALK
FF	FINISHED FLOOR	TC	TOP OF CURB
FL	FLOW LINE	TYP.	TYPICAL
FS	FINISHED SURFACE		

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING CENTERLINE
---	EXISTING PARCEL LINE
---	EXISTING EASEMENT LINE
(XX.XX)	EXISTING ELEVATION
(XXX.XX)	PROPOSED BUILDING OUTLINE
---	PROPOSED LOT LINE
---	PROPOSED BOUNDARY



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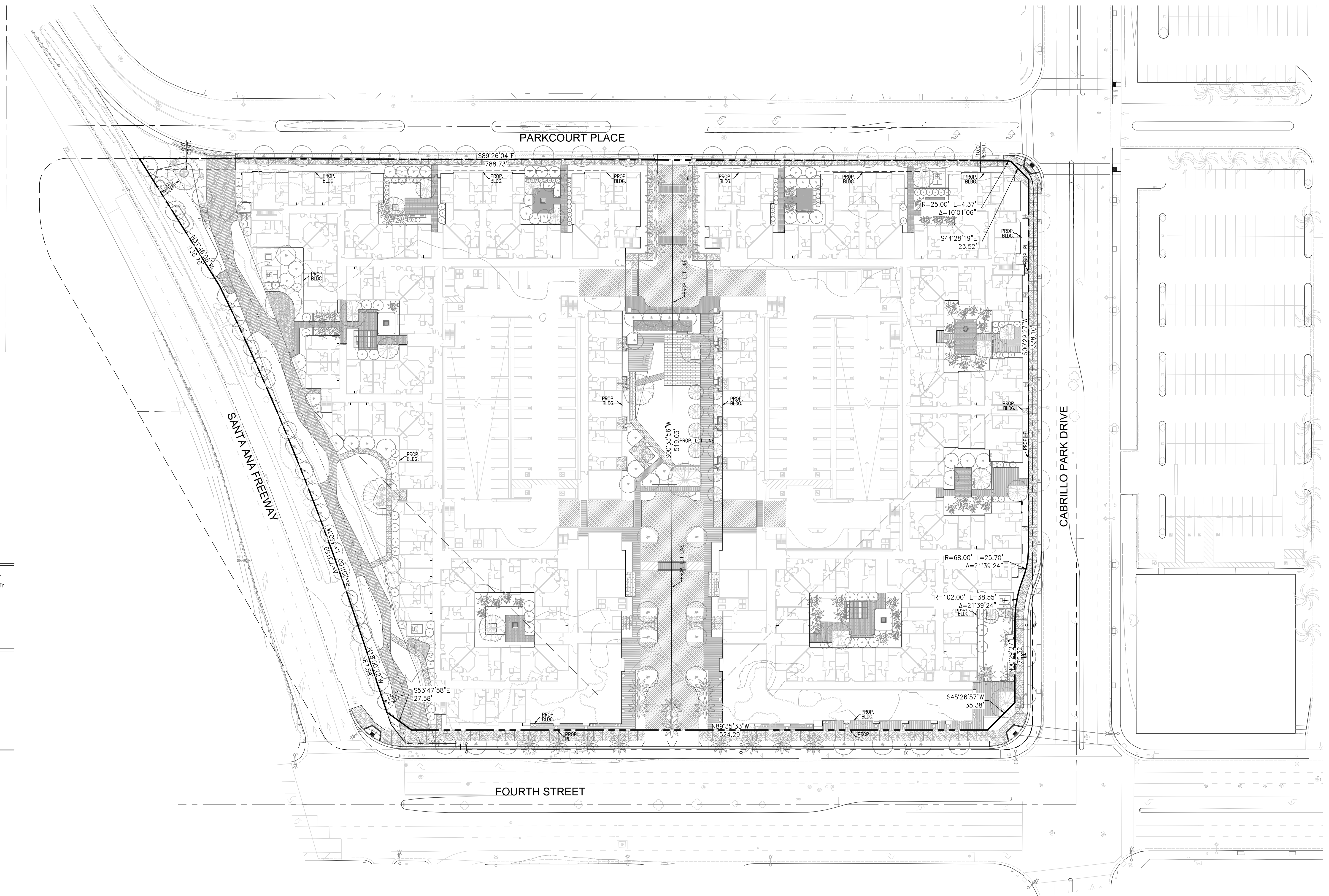
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

SCHEMATIC DESIGN
July 20, 2020



SITE PLAN -PRELIMINARY
PARCEL MAP

C5.0



1. DRY UTILITY POINT OF CONNECTION EXHIBIT IS FOR DESIGN STUDY AND CONFLICT CHECK ONLY. UTILITIES SHOULD NOT BE INSTALLED BASED ON THIS EXHIBIT. REFER TO RESPECTIVE UTILITY FINAL DESIGN(S) FOR SPECIFIC INSTALLATION REQUIREMENTS



north

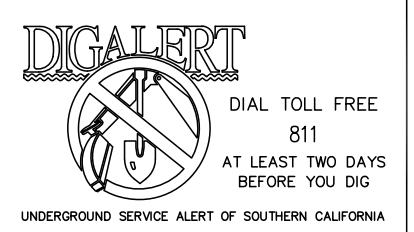
SCALE: 1" = 80'

C3 Development

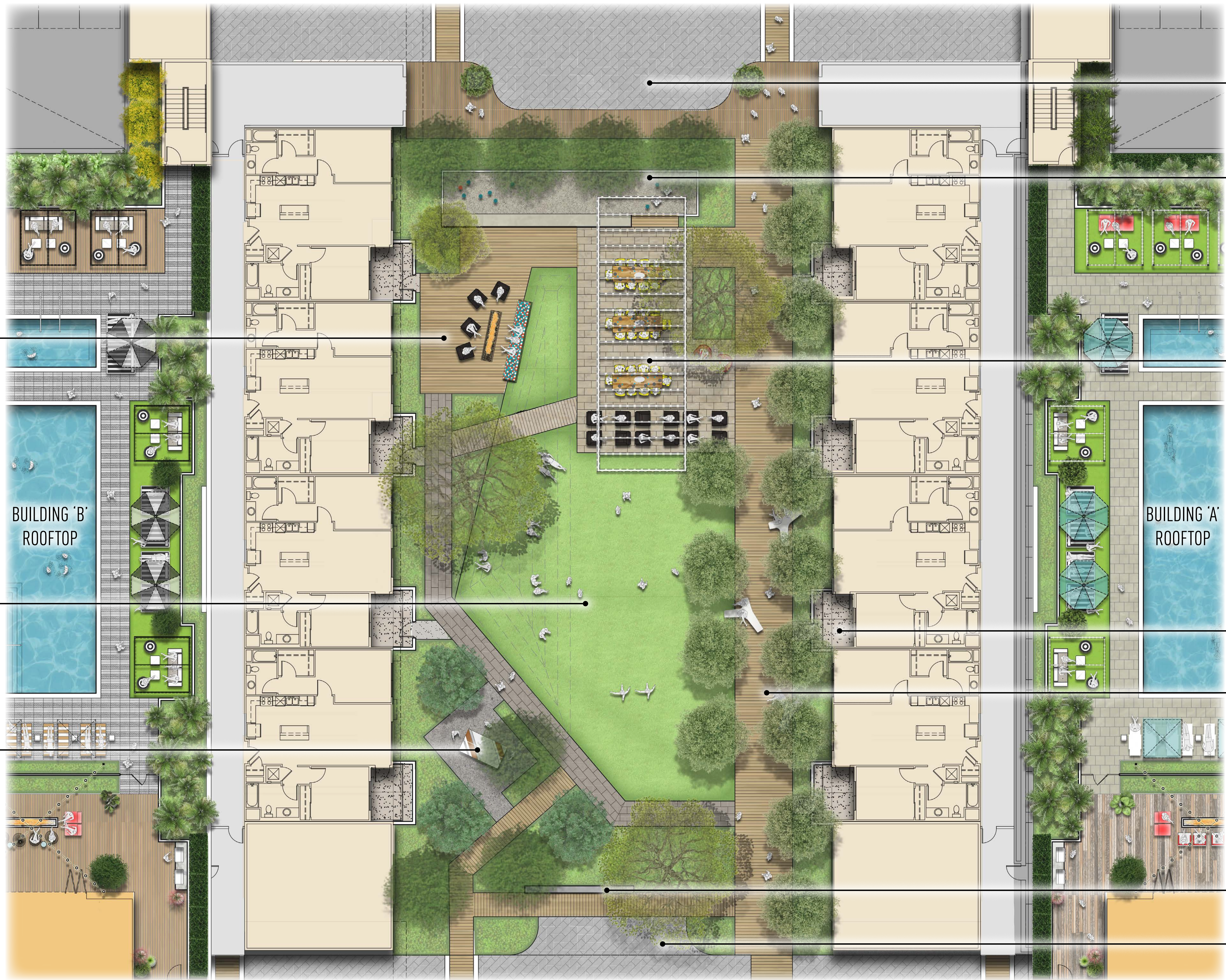
Central Pointe
Santa Ana, CA

Dry Utility Composite

JSJUM	JOB NO.	---
	STATUS	PRELIMINARY
	DATE	07/20/2020
	SCALE	1" = 30'
	SHEET	1 of 1







TRASH STAGING / RIDE-SHARE PICKUP & DROPOFF

BOCCE BALL COURT

PAVILION

- lounge seating
- farm style tables
- specimen tree

DIRECT ACCESS PATIOS

BOARDWALK

- tree allee
- boardwalk pavers

ENTRY SIGNAGE

- specimen tree
- architectural planting

RIDE SHARE PICKUP

FIRESIDE

- firepit
- movable furniture
- built-in bench

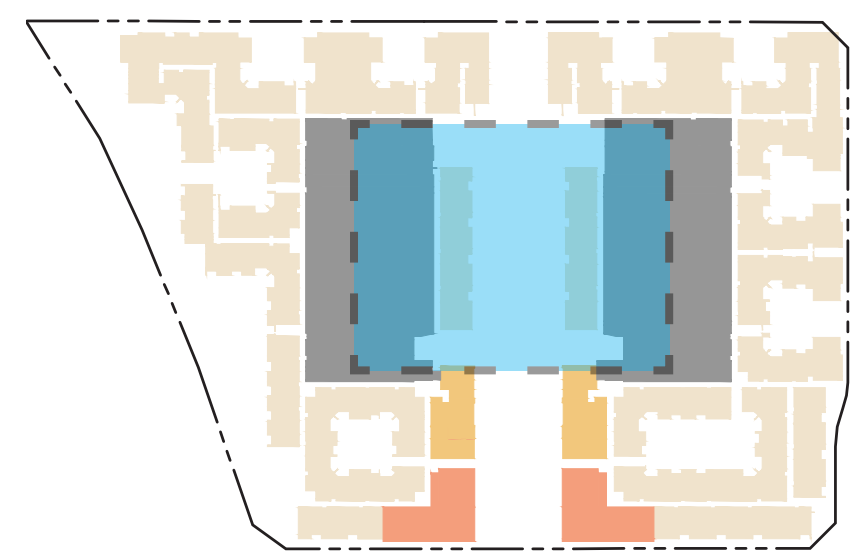
BUILDING 'B' ROOFTOP

BUILDING 'A' ROOFTOP

GREAT LAWN

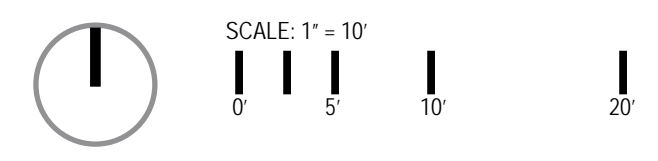
- turf lawn
- architectural mounding
- specimen tree

PING PONG



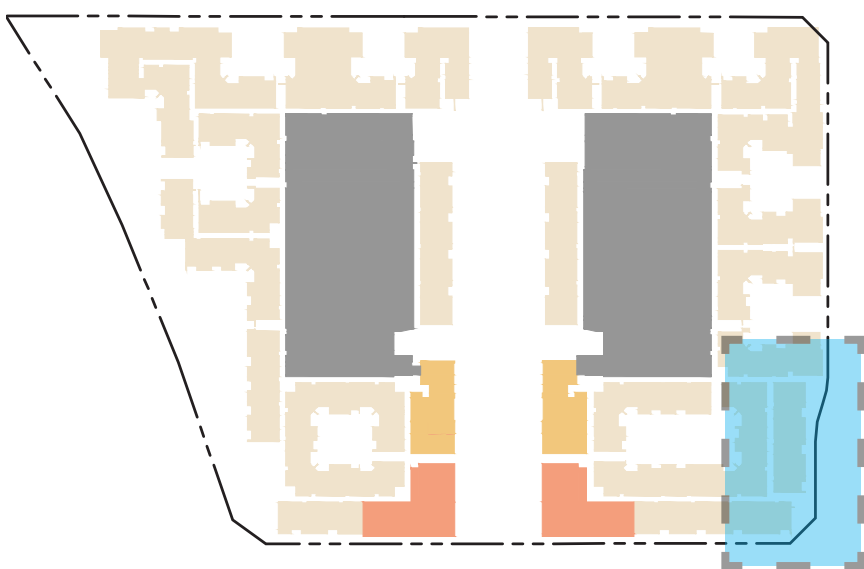
CENTRAL POINTE
SANTA ANA, CA

CONCEPTUAL DESIGN
JULY 20TH, 2020



GREAT LAWN/ PUBLIC PARK
ENLARGEMENT

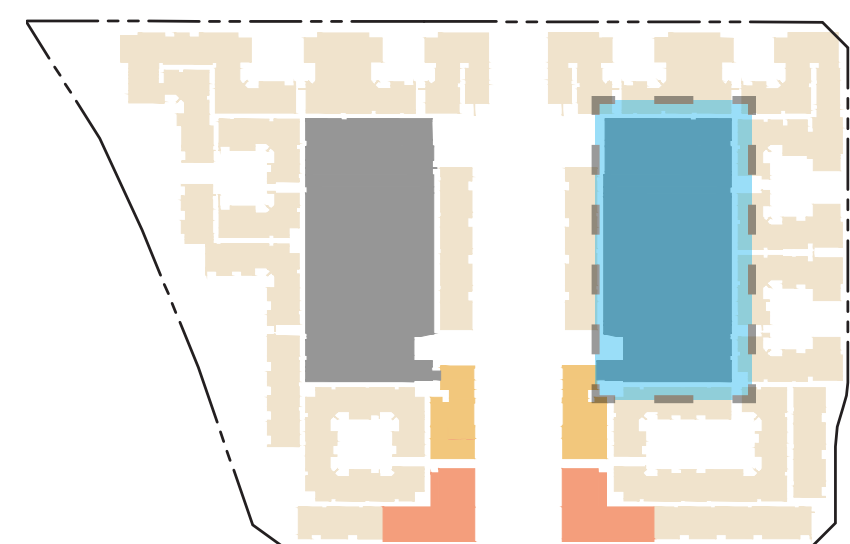
L.2

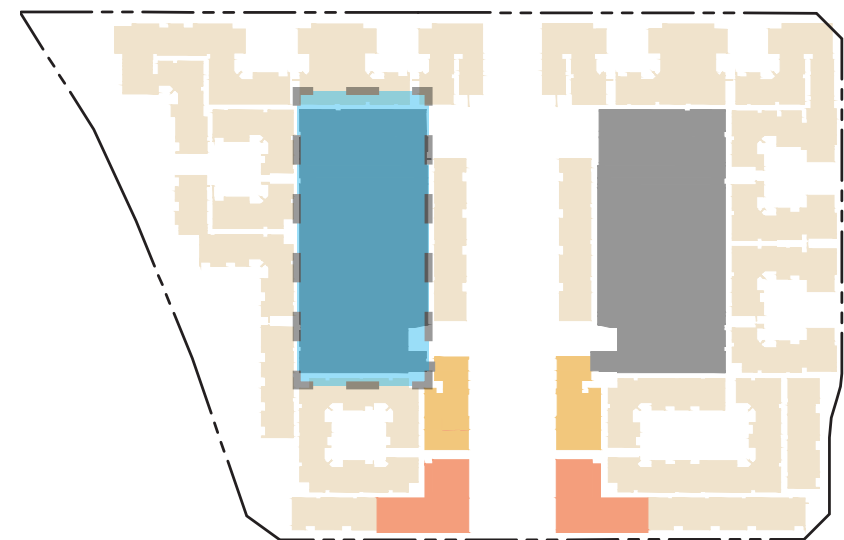


- SPLASH
- 20' X 60' lap pool
 - lounge chairs
 - sunning lawn with cabanas
 - 10' X 20' spa
 - lush planting

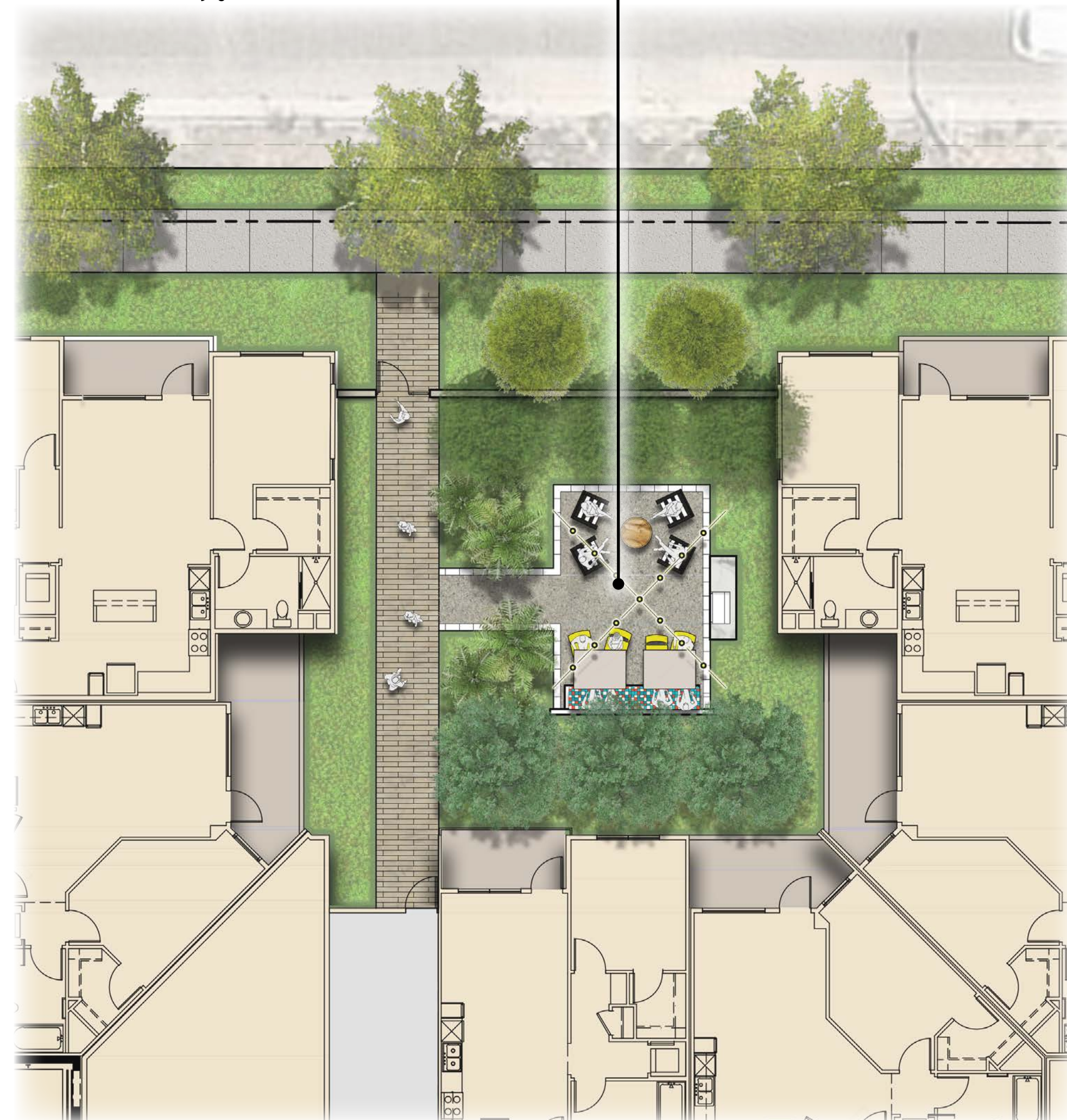
- FIRESIDE
- firepit
 - lounge seating
 - festival lights
 - specimen tree

- THE HANGOUT
- outdoor kitchen
 - shade trellis
 - communal dining tables
 - festival lights
 - pottery



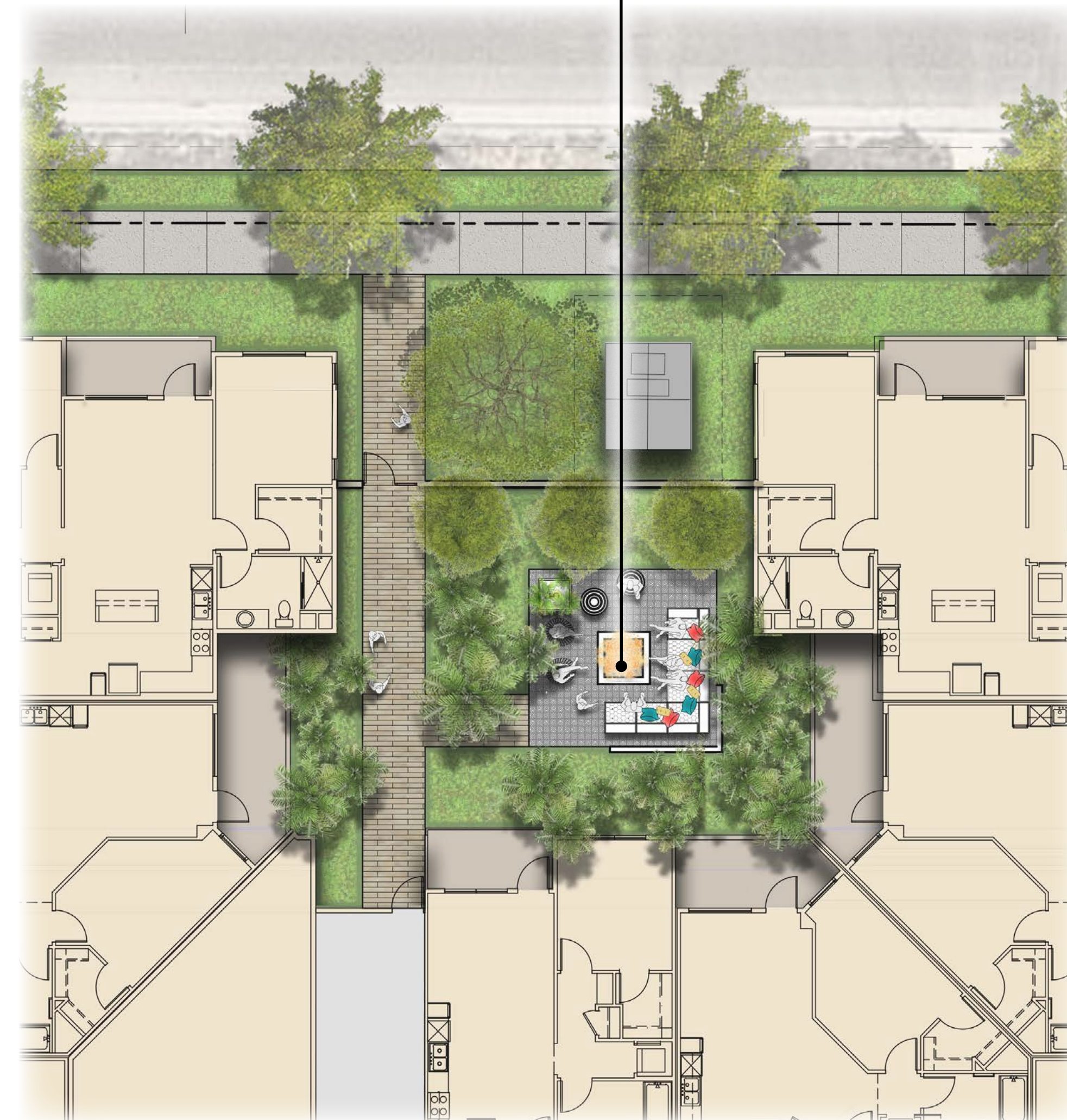


- seatwall with dining
 - festival lights
 - bbq
- lounge seating
- resident security gate



'A' THE BACKYARD

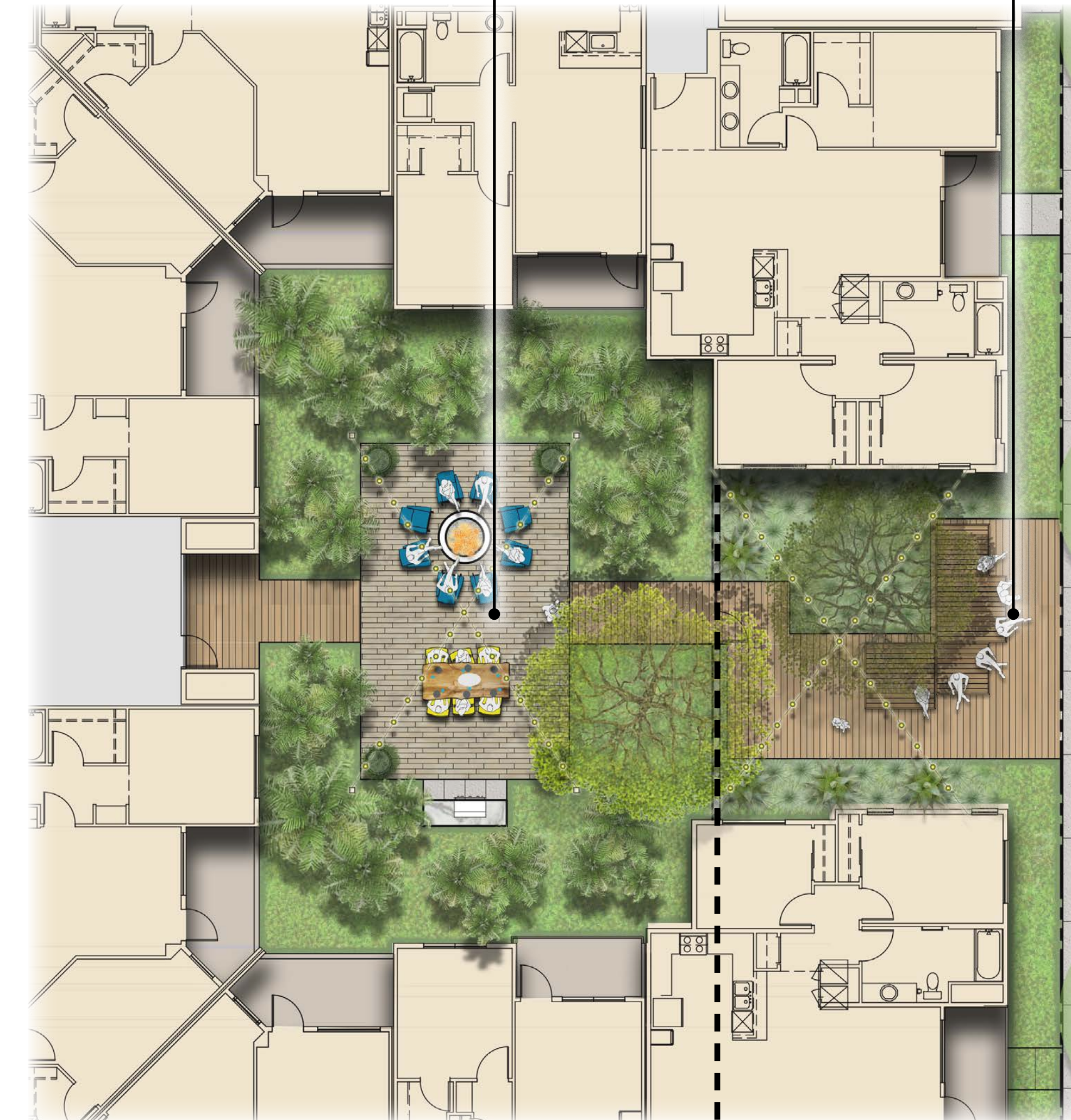
- lush planting
- lounge lawn
- firepit
- resident security gate



'B' GARDEN LOUNGE

- firebowl with seating
 - group dining
 - bbq
 - festival lights
- resident security gate

- PUBLIC PLAZA
 - seating
 - specimen tree
 - festival lighting

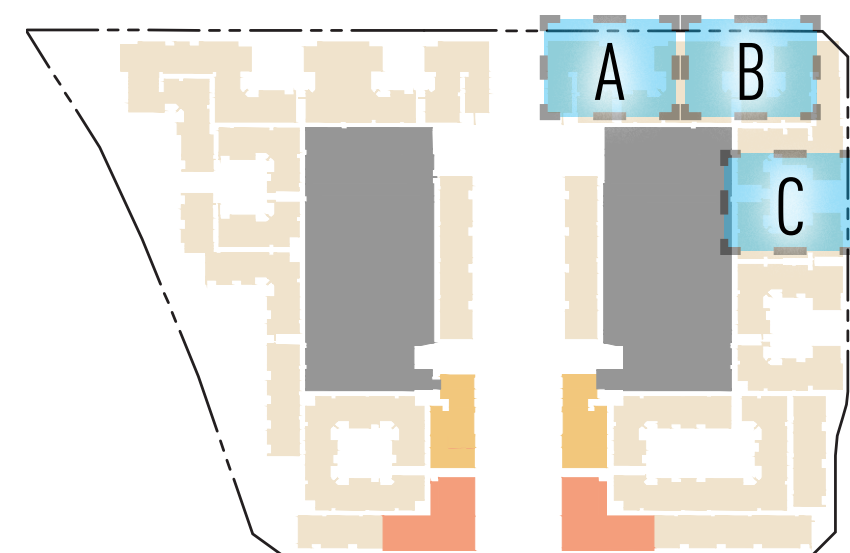


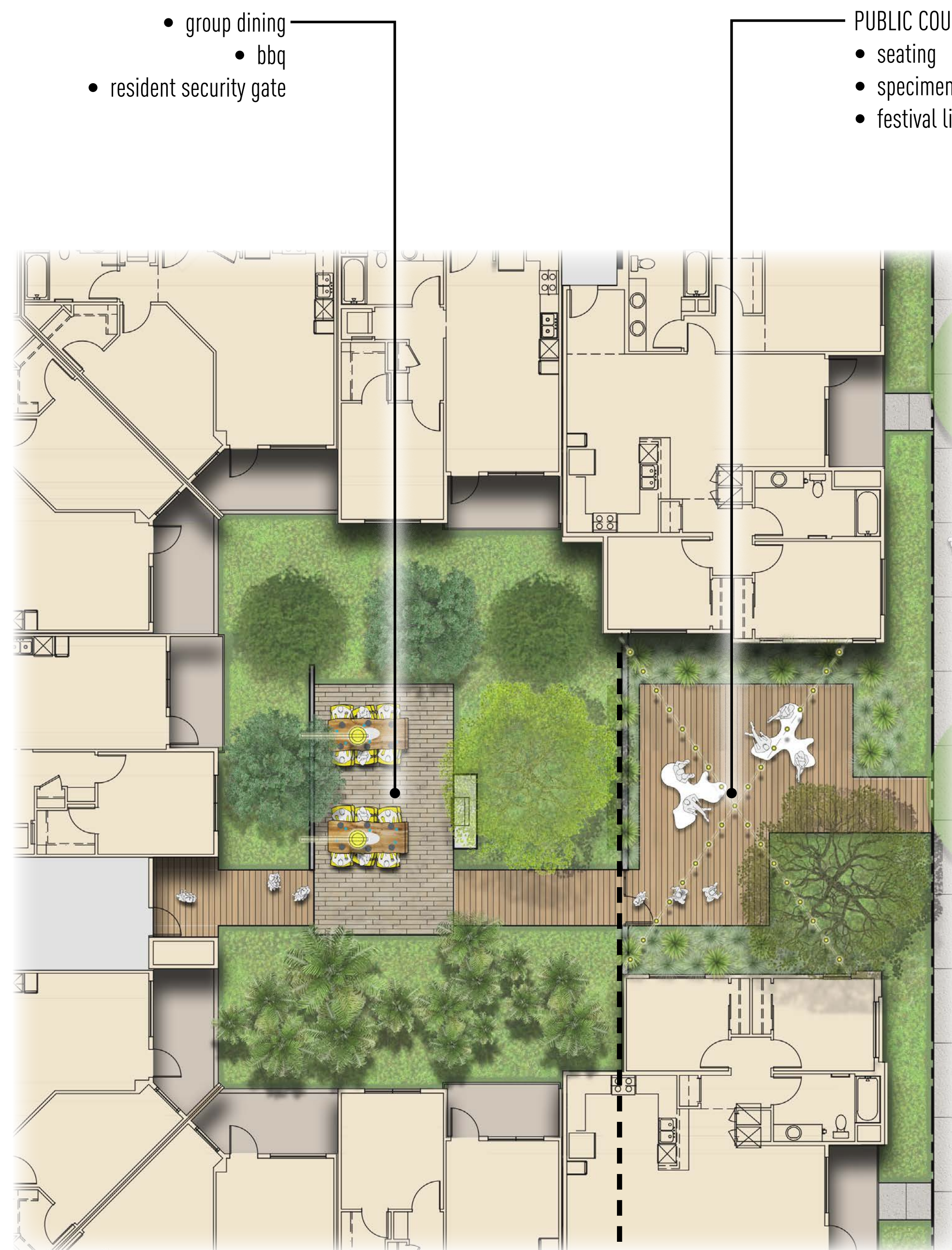
'C' OUTDOOR ESCAPE

← PRIVATE

PUBLIC →

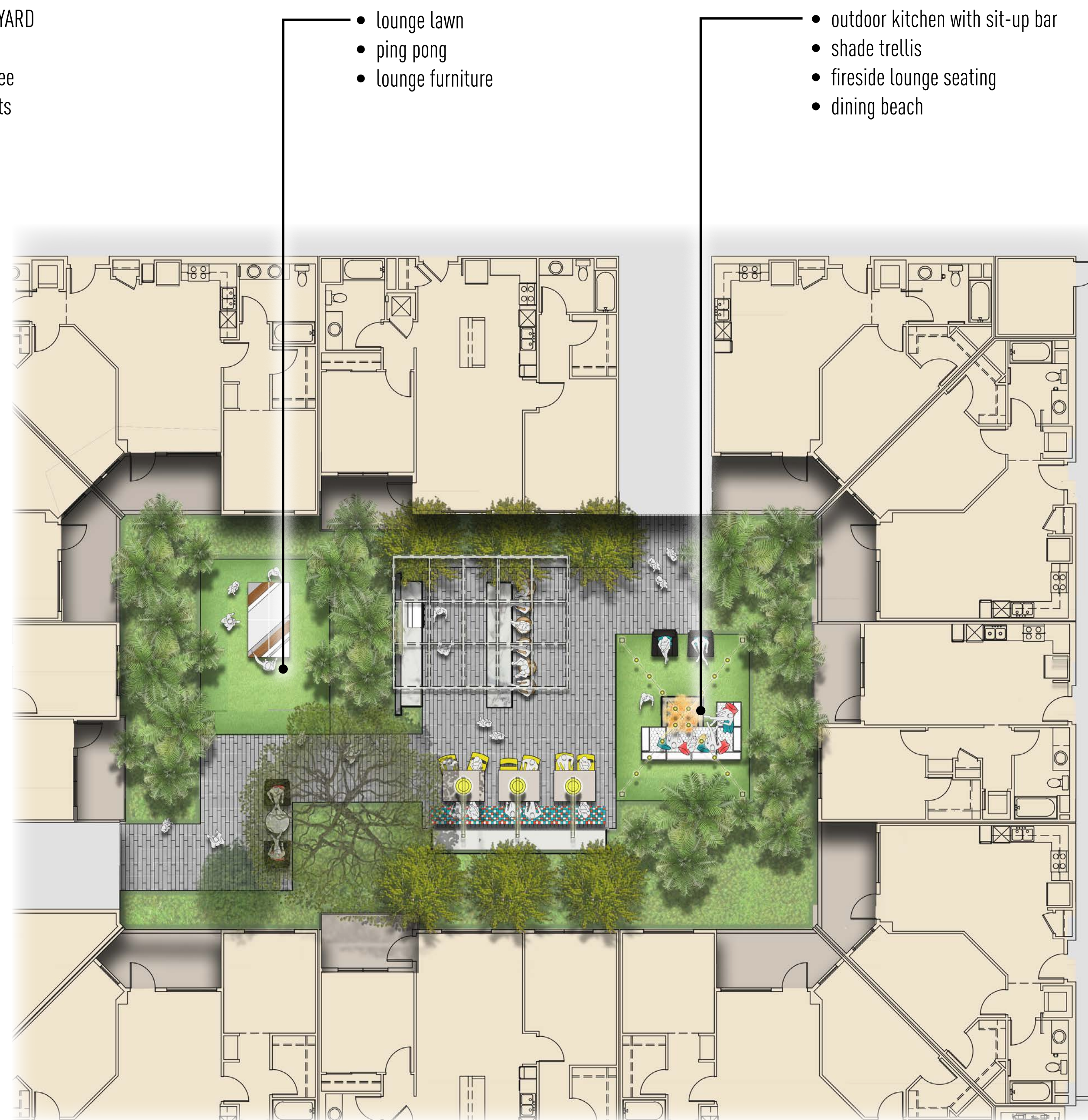
CABRILLO PARK DRIVE



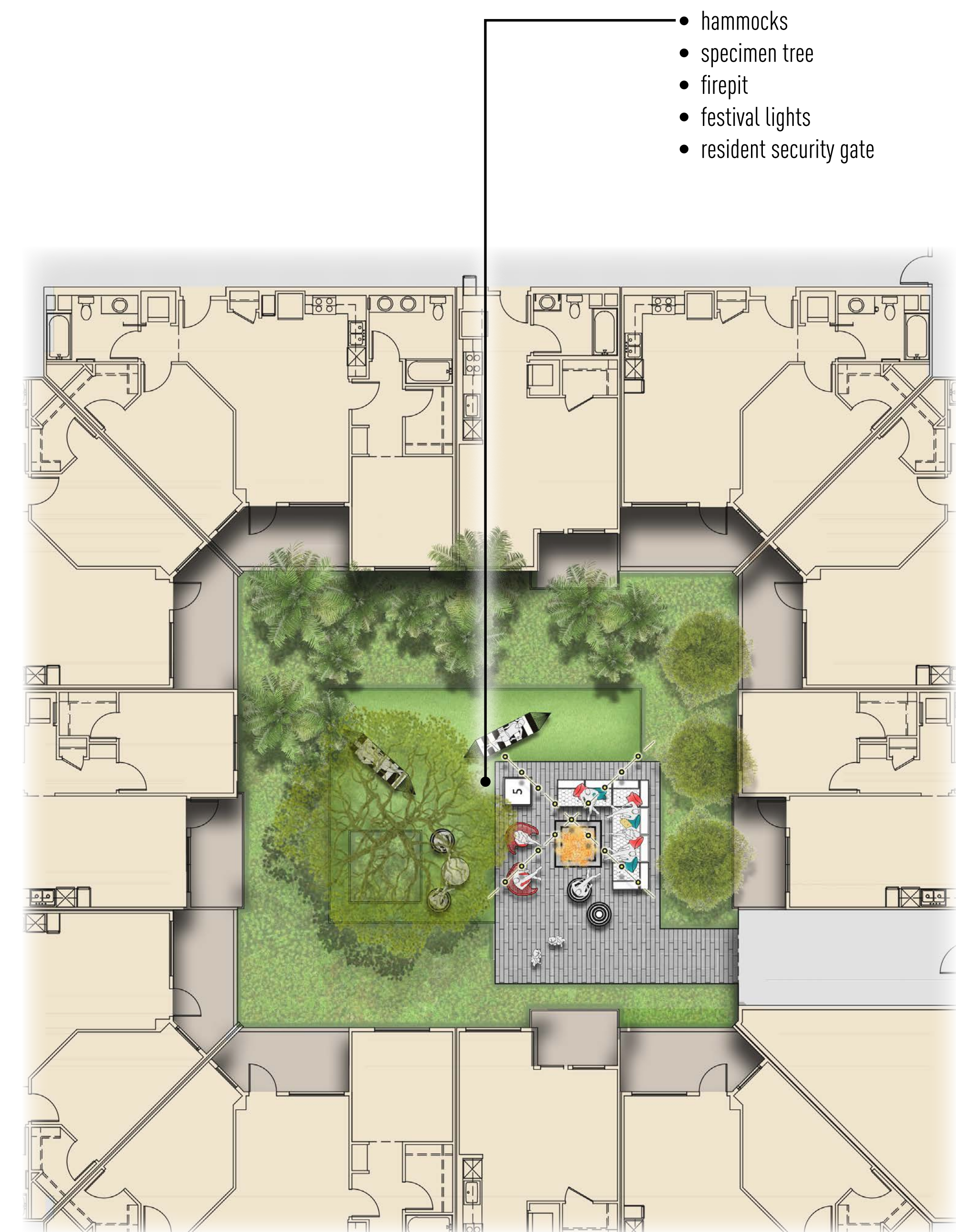


← PRIVATE PUBLIC →

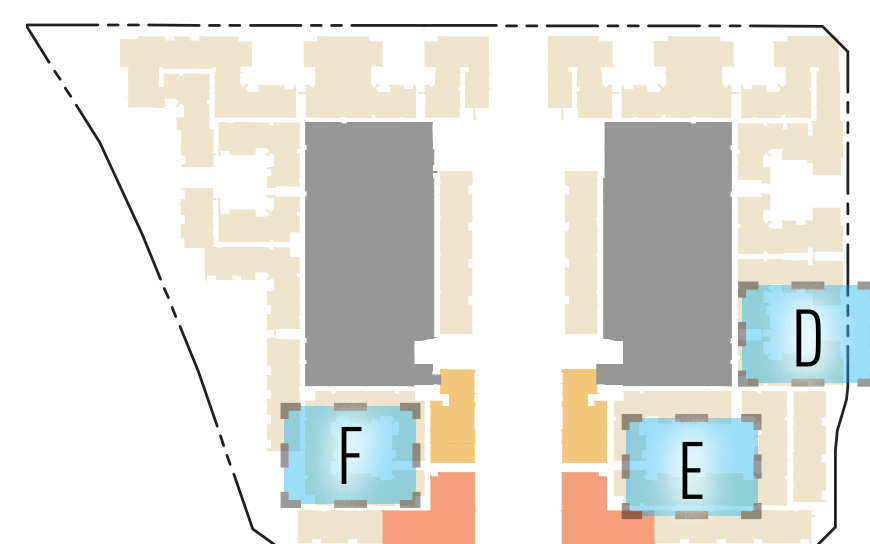
'D' FOODIE



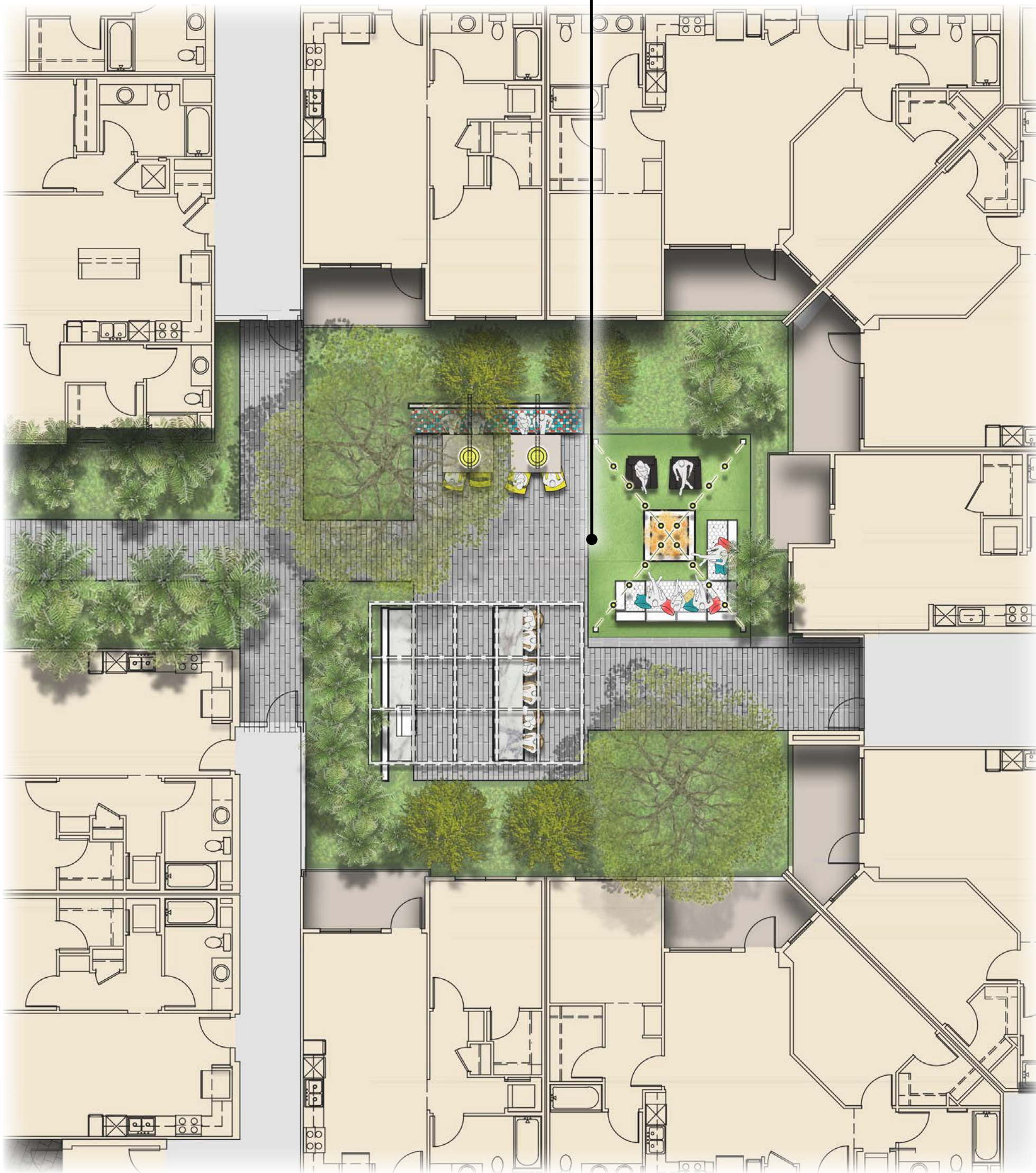
'E' ENTERTAINMENT GARDEN



'F' THE HANGOUT



- sit-up bar with t.v.
- shade trellis
- fireside lounge
- group dining
- resident security gate



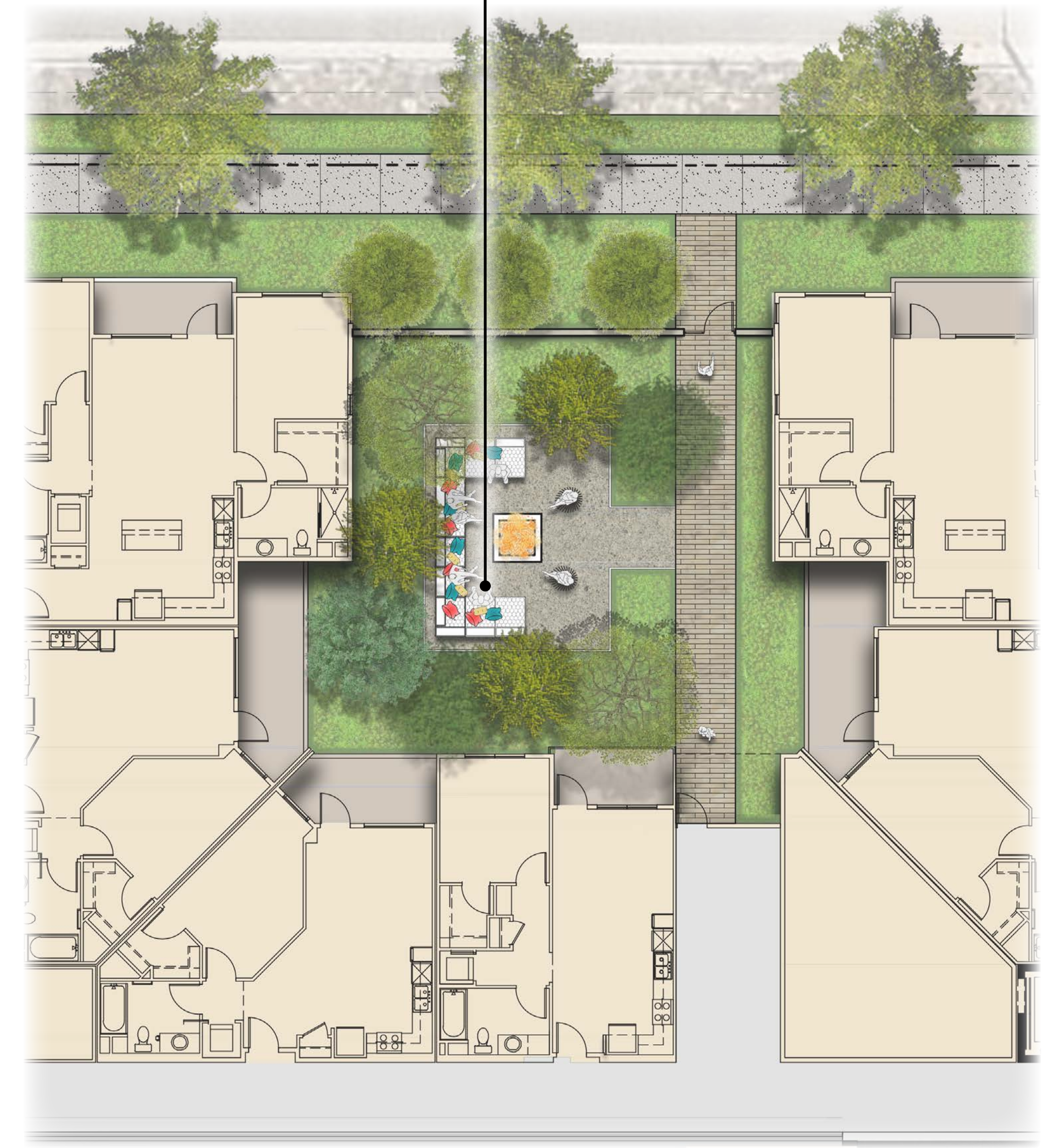
'G' THE SOCIAL

- outdoor kitchen
- large communal tables
- game and lounge lawn
- festival lights
- resident security gate

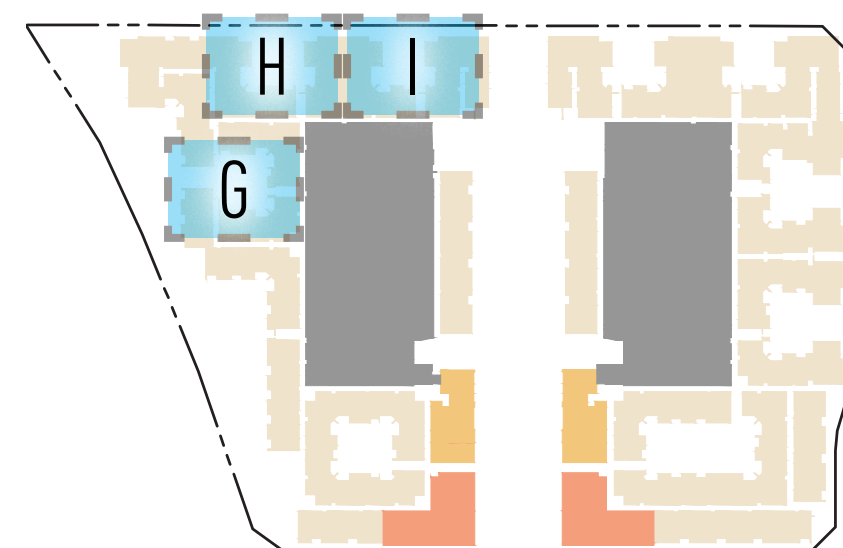


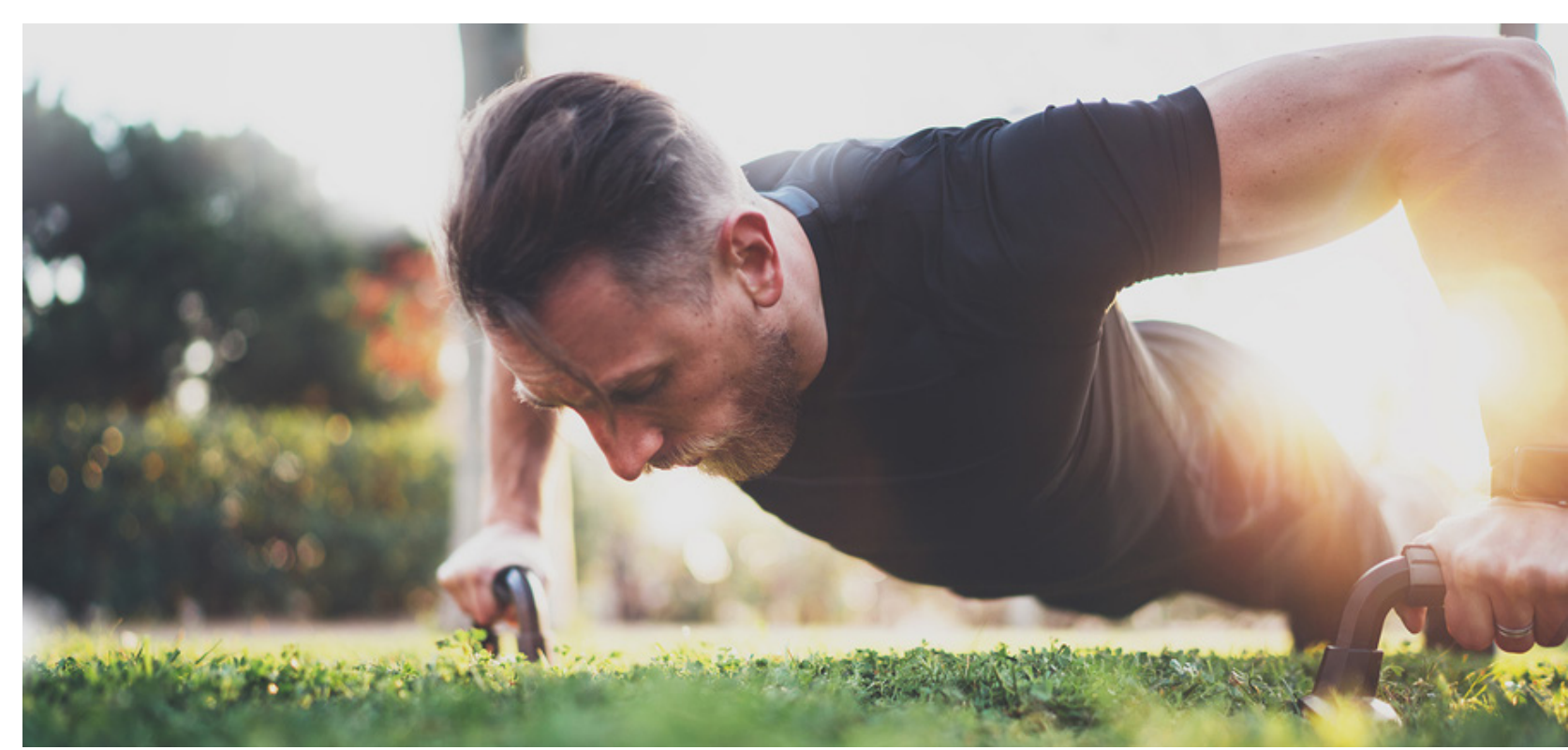
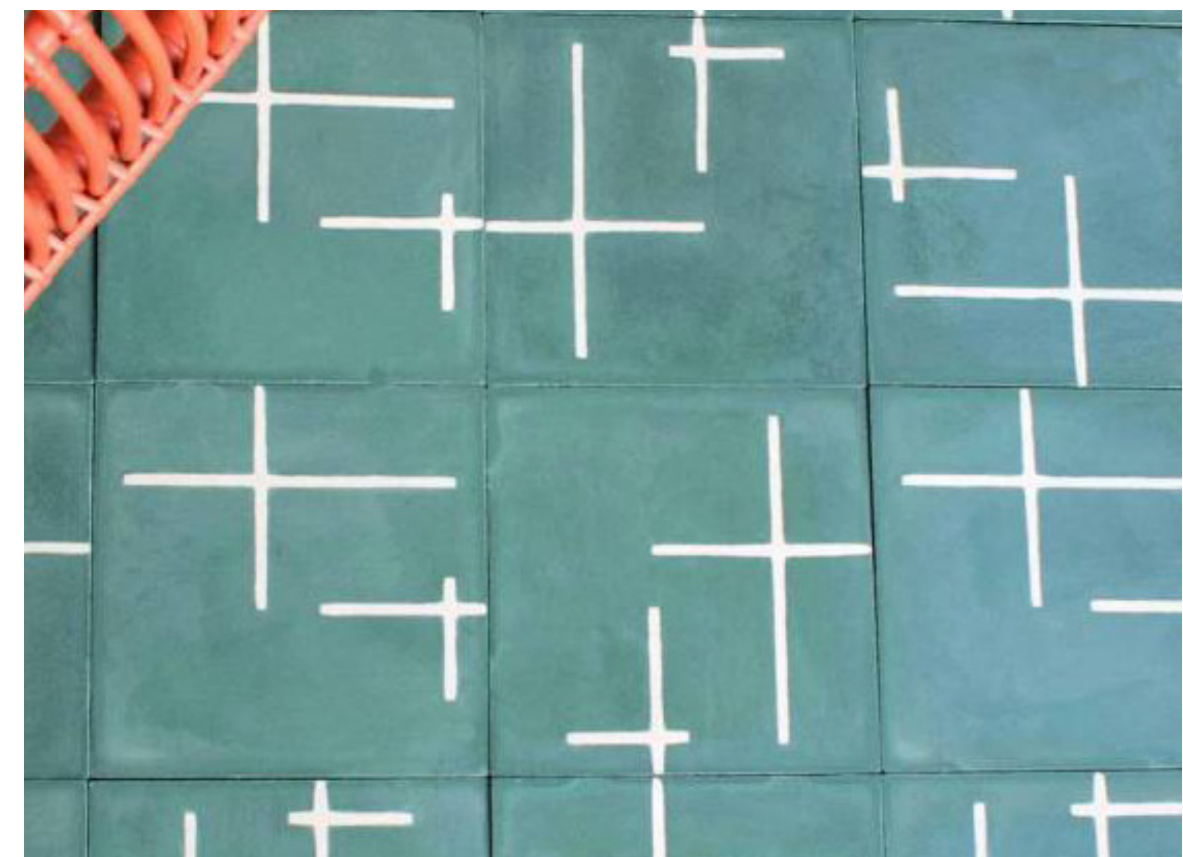
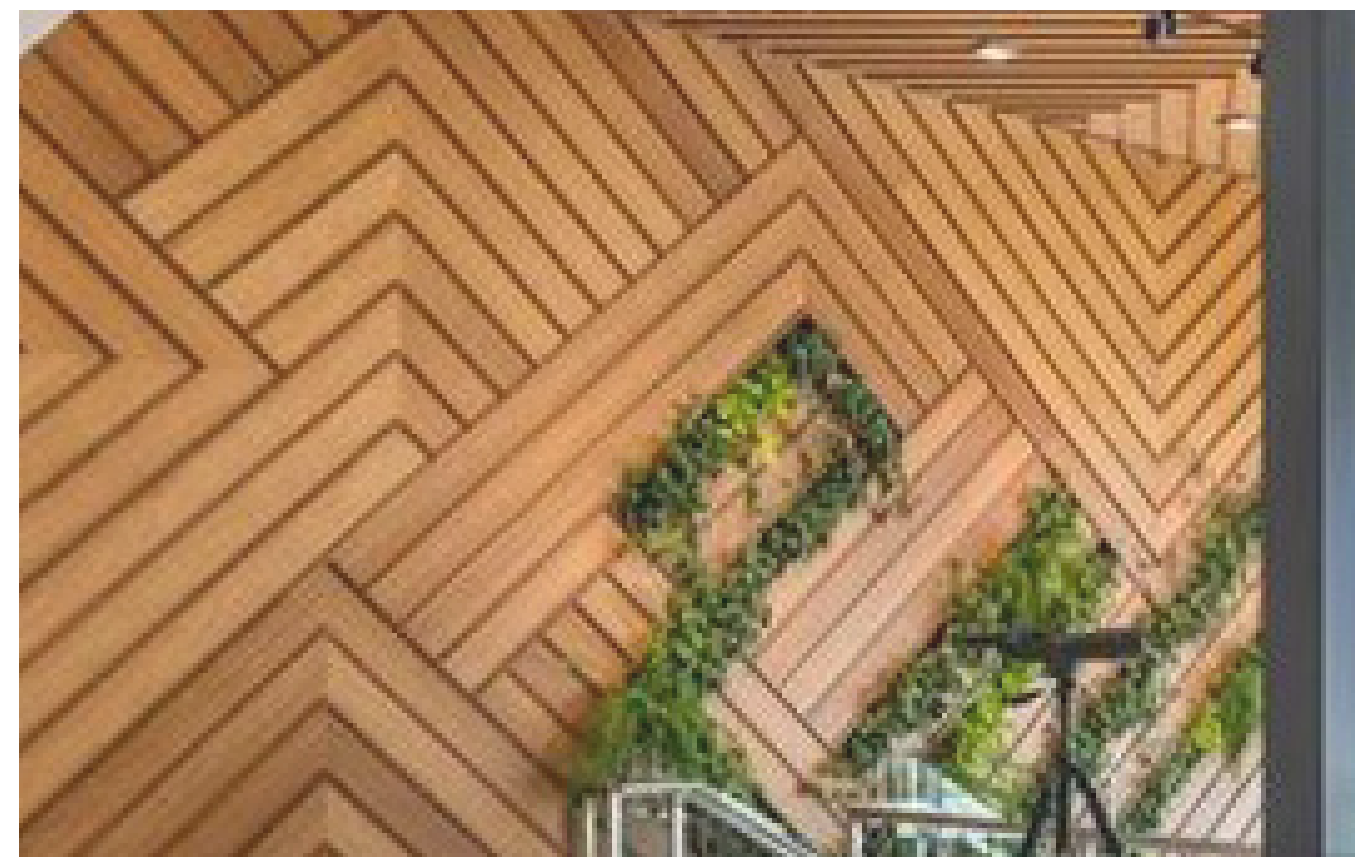
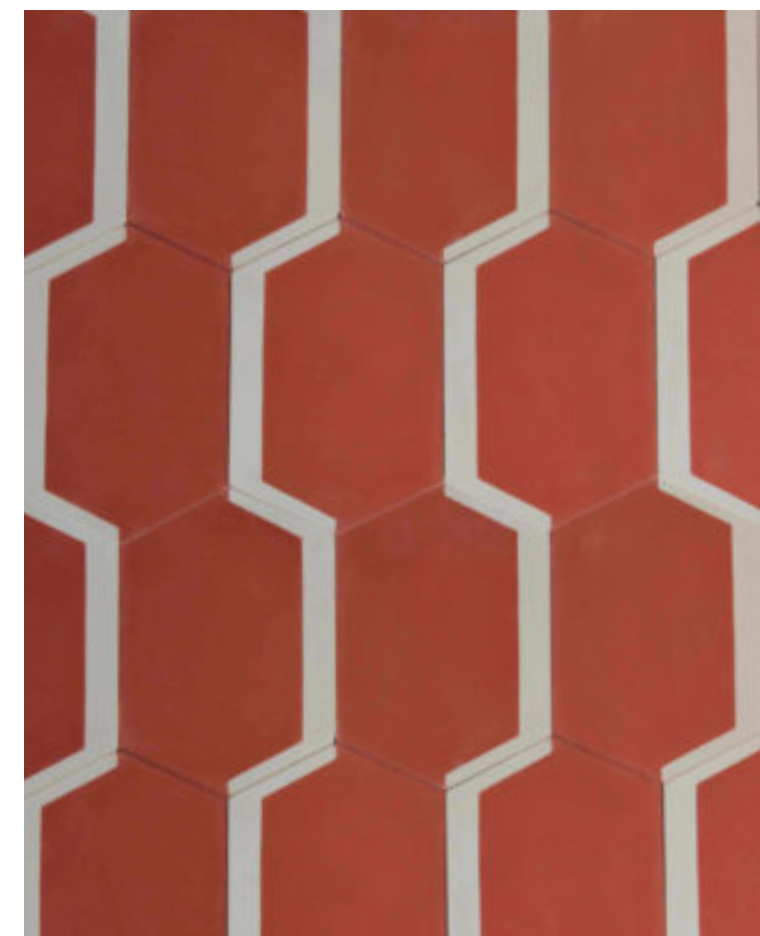
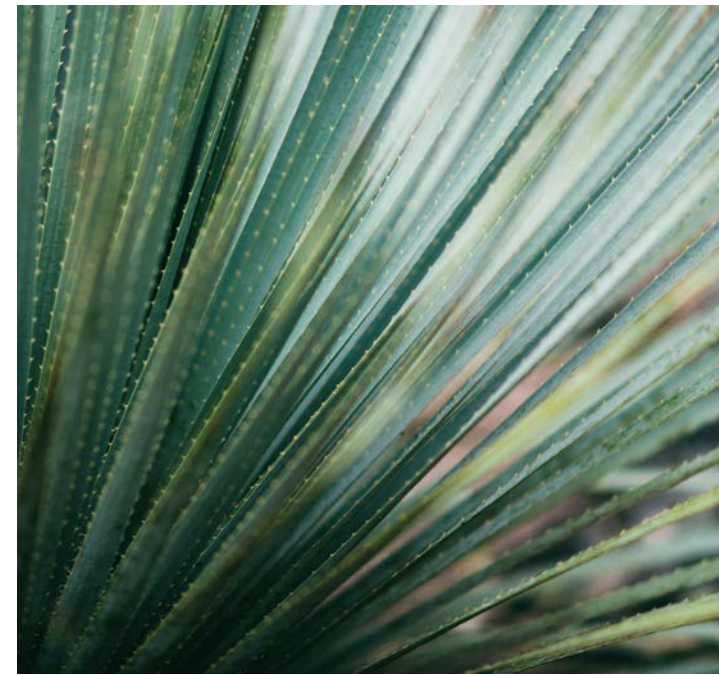
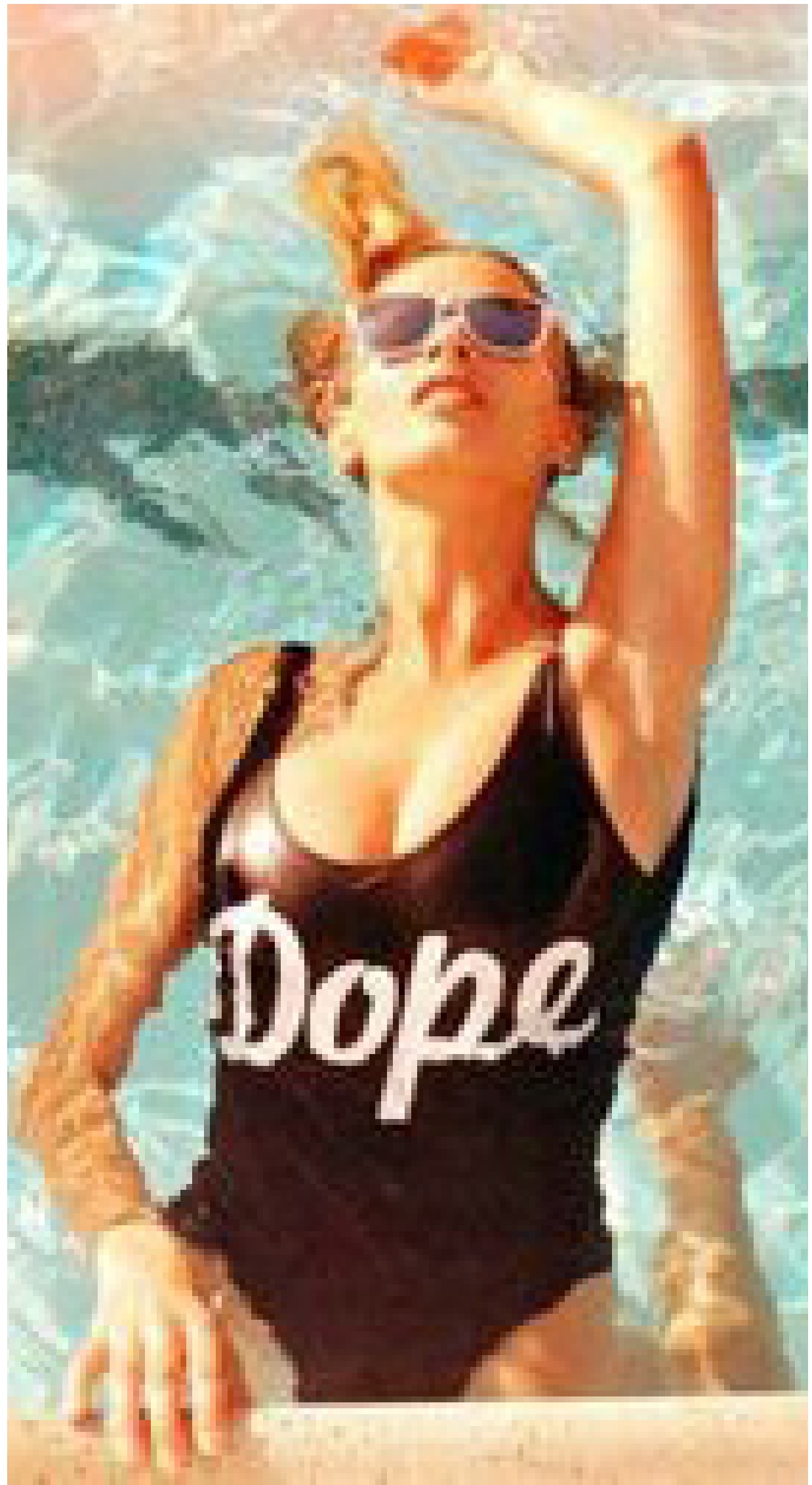
'H' DINNER PARTY

- firepit
- large lounge furniture
- decomposed granite
- lush landscaping
- resident security gate



'I' FIRESIDE





PLANT PALETTE NOTES:

THIS PRELIMINARY PLANT PALETTE IS INTENDED TO REPRESENT A TYPICAL SAMPLE OF THE PROPOSED PLANTS BUT DOES NOT INDICATE THE EXACT SPECIES WHICH WILL BE DEVELOPED ON THE DETAILED PLANS.

WUCOLS NOTE:

WUCOLS, WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, IS A UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION PUBLICATION AND IS A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS.

- LANDSCAPE STANDARDS:
- LANDSCAPE TO BE DESIGNED TO CONFORM WITH THE CITY OF SANTA ANA COMMERCIAL AREA LANDSCAPE STANDARDS SEC 41-372(d).
 - PLANT MATERIALS WILL BE MAINTAINED AND DEAD MATERIAL REPLACED AS SPECIFIED IN THE CITY OF SANTA ANA CODE SECTION 41-609.
 - CONSTRUCT STREET LIGHTS EVERY 125' PER CITY STANDARDS AND APPROVED PLAN, AS NEEDED PER THE CITY STANDARDS AND THE APPROVED STREET IMPROVEMENT PLANS.

- WATER EFFICIENT LANDSCAPING:
- THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:
- THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS OF THE CITY OF SANTA ANA GUIDELINES FOR WATER EFFICIENT LANDSCAPES.
 - THE ESTIMATED APPLIED WATER USE ALLOWED FOR THE LANDSCAPE AREA SHALL NOT EXCEED THE MAWA CALCULATION.

- GENERAL PLANTING NOTES:
- MAINTAIN SHRUBS AT 24" HIGH INSIDE OF VEHICULAR LINE OF SIGHT.
 - SECURITY PLANTING MATERIALS WILL BE UTILIZED ALONG WALL AND PROPERTY LINES AND UNDER VULNERABLE WINDOWS.
 - ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 5' OF ANY HARDSCAPE SURFACE.

POLICE DEPARTMENT SECURITY NOTES:

ADEQUATE LIGHTING OF PARKING STRUCTURE, CIRCULATION AREAS, AISLES, PASSAGEWAYS, RECESSES, and GROUNDS CONTIGUOUS TO BUILDINGS SHALL BE PROVIDED with LIGHTING of SUFFICIENT WATTAGE TO PROVIDE ADEQUATE ILLUMINATION TO MAKE CLEARLY VISIBLE THE PRESENCE OF ANY PERSON ON or ABOUT THE PREMISES DURING HOURS OF DARKNESS and PROVIDE A SAFE, SECURE ENVIRONMENT FOR ALL PERSONS, PROPERTY, and VEHICLES ON-SITE.

- LANDSCAPE NOTES:
- ALL LANDSCAPING MUST MEET THE STANDARDS SET BY THE STATE OF CALIFORNIA EMERGENCY DROUGHT PLAN.
 - ALL SYNTHETIC TURF MUST MEET THE CITY OF SANTA ANA'S STANDARDS FOR SYNTHETIC TURF.
 - THE DEVELOPER SHALL MAINTAIN SIDEWALK AND TREES IN THE PUBLIC RIGHT-OF-WAY.
 - LANDSCAPING ON 4TH STREET, AND PARKCOURT PLACE SHALL BE DROUGHT TOLERANT LANDSCAPE PER THE CITY OF SANTA ANA PARKWAY GUIDELINE FOR DROUGHT TOLERANT PLANTS.
 - A LANDSCAPE PLAN INCLUDING IRRIGATION, IA TO BE SUBMITTED FOR REVIEW AND APPROVAL. THE LANDSCAPE PLAN SHALL CONFORM TO THE COMMERCIAL LANDSCAPE STANDARDS, CITYWIDE DESIGN GUIDELINES AND THE WATER EFFICIENT LANDSCAPE ORDINANCE.

- GRAFFITI NOTES:
- ANY GRAFFITI PAINTED OR MARKED UPON THE PREMISES OR ON ANY ADJACENT AREA UNDER THE CONTROL OF THE LICENSEE(S) SHALL BE REMOVED OR PAINTED WITHIN 24 HOURS OF BEING APPLIED.

- STREET TREE NOTE:
- ANY STREET TREE REMOVAL WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY THE ENVIRONMENTAL AND TRANSPORTATION ADVISORY COMMITTEE (ETAC). THEREFORE, PROVIDE TO THE CITY OF SANTA ANA A LETTER REQUESTING THE REMOVAL OF EXISTING STREET TREE(S) THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS. THE CITY WILL PRESENT THE INFORMATION TO THE ETAC COMMITTEE FOR ACTION (SEE EXHIBIT C).
 - ALL STREET STREETS SHALL BE 24-INCH BOX AT 35 FEET O.C. ON THEORETICAL STREET, INCLUDING DEEP ROOT IRRIGATION SYSTEMS, PER CITY STANDARDS.
 - INSTALL 24-INCH BOX STREET TREES PER THE CITY STANDARDS AND APPROVED PLAN, AS NEEDED.

PRELIMINARY PLANT PALETTE

CENTRAL POINTE
SANTA ANA, CA

THE OBJECTIVE OF THE OVERALL LANDSCAPING CONCEPT IS TO PROVIDE A DISTINCT VISUAL IMPRESSION AND BUILDING IDENTITY, SOFTEN THE URBAN EXPERIENCE, PROVIDE THE HIGHEST LEVEL OF AESTHETIC STANDARDS COMPLIMENTED BY THE QUALITY OF THE BUILDING MATERIALS THAT WILL ASSURE AN ATTRACTIVE ENVIRONMENT ENHANCING THE QUALITY OF LIFE AMONG ITS RESIDENTS AND NEIGHBORS. SUCCESSFUL STREETS CAPES ARE A PARTNERSHIP BETWEEN THE BUILDING DESIGN AND THE LANDSCAPED EDGE OF THE STREET DISTINGUISHING 4TH STREET, CABRILLO PARK DRIVE AND PARKCOURT PLACE THROUGH DISTINCTIVE LANDSCAPING, STREET TREE SPACING AND LIGHTING.

THE LANDSCAPE IRRIGATION CONCEPT FOR THE SITE WILL BE DESIGNED TO PROVIDE THE MOST EFFICIENT AND CONSERVING MEANS TO DISTRIBUTE IRRIGATION WATER AND PROVIDE THE PROPERTY MANAGEMENT COMPANY WITH THE LATEST TECHNOLOGY FOR WATER CONSERVATION AND DISTRIBUTION. THE PRELIMINARY PLANT PALETTE IS DESIGNED TO UTILIZE A MAJORITY OF WATER-CONSERVING PLANTS GROUPED BY WATER NEEDS.

THE FOLLOWING PLANT MATERIAL AS SELECTED IS COMPLIANT WITH CITY OF SANTA ANA WATER CONSERVATION MEASURES WITH CONSIDERATION FOR NON-INVASIVE SPECIES.

TREES

Botanical Name	Common Name	Size:
4th Street.		
Proposed <i>Pinus canariensis</i>	Canary Island Pine	36" box (24" box min)
Proposed <i>Pyrus Kawakamii</i>	Evergreen Pear	36" box (24" box min)

Cabrillo Park Drive		
Existing <i>Platanus racemosa</i>		
Proposed <i>Platanus racemosa</i>	California Sycamore	24" box

Parkcourt Place		
Proposed <i>Platanus racemosa</i>	California Sycamore	24" box
Proposed <i>Pyrus Kawakamii</i>	Evergreen Pear	24" box
Proposed <i>Lagerstroemia indica</i>	Crape Myrtle	24" box

For tree species and for number and size of required tree replacements contact the Tree Section Supervisor at (714) 647-3337

Project Entry Drive:		
<i>Cupressus sempervirens</i>	Italian Cypress	24" box
<i>Magnolia</i> g. 'Little Gem'	Little Gem Southern Magnolia	24" box
<i>Olea europaeae</i> 'Swan Hill'	Fruitless Olive	48" box
Phoenix <i>dactylifera</i> 'medjool'	Medjool Date Palm	18' bth
<i>Pinus pinea</i>	Italian Stone Pine	36" box
<i>Quercus virginiana</i>	Southern Live Oak	36" box

Setback Trees		
<i>Cupressus sempervirens</i> 'Stricta'	Italian Cypress	24" box
<i>Ficus nitida</i>	Indian Laurel Ficus	36"/48" box
<i>Jacaranda acutifolia</i>	Jacaranda	36" box
<i>Magnolia</i> g. 'Little Gem'	Little Gem Southern Magnolia	24" box
<i>Melaleuca quinquenervia</i>	Cajeput Tree	24" box
<i>Olea europaeae</i> 'Swan Hill'	Fruitless Olive	48" box
<i>Pinus canariensis</i>	Canary Island Pine	24" box
<i>Pinus eldarica</i>	Afghan Pine	24"/48" box
<i>Platanus racemosa</i>	California Sycamore	24" box
<i>Tristania conferta</i>	Brisbane Box	24" box

Residential Courtyards and Rooftop Area		
<i>Arbutus</i> x 'Marina'	Hybrid Strawberry Tree	24" box
<i>Bismarckia nobilis</i>	Bismark Palm	36" box
<i>Brachychiton populneum</i>	Bottle Tree	24" box
<i>Chorisia speciosa</i>	Floss Silk Tree	36" box
<i>Eriobotrya deflexa</i>	Bronze Loquat	24" box
<i>Erythrina coralloides</i>	Naked Coral Tree	36" box
<i>Ficus</i> 'Green Gem'	Ficus columns - Hedge	24" box
<i>Geijera parviflora</i>	Australian Willow	36" box
<i>Hymenosporum flavum</i>	Sweetshade	24" box
<i>Juniperus torulosa</i>	Hollywood Juniper	24" box
<i>Lagerstroemia</i> hybrid	Crape Myrtle	36" box
<i>Magnolia</i> g. 'Little Gem'	Little Gem Southern Magnolia	24" box
<i>Melaleuca quinquenervia</i>	Cajeput Tree	24" box
<i>Melaleuca nesophila</i>	Pink Melaleuca	36" box
<i>Metrosideros excelsa</i>	New Zealand Christmas Tree	36" box
<i>Olea europaeae</i> 'Swan Hill'	Fruitless Olive	48" box
<i>Pinus torreyana</i>	Torrey Pine	36" box
<i>Platanus x acerfolia</i> 'Bloodgood'	Plane Tree	36" box
<i>Prunus</i> c. 'Bright 'n Tight'	Compact Carolina Cherry	15 gal.
<i>Prunus</i> c. 'Vesuvius	Purple-leaf Plum	24" box
<i>Pyrus calleryana</i> . 'Aristocrat'	Ornamental Pear	24" box
<i>Quercus virginiana</i>	Southern Live Oak	36" box
<i>Rhus lancea</i>	African Sumac	24" box
<i>Tipuana tipu</i>	Tipu Tree	36" box
<i>Tristania conferta</i>	Brisbane Box	24" box

GENERAL PLANTING NOTES:

- MAINTAIN SHRUBS AT 24" HIGH INSIDE OF STREET AND DRIVEWAY LINE OF SIGHT.
- ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 5' OF ANY HARDSCAPE SURFACE.

SHRUBS and GROUNDCOVERS

Botanical Name	Common Name
Large shrubs (minimum 5 gallon size at 3' o.c.)	
<i>Agave attenuata</i> 'Nova'	Foxtail Agave
<i>Arbutus unedo</i>	Strawberry Tree
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Photinia x fraserii</i>	Red-tipped Photinia
<i>Leptospermum lavigatum</i>	Australian Tree Tree
<i>Tecoma stans</i>	Yellow Bells
<i>Westringia fruticosa</i>	Coast Rosemary

Medium Shrubs (minimum 5 gallon size)	
<i>Callistemon</i> 'Little John'	Dwarf Bottlebrush
<i>Bougainvillea</i> species	Bougainvillea
<i>Dianella</i> species	Dianella
<i>Dietes vegeta</i>	Fortnight Lily
<i>Grevillia</i> species	Grevillia
<i>Hemerocallis</i> hybrids	Evergreen Daylilies
<i>Hesperaloe parvifolia</i>	Red Yucca
<i>Pittosporum</i> species	Mock Orange
<i>Raphiolepis indica</i> species	India Hawthorn
<i>Rosemarinus</i> 'Tuscan Blue'	Upright Rosemary
<i>Salvia greggi</i>	Autumn Sage
<i>Salvia leucantha</i>	Mexican Sage Bush
<i>Strelitzia reginae</i>	Bird of Paradise

Low Shrubs and Groundcovers (minimum 1 gallon size)	
<i>Asparagus</i> d. 'Myersii'	Foxtail Asparagus
<i>Arctostaphylos</i> species	Manzanita
<i>Baccharis pilularis</i> 'Pigeon Point'	Dwarf Coyote Brush
<i>Carissa</i> M. 'Horizontalis'	Natal Plum
<i>Carex</i> species	Sedge
<i>Ceanothus</i> g. 'Horizontalis'	Carmel Creeper
<i>Festuca</i> o. <i>glauca</i>	Blue fescue
<i>Mahonia repens</i>	Creeping Mahonia
<i>Myoporum parvifolium</i>	Myoporum
<i>Limonium</i> species	Statice
<i>Pittosporum</i> 'Golf Ball'	Golf Ball Kohuhu
<i>Rosmarinus</i> o. <i>prostratus</i>	Dwarf Rosemary

Accent/color shrubs (minimum 5 gallon size)	
<i>Aeonium</i> x <i>floribundum</i>	Aeonium Hybrid
<i>Anigozanthus</i> species	Kangaroo Paws
<i>Aloe</i> species	Aloe
<i>Agave</i> species	Agave
<i>Cycas revoluta</i>	Sago
<i>Dasyllirion wherlerii</i>	Desert Spoon
<i>Furcracea mediopicta</i>	Mauritius Hemp
<i>Hesperaloe parvifola</i>	Red Yucca
<i>Muhlenbergia</i> species	Deer Grass
<i>Rosa floribunda</i>	Floribunda Rose

Line of Sight Note:
Maintain shrubs at 24" high inside of Line of Sight at street intersections.

UTILITY SCREENING NOTES:

ALL ABOVE-GROUND UTILITIES INCLUDING BACKFLOW DEVICES AND TRANSFORMERS WILL BE SCREENED WITH A DENSE PLANTING HEDGE TO MITIGATE VIEWS OF THE UTILITIES FROM THE PUBLIC REALM AS REQUIRED BY THE CITY OF SANTA ANA ORDINANCE.

FIRE ACCESS NOTES:

TREES FOUND WITHIN THE FIRE LANE SHALL BE MAINTAINED AT THE MINIMUM CLEARANCE OF 13'-6" FOR FIRE DEPARTMENT ACCESS.



LIGHTING CONCEPT:

THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.

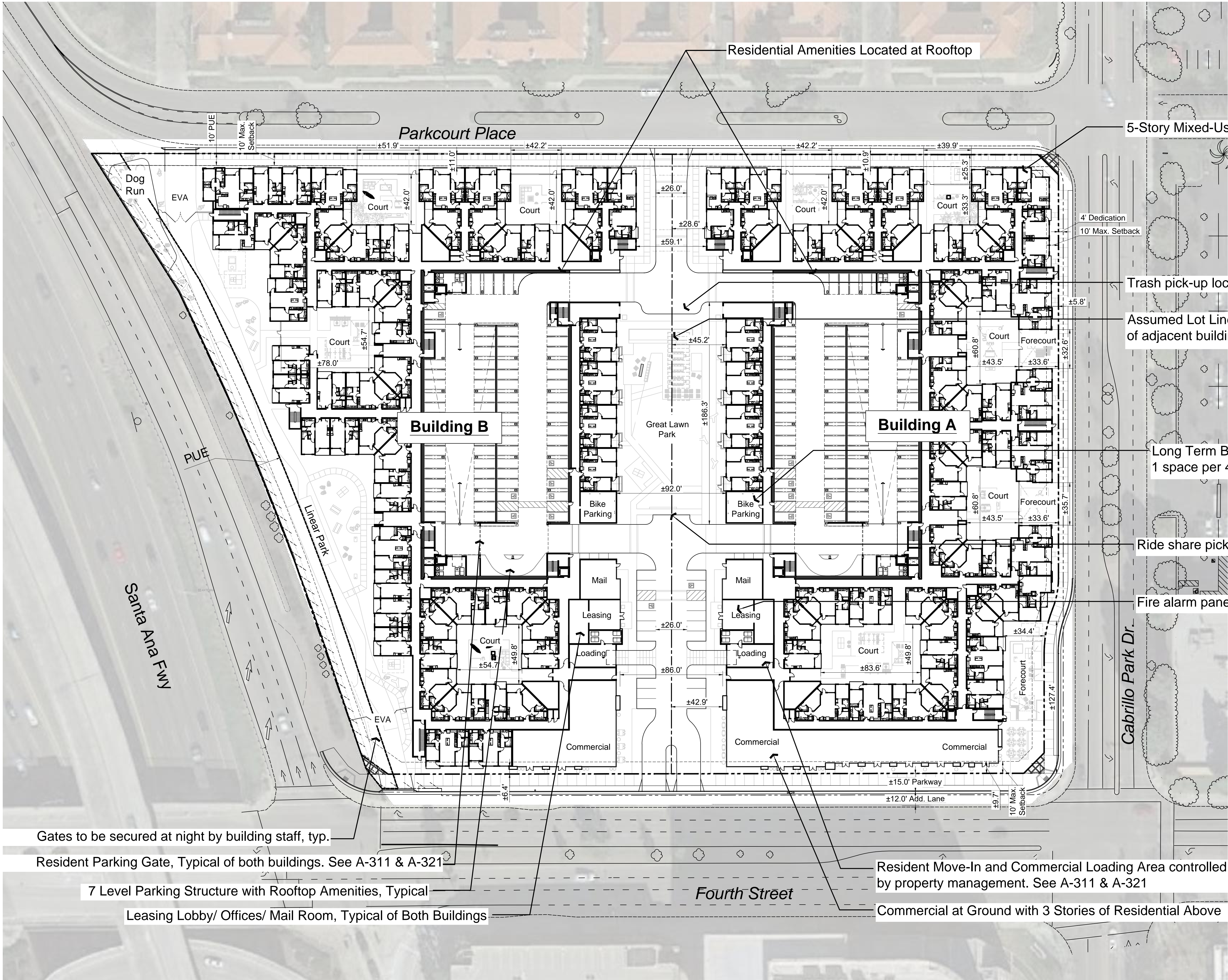
WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTUSIVE. LIGHT SOURCES WILL BE TUNGSTEN, METAL HALIDE OR LED.

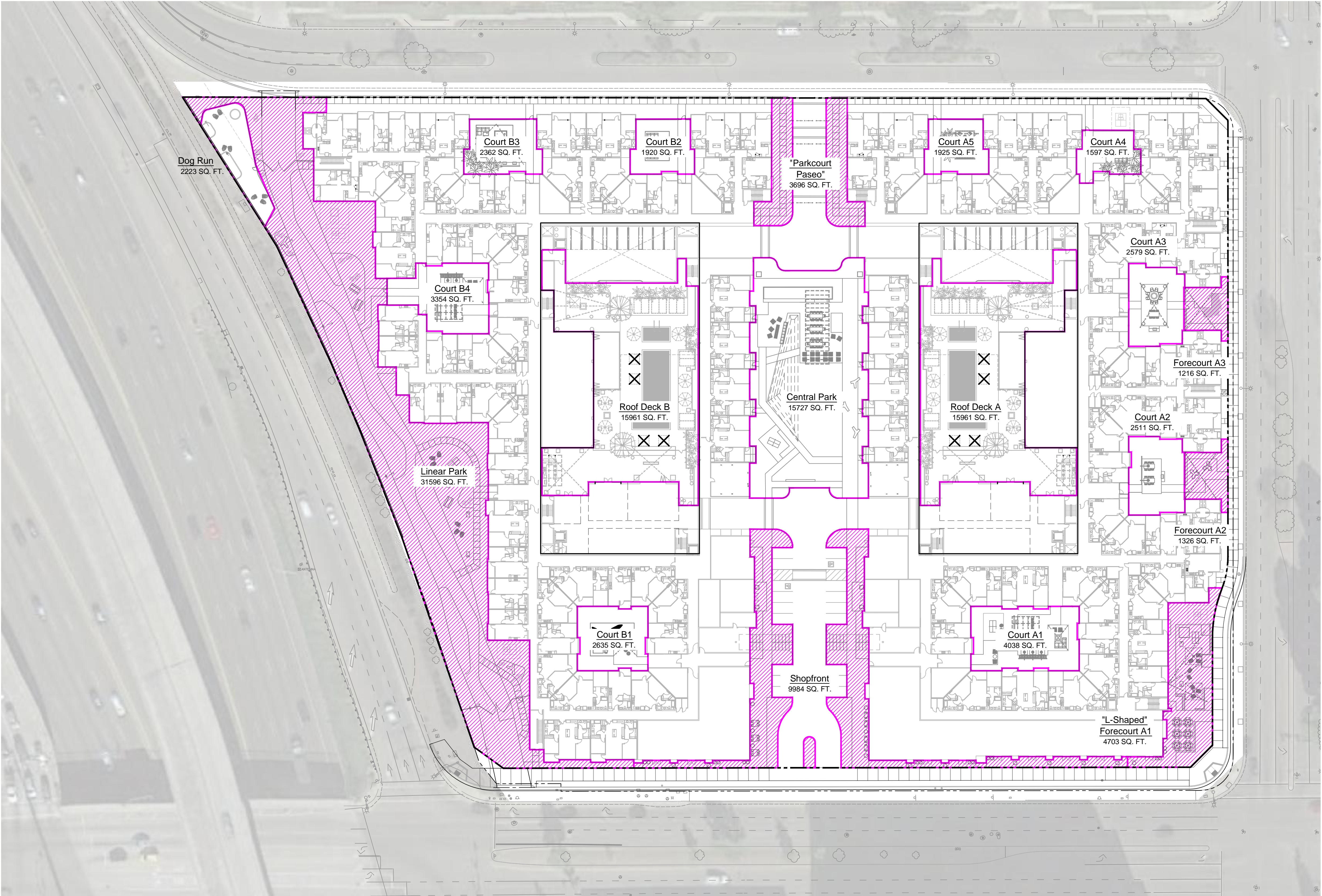
LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED.

ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE SYMPATHETIC AND COMPLIMENTARY TO THE ARCHITECTURAL THEME.

PHOTOMETRICS TO BE PROVIDED BY ELECTRICAL CONSULTANT.

EXTERIOR LIGHTING LEGEND		
SYMBOL	TYPE/TECHNIQUE:	LOCATION:
	BOLLARD	PEDESTRIAN WALKWAYS
	12' HT POLE	COURTYARDS / ENTRY / FIRELANE FIXTURE WILL NOT PRODUCE OFF-SITE GLARE
	STREET LIGHT	STREET FIXTURE WILL NOT PRODUCE OFF-SITE GLARE
	OVERHEAD FESTIVAL LIGHTING	MINIMUM 12' ABOVE FINISH SURFACE
	BUILDING MOUNTED SCONCE	TO BE SELECTED BY ARCHITECT
	CEILING LIGHT	METAL TRELLIS STRUCTURES / ARCHITECTURE. FIXTURE WILL NOT PRODUCE OFF-SITE GLARE





Publicly Accessible Open Space:

Gross Site Area	± 8.35 Acres
Net Site Area	± 8.03 Acres

Requirement: **52,468 sf required**
15% of net site area

Proposed: (Area shown hatched)

PAOS	Area (sf)
Shopfront	9,984
"Parkcourt Paseo"	3,696
Forecourt A1	4,703
Forecourt A2	1,326
Forecourt A3	1,216
Linear Park	31,596
Total PAOS	±52,521 sf proposed

Note: 15,727 sf of Central Park not counted toward required PAOS

Private/ Common Open Space:

Requirement:	
• Requirement #1:	57,960 sf 90 sf per unit (644 units)
• Requirement #2:	18,188 sf 5% of Total Site Area for non-residential uses
Total Req'd:	76,148 sf

Proposed:

Open Space	Area (sf)
Priv. Open Space Ave. ±77sf per DU	49,588
Courtyard A1	4,038
Courtyard A2	2,511
Courtyard A3	2,579
Courtyard A4	1,597
Courtyard A5	1,925
Courtyard B1	2,635
Courtyard B2	1,920
Courtyard B3	2,362
Courtyard B4	3,354
Dog Run	2,223
Roof Deck A	15,961
Roof Deck B	15,961
Total Proposed	±106,654

Legend

Publicly Accessible Open Space

Note: During Conceptual/ Schematic Design phases, the quantitative data in this exhibit are approximate.

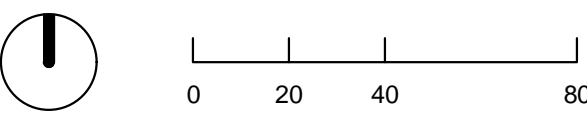


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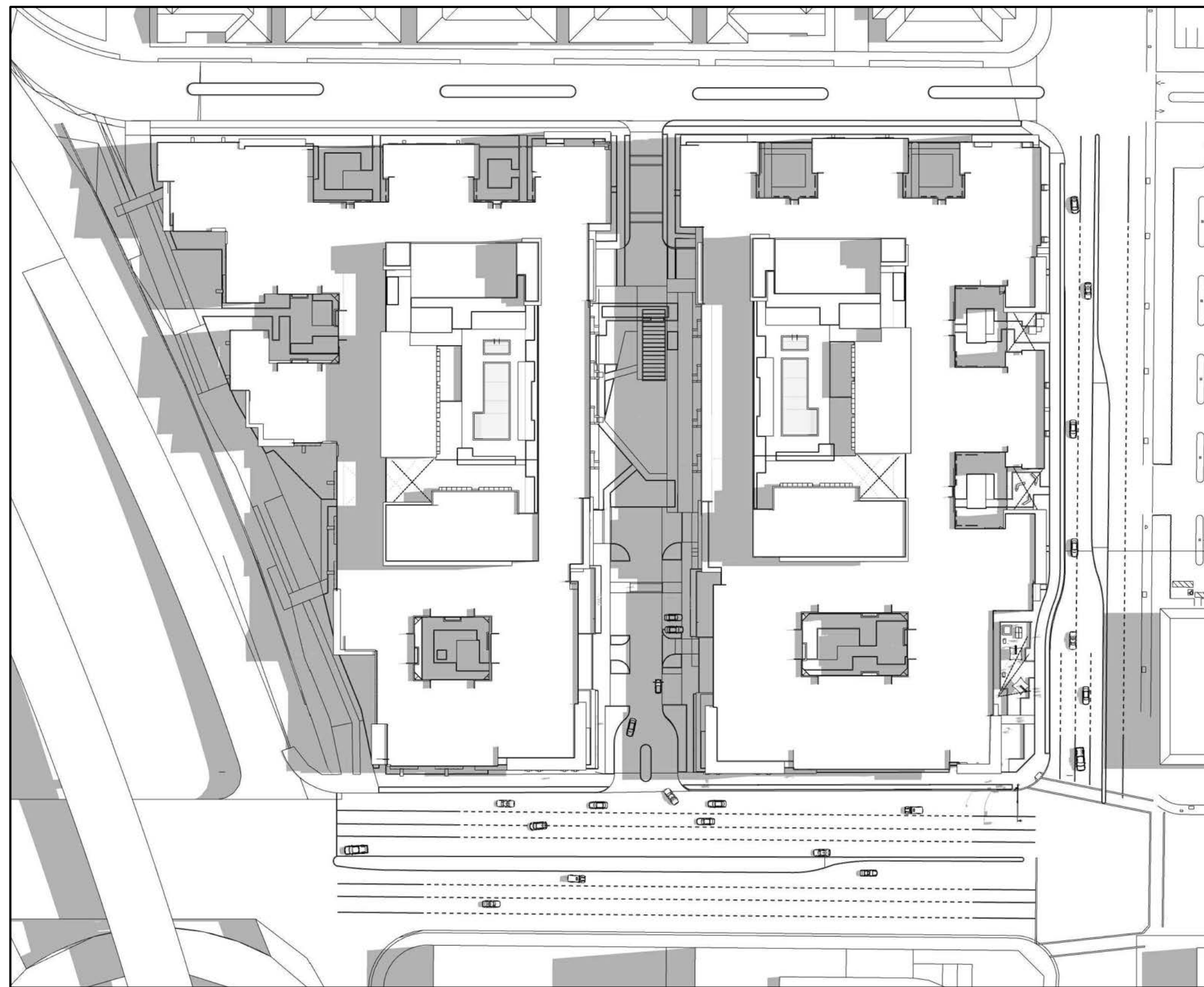
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

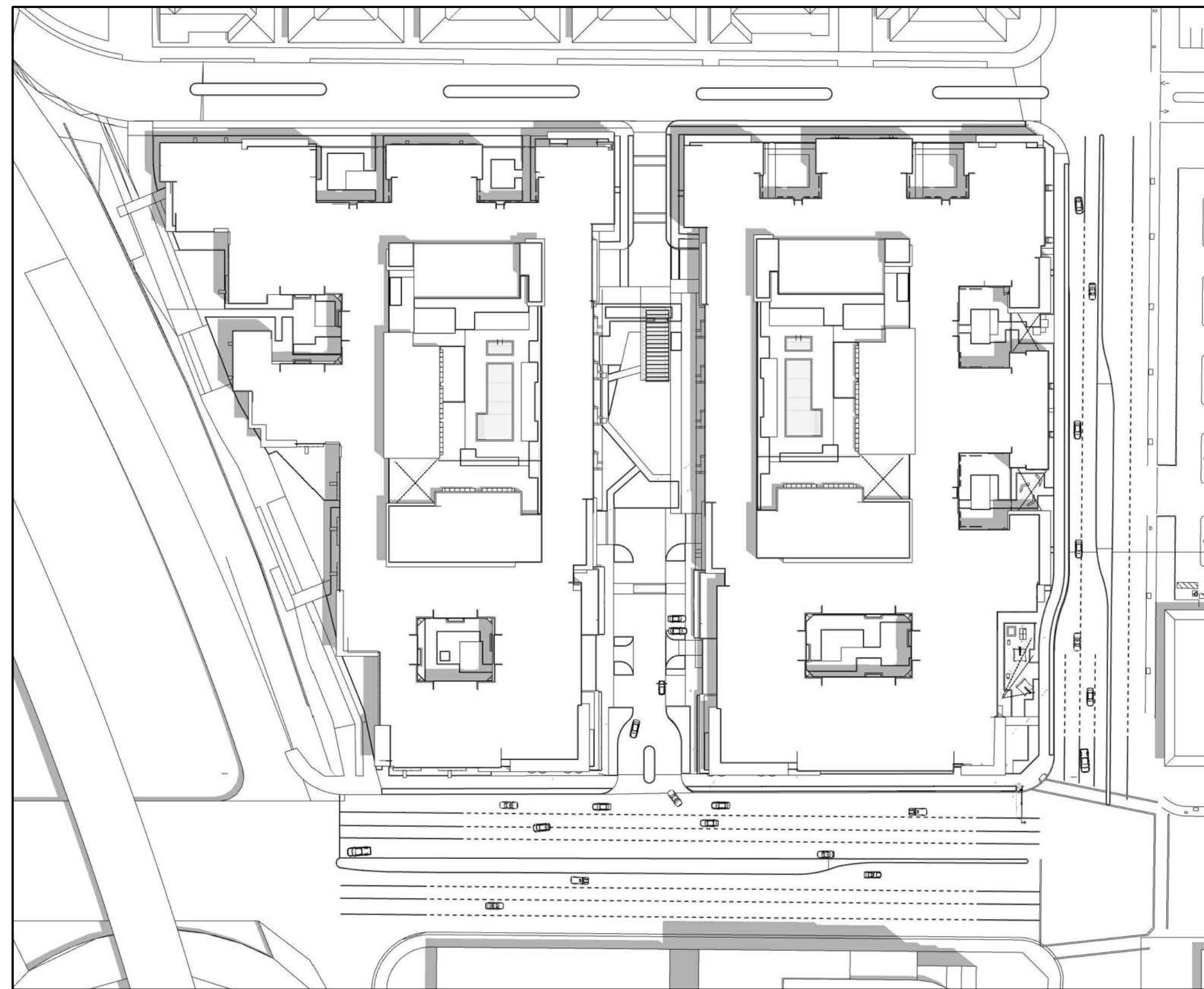


OPEN SPACE EXHIBIT

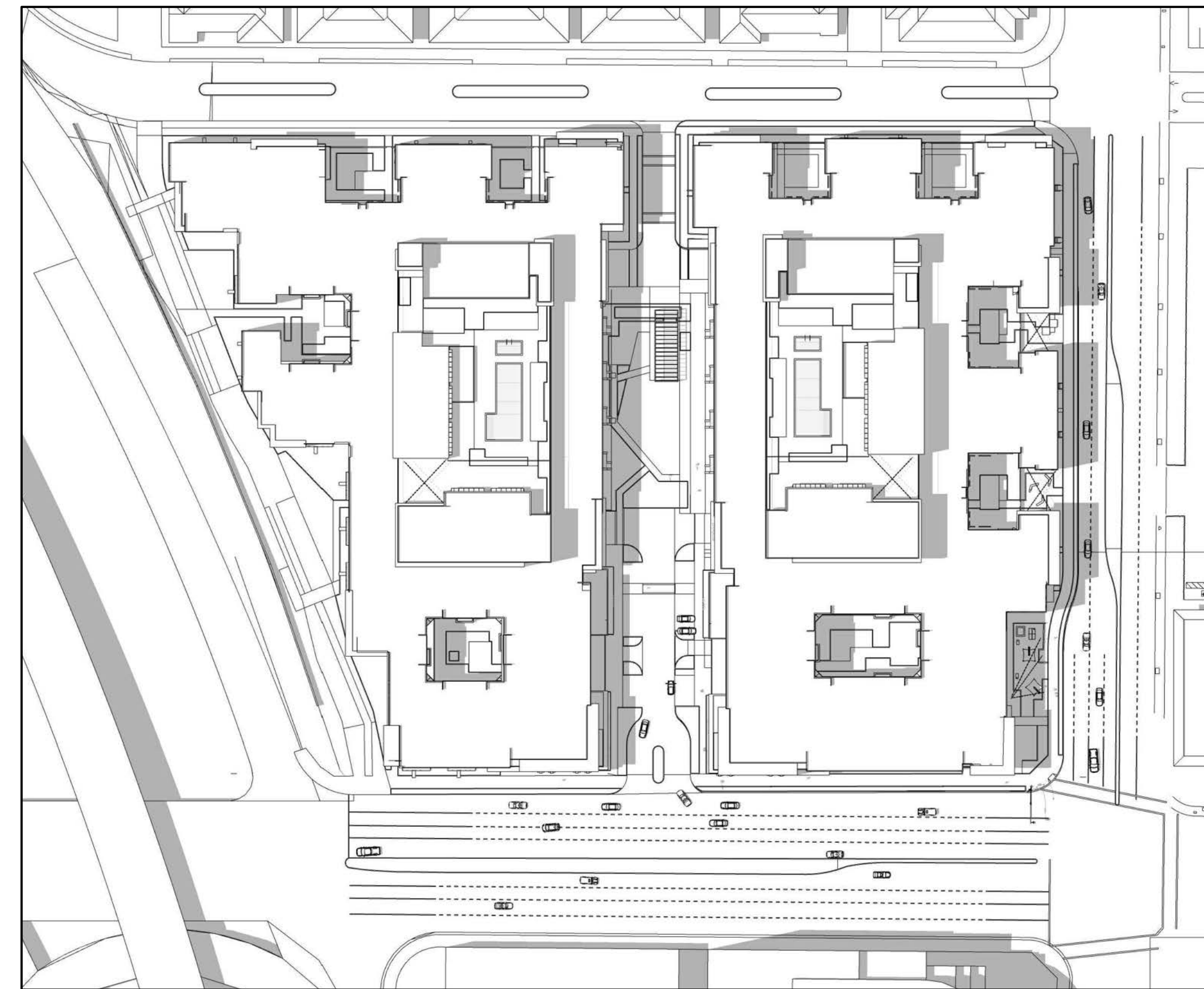
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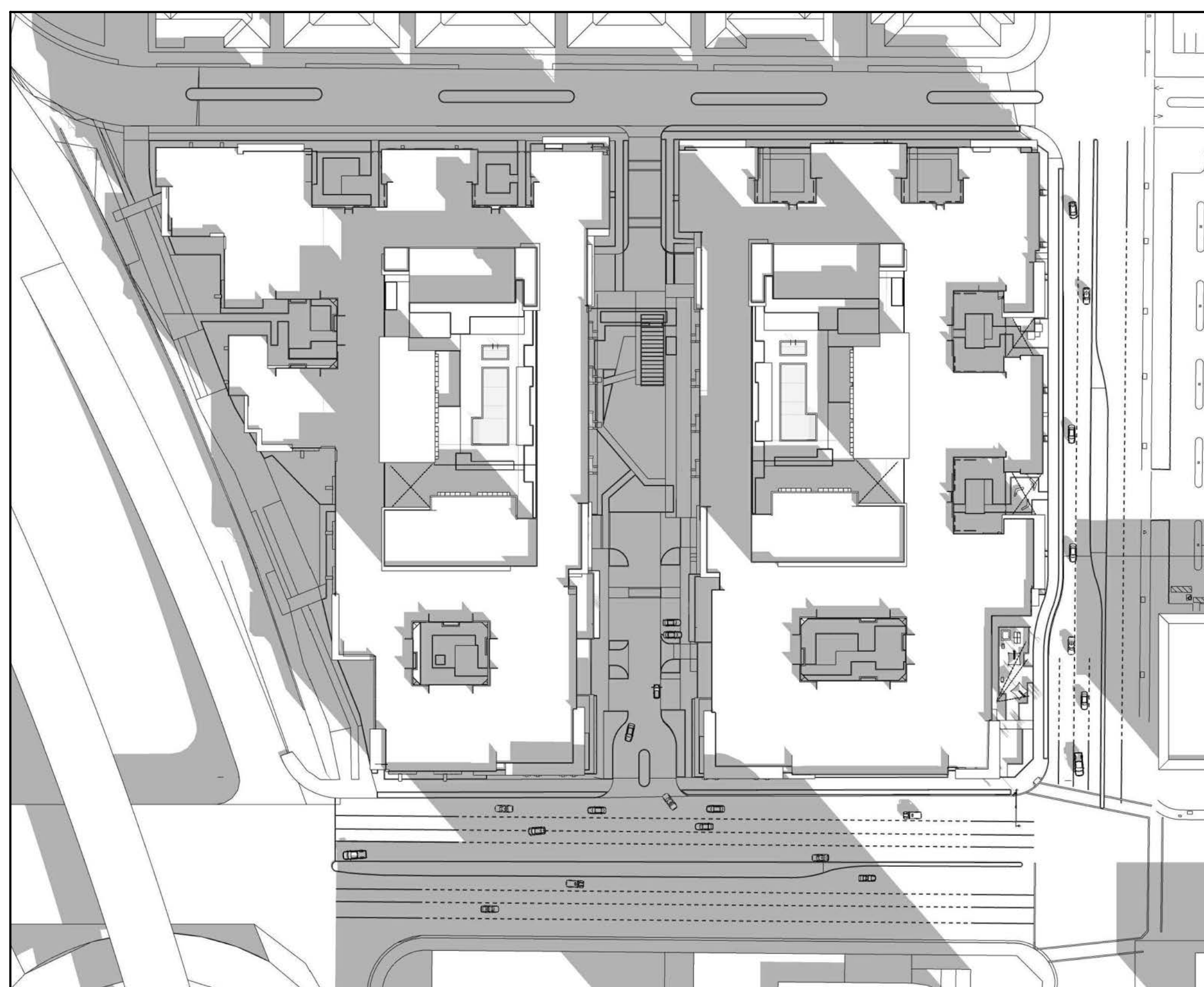
Summer Solstice (June 20th) - 9:00am



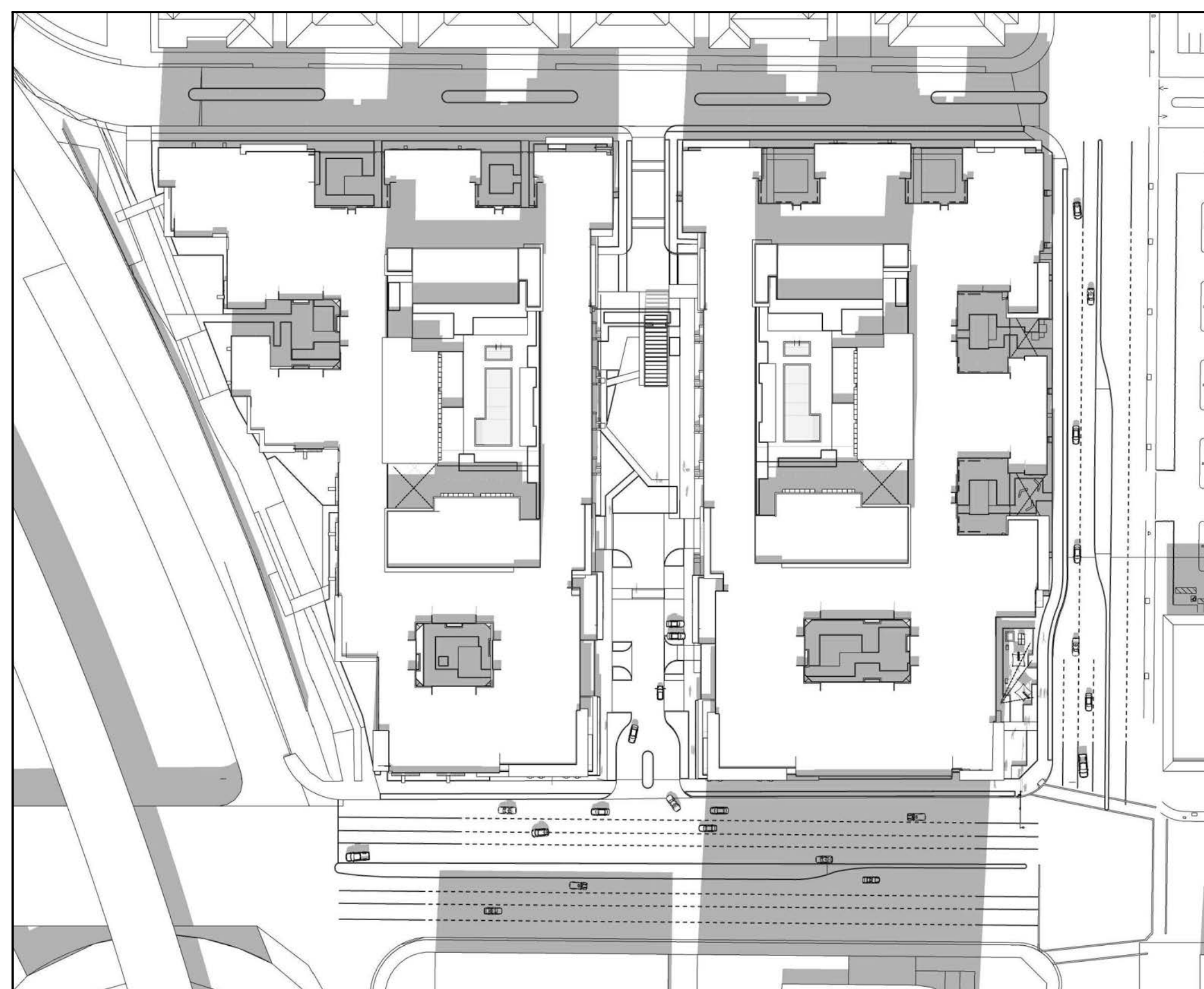
Summer Solstice (June 20th) - 12:00pm



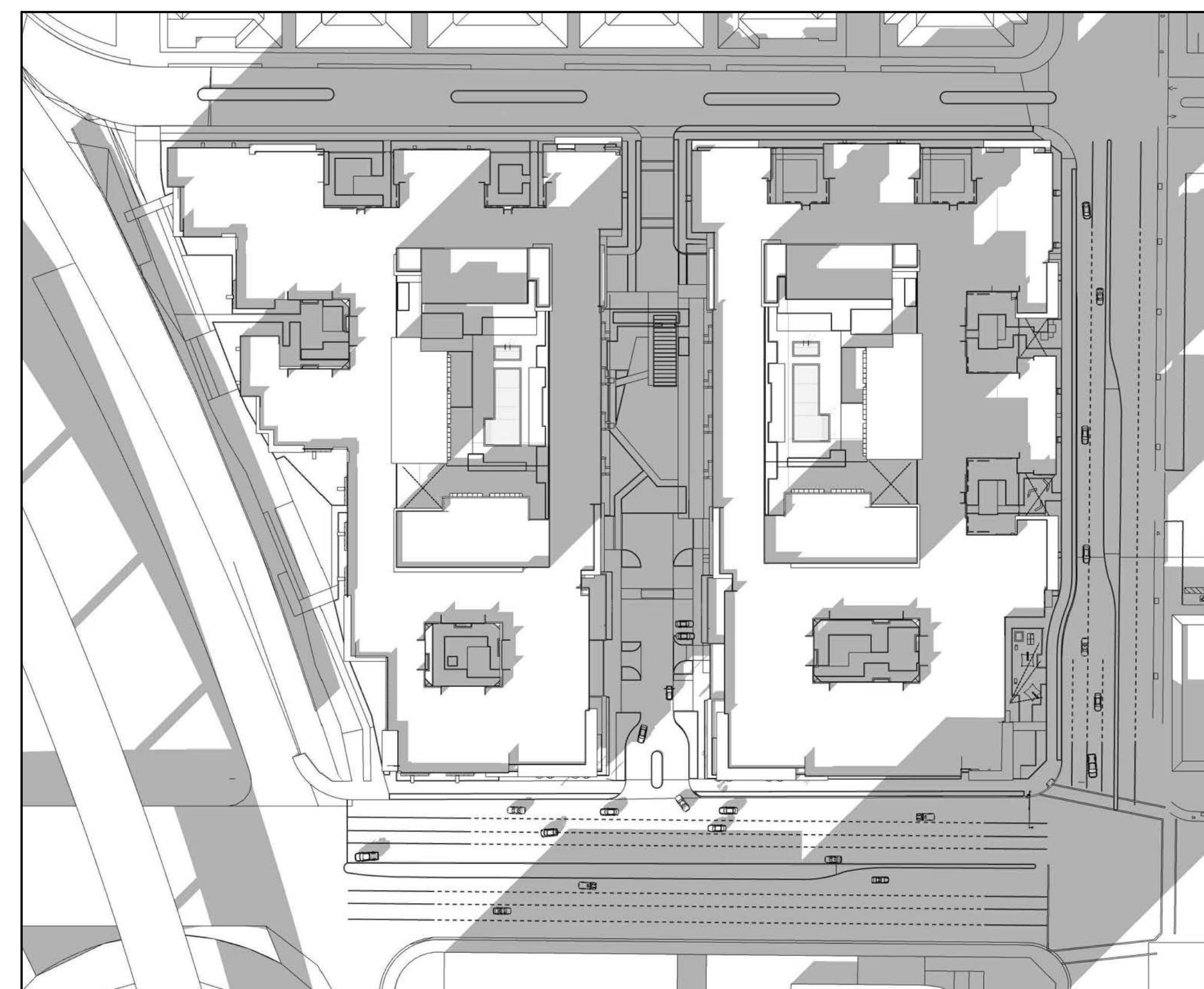
Summer Solstice (June 20th) - 3:00pm



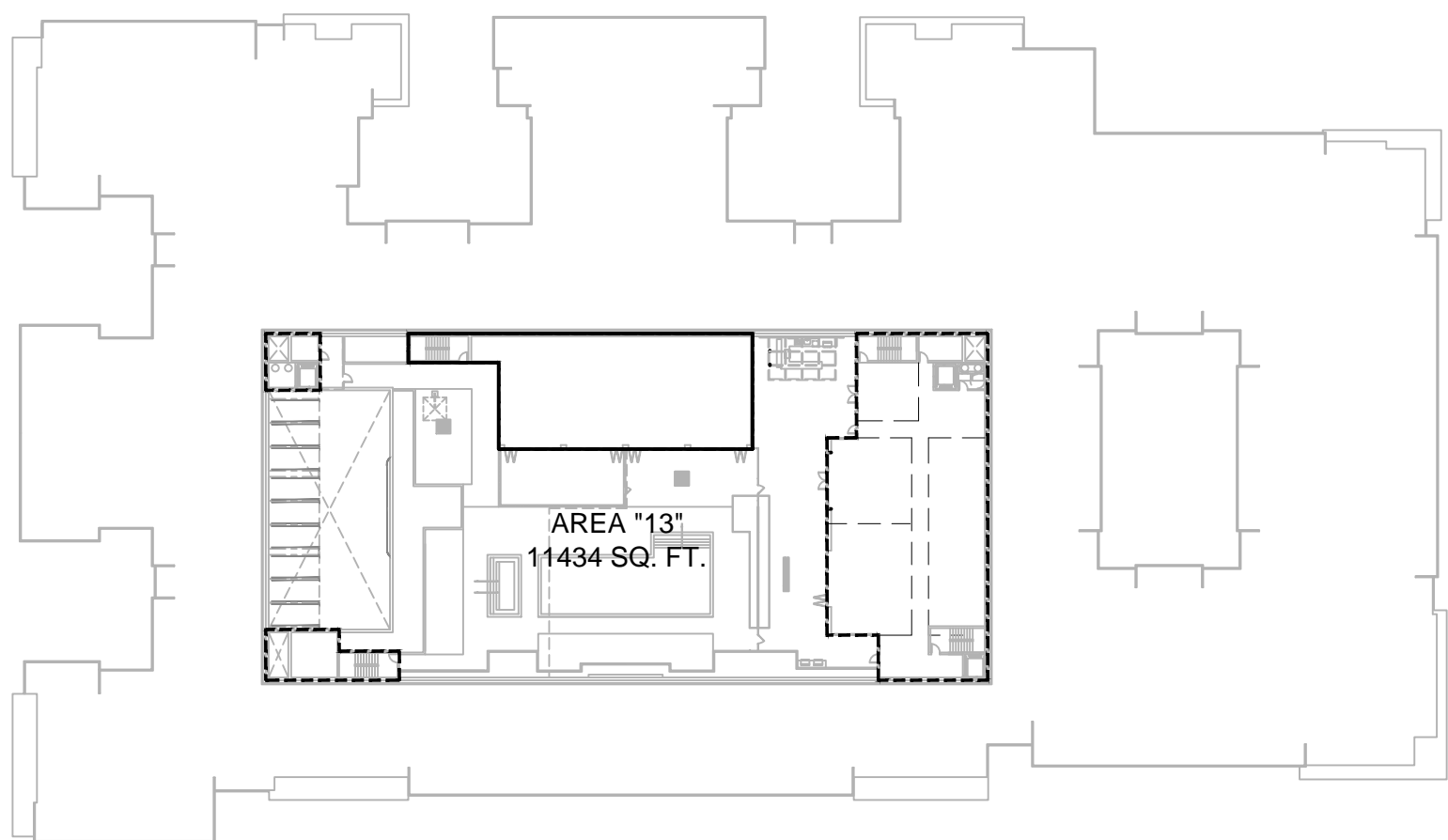
Winter Solstice (December 21st) - 9:00am



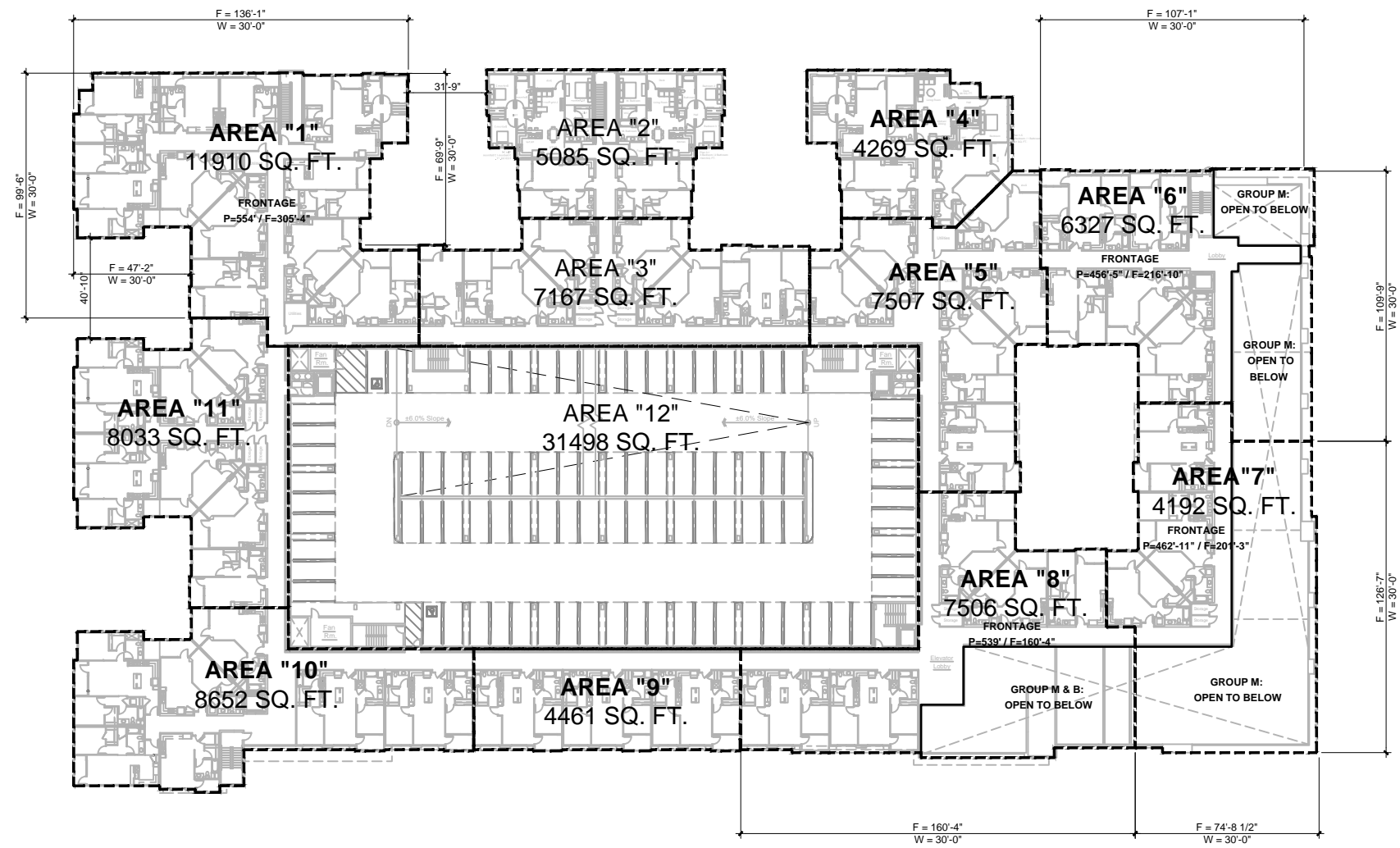
Winter Solstice (December 21st) - 12:00pm



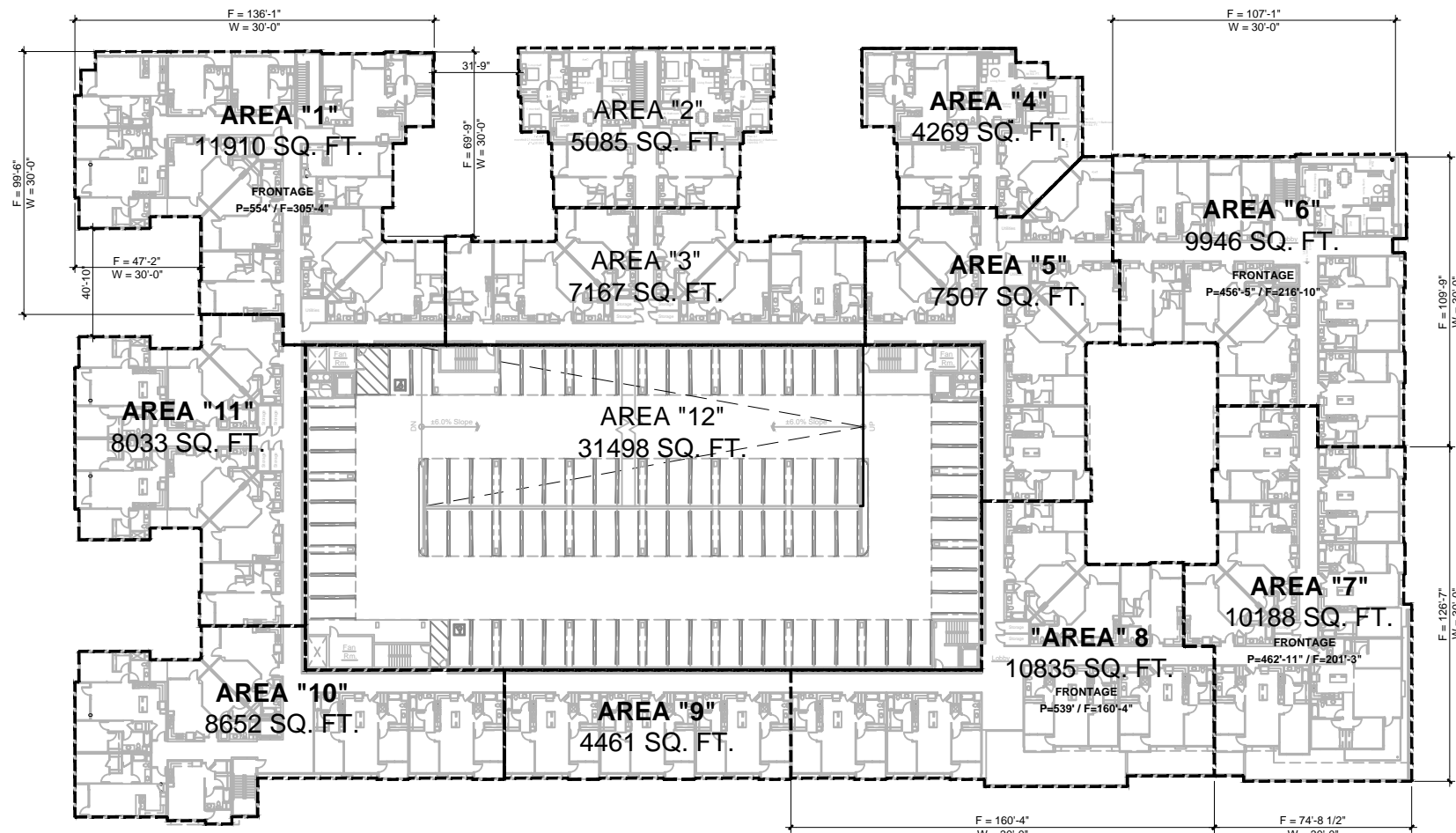
Winter Solstice (December 21st) - 3:00pm



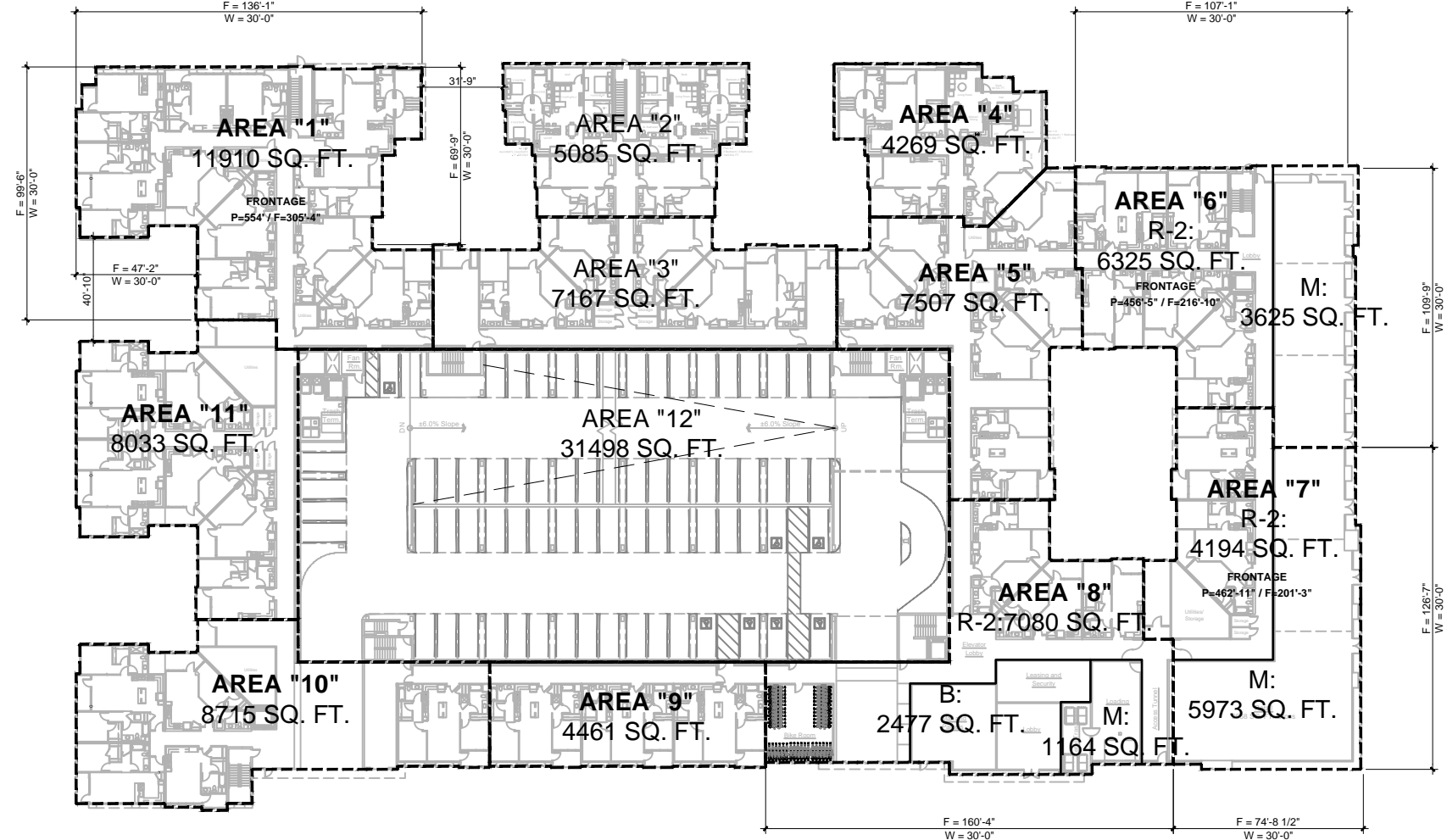
FIRE AREA COMPLIANCE PLAN - LEVEL 8



FIRE AREA COMPLIANCE PLAN - LEVEL 2



FIRE AREA COMPLIANCE PLAN - LEVEL 3 THRU 5



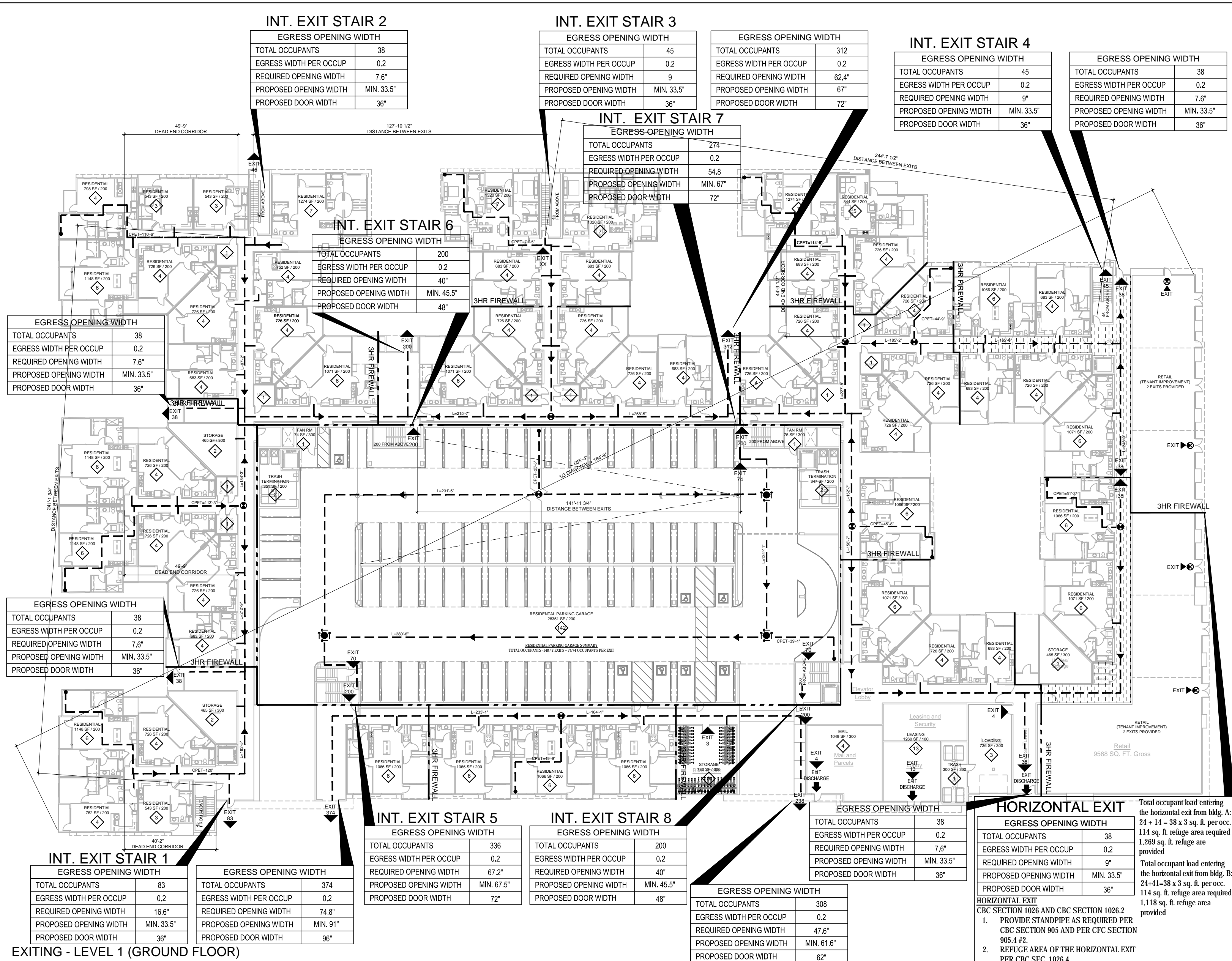
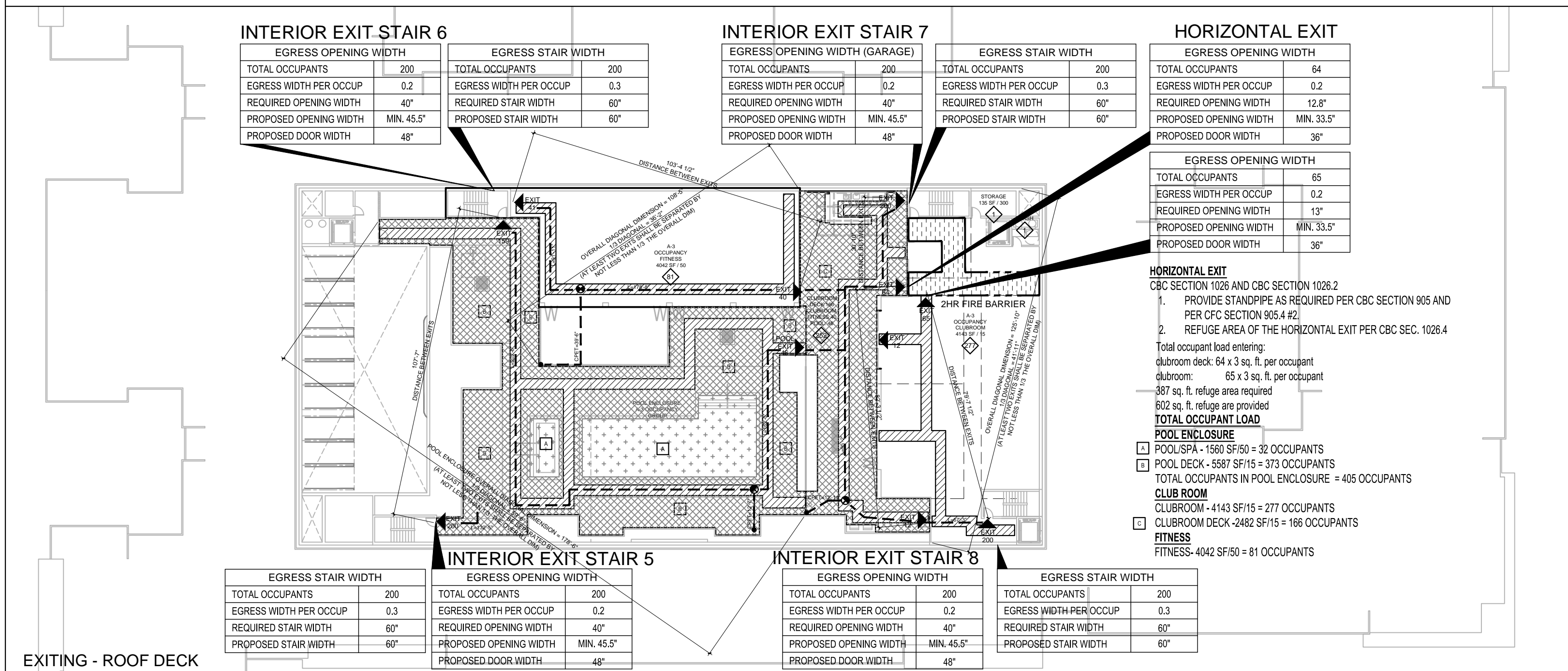
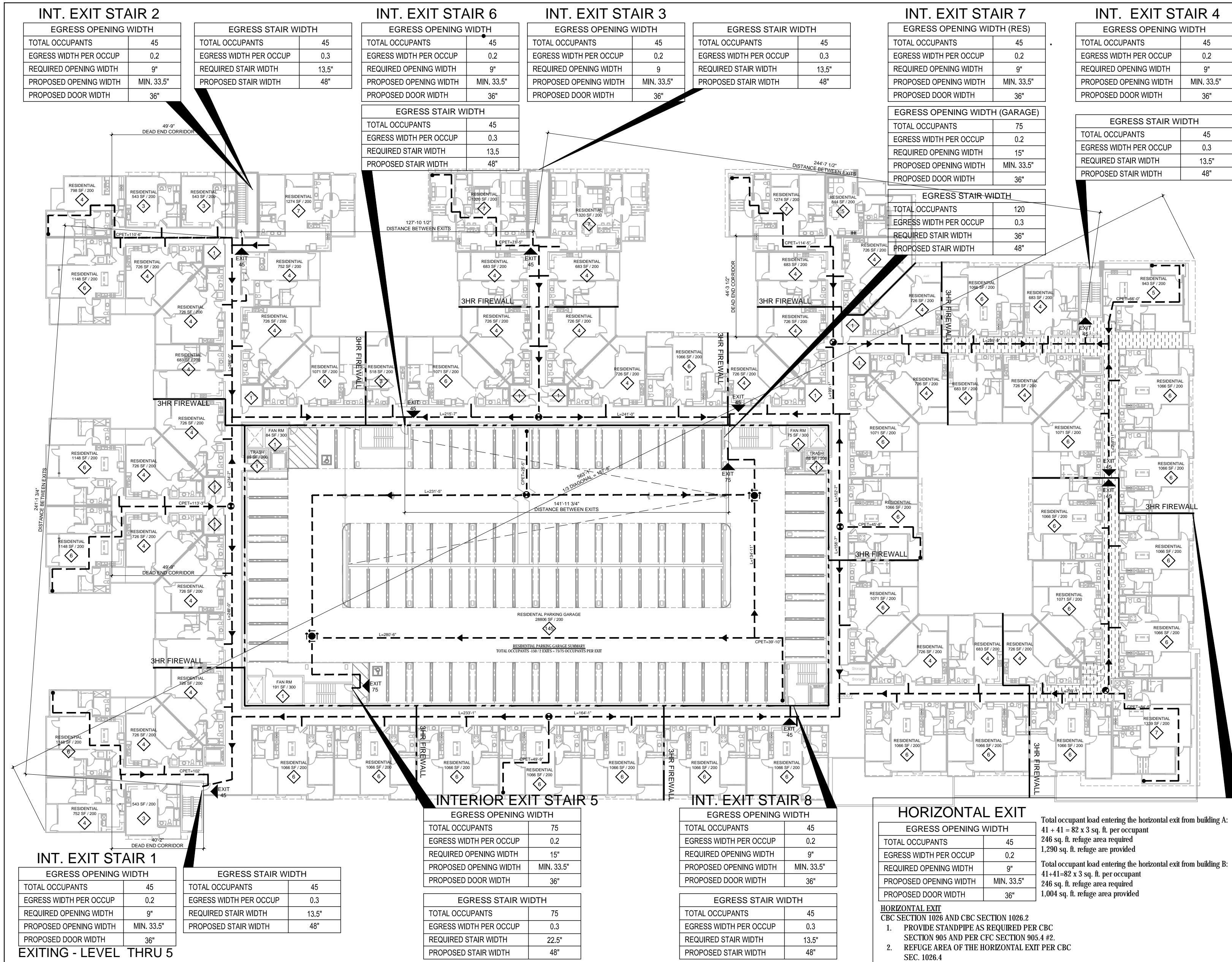
FIRE AREA COMPLIANCE PLAN - LEVEL 1

ALLOWABLE BUILDING AREA ANALYSIS																						ACTUAL BUILDING AREA (GROSS)	SUM OF RATIO FOR SEPARATED MIXED OCCUPANCIES												
AREA	OCCUPANCY CLASSIFICATION (CBC 302)	MIXED USE & OCCUPANCY (CBC 508)	CONSTRUCTION TYPE	BASE ALLOWABLE AREA (SF) CBC TABLE 506.2	FRONTAGE INCREASE	FRONTAGE AREA	AREA INCREASE	HEIGHT AND STORY INCREASE	ALLOWABLE AREA PER STORY (SF) ("Aa") CBC 506.2.1 Aa = (N x I)	MULTI-STORY INCREASE PER CBC 506.2.3 (X2)	TOTAL ALLOWABLE BUILDING AREA	LEVEL B1	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	LEVEL 7	LEVEL 8		MIXED OCCUPANCY BUILDING CBC 506.2.4	OCCUPANCY	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	SUM OF RATIOS (≤2)						
PARKING GARAGE																																			
FIRE AREA "12"	S-2	NONSEPARATED	TYPE IA	UL	NOT TAKEN	0	N/A	N/A	UL		UL	22827 SQ. FT.	31498 SQ. FT.	31498 SQ. FT.	31498 SQ. FT.	31498 SQ. FT.	31498 SQ. FT.	31498 SQ. FT.	31498 SQ. FT.	36632 SQ. FT.		248249 SQ. FT.													
FIRE AREA "13"	A-3	NONSEPARATED	TYPE IA	UL	NOT TAKEN	0	N/A	N/A	UL		UL									11434 SQ. FT.	11434 SQ. FT.														
SINGLE OCCUPANCY BUILDING																																			
FIRE AREA "1"	R-2		TYPE IIIA	24000	IF=205.33/554-0.25/30/30 IF=0.30/1 IF=0.30	0.30	NOT USED	USED	31200	X ²	62400 SF		11910 SQ. FT.	1910 SQ. FT.	11910 SQ. FT.	1910 SQ. FT.	11910 SQ. FT.					59549 SQ. FT.		NOTE											
FIRE AREA "2"	R-2		TYPE IIIA	24000	NOT TAKEN	0	NOT USED	USED	24000	X ²	48000 SF		5085 SQ. FT.	5085 SQ. FT.	5085 SQ. FT.	5085 SQ. FT.	5085 SQ. FT.					25423 SQ. FT.		FIRE AREA 1 THRU 5 & 9 THRU 12 ARE SINGLE OCCUPANCY, MULTISTORY BUILDING.											
FIRE AREA "3"	R-2		TYPE IIIA	24000	NOT TAKEN	0	NOT USED	USED	24000	X ²	48000 SF		7167 SQ. FT.	7167 SQ. FT.	7167 SQ. FT.	7167 SQ. FT.	7167 SQ. FT.					35836 SQ. FT.		FIRE AREA 6 THRU 8 ARE MIXED OCCUPANCY, MULTISTORY BUILDINGS. THE SUM OF RATIO FOR SEPARATED MIXED OCCUPANCIES ARE CALCULATED BELOW:											
FIRE AREA "4"	R-2		TYPE IIIA	24000	NOT TAKEN	0	NOT USED	USED	24000	X ²	48000 SF		4269 SQ. FT.	4269 SQ. FT.	4269 SQ. FT.	4269 SQ. FT.	4269 SQ. FT.					21344 SQ. FT.		FIRE AREA 6 - 1st FLOOR Aa = (6,325/25,200) + (5,025/59,570) < 1.0 Aa = (0.22 + 0.06) < 1.0 Aa = 0.28 < 1.0 (COMPLIES)											
FIRE AREA "5"	R-2		TYPE IIIA	24000	NOT TAKEN	0	NOT USED	USED	24000	X ²	48000 SF		7507 SQ. FT.	7507 SQ. FT.	7507 SQ. FT.	7507 SQ. FT.	7507 SQ. FT.					37536 SQ. FT.		FIRE AREA 7 - 1st FLOOR Aa = (15,114/26,300) + (5,973/58,830) < 1.0 Aa = (0.22 + 0.10) < 1.0 Aa = 0.25 < 1.0 (COMPLIES)											
FIRE AREA "9"	R-2		TYPE IIIA	24000	NOT TAKEN	0	NOT USED	USED	24000	X ²	48000 SF		4461 SQ. FT.	4461 SQ. FT.	4461 SQ. FT.	4461 SQ. FT.	4461 SQ. FT.					22307 SQ. FT.		FIRE AREA 8 - 1st FLOOR Aa = (7,080/25,200) + (1,164/56,425) + (2,477/58,645) < 1.0 Aa = (0.28 + 0.02+0.03) < 1.0 Aa = 0.33 < 1.0 (COMPLIES)											
FIRE AREA "10"	R-2		TYPE IIIA	24000	NOT TAKEN	0	NOT USED	USED	24000	X ²	48000 SF		8715 SQ. FT.	8652 SQ. FT.	8652 SQ. FT.	8652 SQ. FT.	8652 SQ. FT.					43325 SQ. FT.		MIXED OCCUPANCY AREA - TOTAL BUILDING AREA CALCULATION Aa = (Actual Area (1st Flr) / Allowable Area (1st Flr)) + (Actual Area (2nd Flr) / Allowable Area (2nd Flr)) + (Actual Area (3rd Flr) / Allowable Area (3rd Flr)) + (Actual Area (4th Flr) / Allowable Area (4th Flr)) + (Actual Area (5th Flr) / Allowable Area (5th Flr)) < 2.0 THE TABLE BELOW ILLUSTRATES COMPLIES FOR MIXED OCCUPANCY, MULTISTORY BUILDINGS PER CBC 506.2.4 - SUM OF THE RATIOS <2.0											
FIRE AREA "11"	R-2		TYPE IIIA	24000	NOT TAKEN	0	NOT USED	USED	24000	X ²	48000 SF		8033 SQ. FT.	8033 SQ. FT.	8033 SQ. FT.	8033 SQ. FT.	8033 SQ. FT.					40166 SQ. FT.													
MIXED OCCUPANCY BUILDING																																			
FIRE AREA "6"	R-2	SEPARATED	TYPE IIIA	24000	IF=216.83/456.42/0.25/30/30 IF=0.22/1 IF=0.22	0.22	NOT USED	USED	29280	NOT APPLICABLE	29280 SF		6305 SQ. FT.	6307 SQ. FT.	9946 SQ. FT.	9946 SQ. FT.	9946 SQ. FT.					42480 SQ. FT.		FIRE AREA "6"	R-2	0.22 SQ. FT.	0.22 SQ. FT.	0.34 SQ. FT.	0.34 SQ. FT.	0.34 SQ. FT.					
	M			55500		0.22	NOT USED	NOT USED	59570		59570 SF	3625 SQ. FT.											M		0.06 SQ. FT.	0.22 SQ. FT.	0.34 SQ. FT.	0.34 SQ. FT.	0.34 SQ. FT.		1.51 SQ. FT.				
FIRE AREA "7"	R-2	SEPARATED	TYPE IIIA	24000	IF=201.25/462.91/0.25/30/30 IF=0.18/1 IF=0.18	0.18	NOT USED	USED	28320	NOT APPLICABLE	28320 SF		4194 SQ. FT.	4192 SQ. FT.	9113 SQ. FT.	9113 SQ. FT.	9113 SQ. FT.					35724 SQ. FT.		FIRE AREA "7"	R-2	0.15 SQ. FT.	0.15 SQ. FT.	0.32 SQ. FT.	0.32 SQ. FT.	0.32 SQ. FT.					
	M			55500		0.18	NOT USED	NOT USED	58830		58830 SF	5973 SQ. FT.											M		0.10 SQ. FT.	0.15 SQ. FT.	0.32 SQ. FT.	0.32 SQ. FT.	0.32 SQ. FT.		1.36 SQ. FT.				
FIRE AREA "8"	R-2	SEPARATED	TYPE IIIA	24000	IF=160.33/539-0.25/30/30 IF=0.05/1 IF=0.05	0.05	NOT USED	USED	25000		25000 SF		7080 SQ. FT.	7506 SQ. FT.	9618 SQ. FT.	9618 SQ. FT.	9618 SQ. FT.					43439 SQ. FT.		FIRE AREA "8"	R-2	0.28 SQ. FT.	0.30 SQ. FT.	0.38 SQ. FT.	0.38 SQ. FT.	0.38 SQ. FT.					
	M			55500		0.05	NOT USED	NOT USED	56425	NOT APPLICABLE	56425 SF	1164 SQ. FT.											M		0.02										
	B			85500		0.05	NOT USED	NOT USED	86925		86925 SF		2477 SQ. FT.									2477 SQ. FT.			B	0.03 SQ. FT.									
													119484 SQ. FT.	106609 SQ. FT.	117259 SQ. FT.	117259 SQ. FT.	117259 SQ. FT.																		
													TOTAL TYPE IIA BUILDING AREA 259663 SQ. FT.										TOTAL TYPE IIIA BUILDING AREA 4200752598176 SQ. FT.										680062 SQ. FT.		

CODE ANALYSIS DATA					
1. USE AND OCCUPANCY CLASSIFICATION (CBC CHAPTER 3)					
OCCUPANCY CLASSIFICATION (CBC 302)	R-2	S-2	B	A-3	M
FUNCTION OF SPACE	APARTMENT HOUSE	PARKING GARAGE	LEASING OFFICE /MAILROOM	ASSEMBLY (ROOF DECK)	RETAIL
EXTINGUISHING REQUIREMENTS (CBC 503.10)	SEE SHEETS xxxx				
AUTOMATIC SPRINKLER SYSTEM	NFPA 13 THROUGHOUT PER CBC 903.3.1.1				
2. BUILDING HEIGHT AND AREAS (CBC CHAPTER 5)					
TYPE OF CONSTRUCTION	OCCURS IN TYPE IIA	OCCURS IN TYPE IA	OCCURS IN TYPE IIA	OCCURS IN TYPE IA	OCCURS IN TYPE IIA
ALLOWABLE BUILDING AREA (CBC TABLE 506.2)	SEE SHEET A-111				
ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE (CBC 506.3)	85' in Type IIA without area increase	UL	85' in Type IIA without area increase	UL in Type IA without area increase	85' in Type IIA without area increase
PROPOSED BUILDING HEIGHT ABOVE GRADE PLANE					
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (CBC 506.4)	5 STORIES in Type IIA without area increase	UL	6 STORIES in Type IIA	UL in Type IA without area increase	5 STORIES in Type IIA
PROPOSED NUMBER OF STORIES ABOVE GRADE PLANE	5 STORIES in Type IIA	7 STORIES ABOVE GRADE 1 STORY BELOW GRADE	1 STORY	1 STORY	1 STORY
NONSEPARATED OCCUPANCIES OCCURS IN TYPE IA (CBC 508.3)	UNLIMITED				
SEPARATION OF OCCUPANCIES (CBC TABLE 508.4)	R-2 to M: 1-HR R-2 to B: 1-HR	S-2 to A-3 NONE REQUIRED NON-SEPARATED OCCUPANCIES	B to M: 1-HR R-2 to B: 1-HR	S-2 to A-3 NONE REQUIRED NON-SEPARATED OCCUPANCIES	M to B: 1-HR M to R-2: 1-HR

3. TYPE OF CONSTRUCTION AND FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (CBC CHAPTER 6)		
TYPE OF CONSTRUCTION	TYPE IA	TYPE IIA
PR. MARY STRUCTURAL FRAME (CBC 602.2.2 AND 602.2.4) A. COLUIMS REQUIRE FIRE RESISTANCE RATED PROTECT ON ON A 1 SIDES FOR THE FULL COLUMN HEIGHT INCLUDING CONNECTIONS. B. PRIMARY STRUCTURAL FRAME MEMBERS OTHER THAN COLUMNS: 1-HR SUPPORT ABOVE 1-4R TYPICAL TOPS ON FLOOR AND ROOF OR SUPPORT ABOVE BEARING WALL OR A NONRATED BEARING WALL NOT LESS THAN TWO STORIES SHALL HAVE FIRE RESISTANCE PROTECTION ON ALL SIDES FOR THE FULL HEIGHT INCLUDING CONNECTIONS. BEARING STRUCTURAL MEMBERS LOCATED WITHIN THE INTERIOR WALLS OF EXISTING BUILDINGS SHALL BE PROTECTED BY THE REQUIRED FIRE RESISTANCE RATED PROTECTION BASED ON BUILDING ELEMENTS RATING FOR EXTERIOR BEARING WALL OR EXTERIOR WALL PROTECTION BASED ON FAST SEPARATION DISTANCE.	3 (NC)	1
BEARING WALLS-EXTERIOR	3	2 (1R)
BEARING WALLS-IN-TERIOR	3 (NC)	
NON-BEARING WALLS AND PARTITIONS- EXTERIOR (CBC TABLE 603)		1
NON-BEARING WALLS AND PARTITIONS- INTERIOR	0 (1Y OR FR1)	
FLOOR CONSTRUCTION AND ASSOCIATE SECONDARY MEMBERS	2	1
ROOF CONSTRUCTION AND ASSOCIATE SECONDARY MEMBERS	1-1/2	1

4. FIRE AND SMOKE PROTECTION FEATURES (CBC CHAPTER 7) - IN TYPE IIA	
FIRE WALLS (CBC 703.10)	3-HR
FIRE BARRIERS (CBC 703.10)	2-HR
INTERIOR EXIT STAIRWAYS (CBC 703.2.2)	2-HR
SMALL ENCLOSURE (CBC 703.10)	2-HR
EXIT PASSAGEWAY (CBC 703.2.2.2)	2-HR
FIRE PARTITIONS (SEPARATION WALLS FOR GROUP A, B, & C OCCUPANCIES) (CBC 703.10)	1-HR
HORIZONTAL ASSEMBLIES (CBC 703.10)	1-HR



ACCESSIBLE MEANS OF EGRESS

THE ACCESSIBLE MEANS OF EGRESS SYSTEM CONSISTS OF THE FOLLOWING:

- ACCESSIBLE ROUTE** - SAME AS PATH OF EGRESS (INDICATED IN LEGEND ABOVE AND SHOWN BY SYMBOL: **-----**)
- ELEVATOR IS NOT REQUIRED** AS A PART OF ACCESSIBLE MEANS OF EGRESS PER CBC SECTION 1009.2.1, EXCEPTION 1 (A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM PER CBC SECTION 903.3.1.1 IS PROVIDED WITH A HORIZONTAL EXIT).
- INTERIOR STAIRWAYS**: INTERIOR STAIRWAYS SHALL COMPLY WITH 1009.3 EXCEPTIONS 2 & 5.

AN AREA OF REFUGE IS NOT REQUIRED CBC SECTION 1009.6

AREAS CALCULATED

S-2 EXITING REQUIREMENTS:

- BASED ON CBC TABLE 1004.1.2: (200 GROSS SF) PER OCCUPANT
- TRAVEL DISTANCE PER CBC TABLE 1017.2 400 FEET w/ FIRE SPRINKLERS PER CBC 903.3.1.1
- COMMON PATH OF EGRESS TRAVEL PER CBC TABLE 1006.2.1: S-2 = 100 FEET w/ FIRE SPRINKLERS PER CBC 903.3.1.1

R-2 EXITING REQUIREMENTS:

- BASED ON CBC TABLE 1004.1.2: (200 GROSS SF) PER OCCUPANT
- TRAVEL DISTANCE PER CBC TABLE 1017.2 250 FEET w/ FIRE SPRINKLERS PER CBC 903.3.1.1
- COMMON PATH OF EGRESS TRAVEL PER CBC TABLE 1006.2.1: R-2 = 125 FEET w/ FIRE SPRINKLERS PER CBC 903.3.1.1

DISTANCE BETWEEN EXITS SHALL COMPLY WITH CBC 1007.1.1

EXIT PLAN LEGEND

1. OCCUPANT LOAD OF SPACE

EXIT AND OCCUPANT LOAD (XX = OCCUPANT LOAD)

- PROVIDE TACTILE AND BRAILLE "EXIT", "EXIT ROUTE", AND "TO EXIT" SIGN. REFER TO 23 & 27/AD-31.1 FOR PLACEMENT LOCATION INFORMATION.
- IN ADDITION, IN GROUP A OCCUPANCIES, PROVIDE A SIGN WITH THE OCCUPANT LOAD AS INDICATED IN A CONSPICUOUS PLACE NEAR MAIN EXIT OR EXIT-ACCESS DOORWAY IN THE ROOM.

EXIT DISCHARGE

CPET = XX'-X" COMMON PATH OF EGRESS TRAVEL

L = XX'-X" EXIT ACCESS TRAVEL DISTANCE

PATH OF EGRESS AND COMMON PATH OF EGRESS TRAVEL (AND ACCESSIBLE MEANS OF EGRESS)

AREA INCLUDED IN COURTYARD OCCUPANT LOAD CALCULATION. ALL AREAS NOT INCLUDED ARE PLANTERS AND CIRCULATION.

AREA OF REFUGE PER CBC 1026.4

TYPICAL EGRESS DOOR WIDTH

REQUIRED DOOR AND OTHER EGRESS COMPONENTS WIDTH (CBC 1005.3.2)

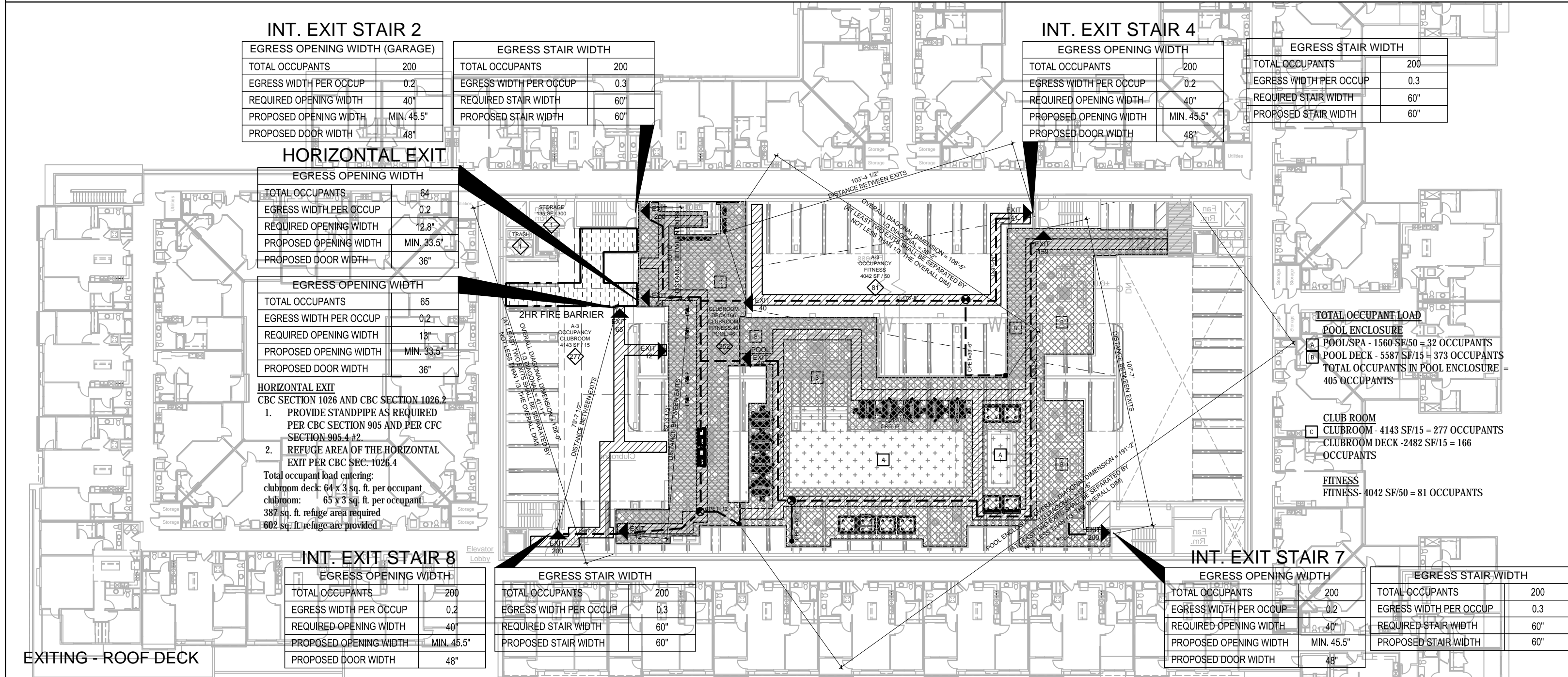
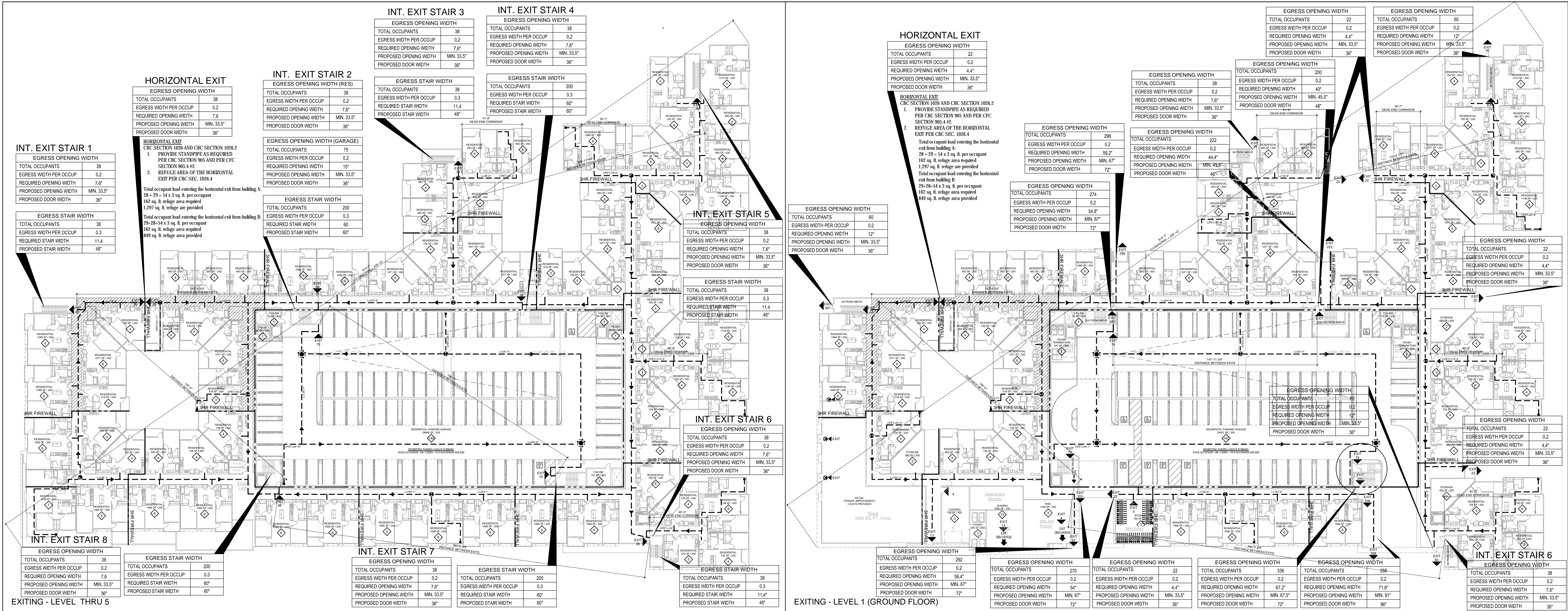
OCCUPANT LOAD x 0.2' = REQ'D WIDTH OF EGRESS COMPONENTS

TYPICAL EXIT STAIR WIDTH

REQUIRED STAIR WIDTH (CBC 1005.3.1)

OCCUPANT LOAD x 0.3' = (REQ'D STAIR WIDTH)

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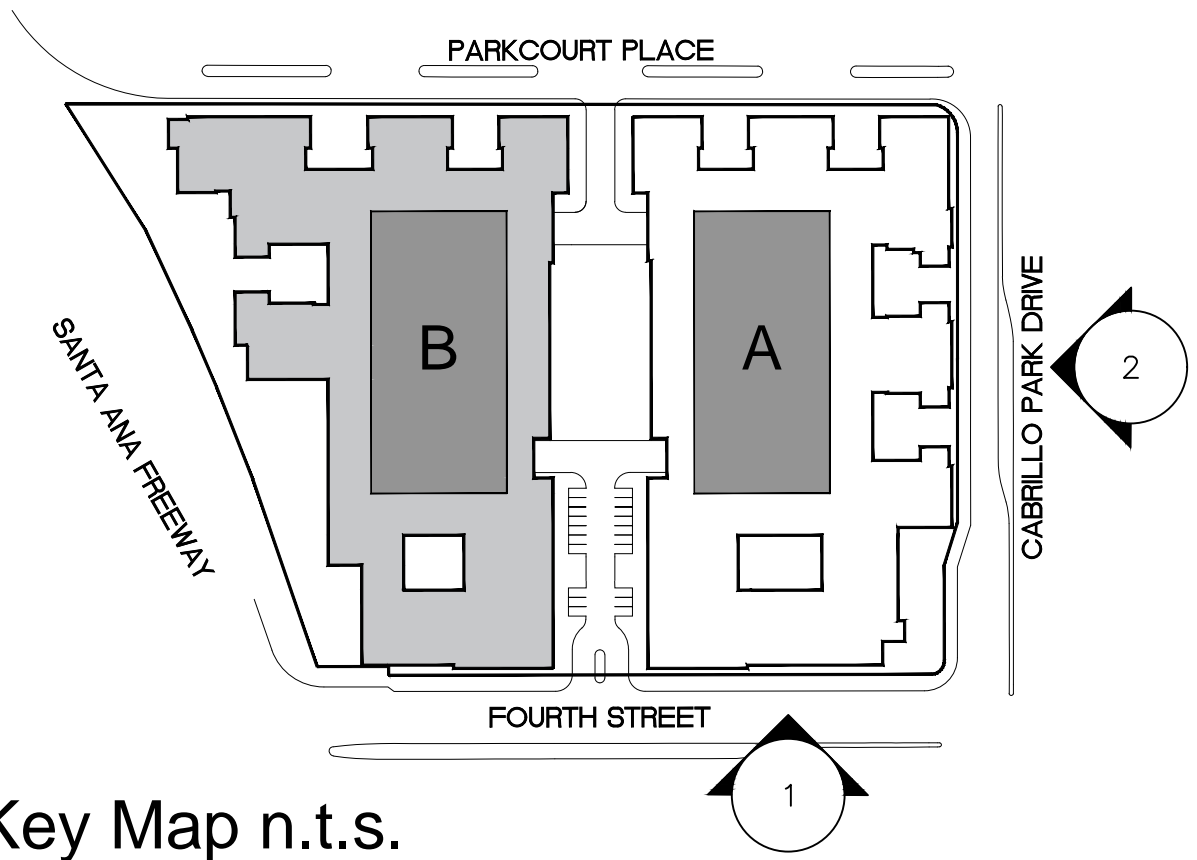
EXITING - LEVEL 1 (GROUND FLOOR)

ACCESSIBLE MEANS OF EGRESS		EXIT PLAN LEGEND	
THE ACCESSIBLE MEANS OF EGRESS SYSTEM CONSISTS OF THE FOLLOWING:		1. OCCUPANT LOAD OF SPACE	
		EXIT AND OCCUPANT LOAD (XX = OCCUPANT LOAD)	
A. ACCESSIBLE ROUTE- SAME AS PATH OF EGRESS (INDICATED IN LEGEND ABOVE AND SHOWN BY SYMBOL: ■■■■■■■■■■)		1. PROVIDE TACTILE AND BRAILLE "EXIT", "EXIT ROUTE", AND "TO EXIT" SIGN. REFER TO 23 & 27/AD-31.1 FOR PLACEMENT LOCATION INFORMATION.	
		2. IN ADDITION, IN GROUP A OCCUPANCIES, PROVIDE A SIGN WITH THE OCCUPANT LOAD AS INDICATED IN A CONSPICUOUS PLACE NEAR MAIN EXIT OR EXIT-ACCESS DOORWAY IN THE ROOM.	
B. ELEVATOR IS NOT REQUIRED AS A PART OF ACCESSIBLE MEANS OF EGRESS PER CBC SECTION 1009.2.1, EXCEPTION 1 (A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM PER CBC SECTION 903.3.1.1 IS PROVIDED WITH A HORIZONTAL EXIT).		EXIT DISCHARGE	
		CPET = XX'-X" COMMON PATH OF EGRESS TRAVEL	
C. INTERIOR STAIRWAYS: INTERIOR STAIRWAYS SHALL COMPLY WITH 1009.3 EXCEPTIONS 2 & 5.		L = XX'-X" EXIT ACCESS TRAVEL DISTANCE	
		PATH OF EGRESS AND COMMON PATH OF EGRESS TRAVEL (AND ACCESSIBLE MEANS OF EGRESS)	
AREAS CALCULATED		AREA INCLUDED IN COURTYARD OCCUPANT LOAD CALCULATION. ALL AREAS NOT INCLUDED ARE PLANTERS AND CIRCULATION.	
		AREA OF REFUGE PER CBC 1026.4	
S-2 EXITING REQUIREMENTS:		TYPICAL EGRESS DOOR WIDTH	
		REQUIRED DOOR AND OTHER EGRESS COMPONENTS WIDTH (CBC 1005.3.2) OCCUPANT LOAD x 0.2' = REQ'D WIDTH OF EGRESS COMPONENTS	
- BASED ON CBC TABLE 1004.1.2: (200 GROSS SF) PER OCCUPANT		TYPICAL EXIT STAIR WIDTH	
		REQUIRED STAIR WIDTH (CBC 1005.3.1) OCCUPANT LOAD x 0.3' = REQ'D STAIR WIDTH	
- TRAVEL DISTANCE PER CBC TABLE 1017.2 400 FEET w/ FIRE SPRINKLERS PER CBC 903.3.1.1			
- COMMON PATH OF EGRESS TRAVEL PER CBC TABLE 1006.2.1: S-2 = 100 FEET w/ FIRE SPRINKLERS PER CBC 903.3.1.1			
R-2 EXITING REQUIREMENTS:			
- BASED ON CBC TABLE 1004.1.2: (200 GROSS SF) PER OCCUPANT			
- TRAVEL DISTANCE PER CBC TABLE 1017.2 250 FEET w/ FIRE SPRINKLERS PER CBC 903.3.1.1			
- COMMON PATH OF EGRESS TRAVEL PER CBC TABLE 1006.2.1: R-2 = 125 FEET w/ FIRE SPRINKLERS PER CBC 903.3.1.1			
DISTANCE BETWEEN EXITS SHALL COMPLY WITH CBC 1007.1.1			

NOTES

Material Legend

- 1. Stucco
- 2. Metal Siding
- 3. Fiber Cement Lap Siding
- 4. Fiber Cement Panel
- 5. Metal Railing
- 6. Glass Railing
- 7. Vinyl Window
- 8. Storefront Glazing
- 9. Canopy
- 10. Masonry Veneer



1. 4th Street Elevation (South)



2. Cabrillo Park Drive Elevation (East)

Note: Refer to Material Boards for color and material information.

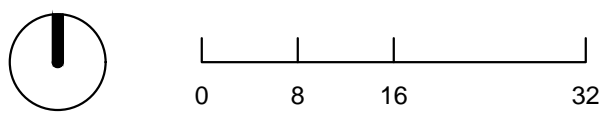


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CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

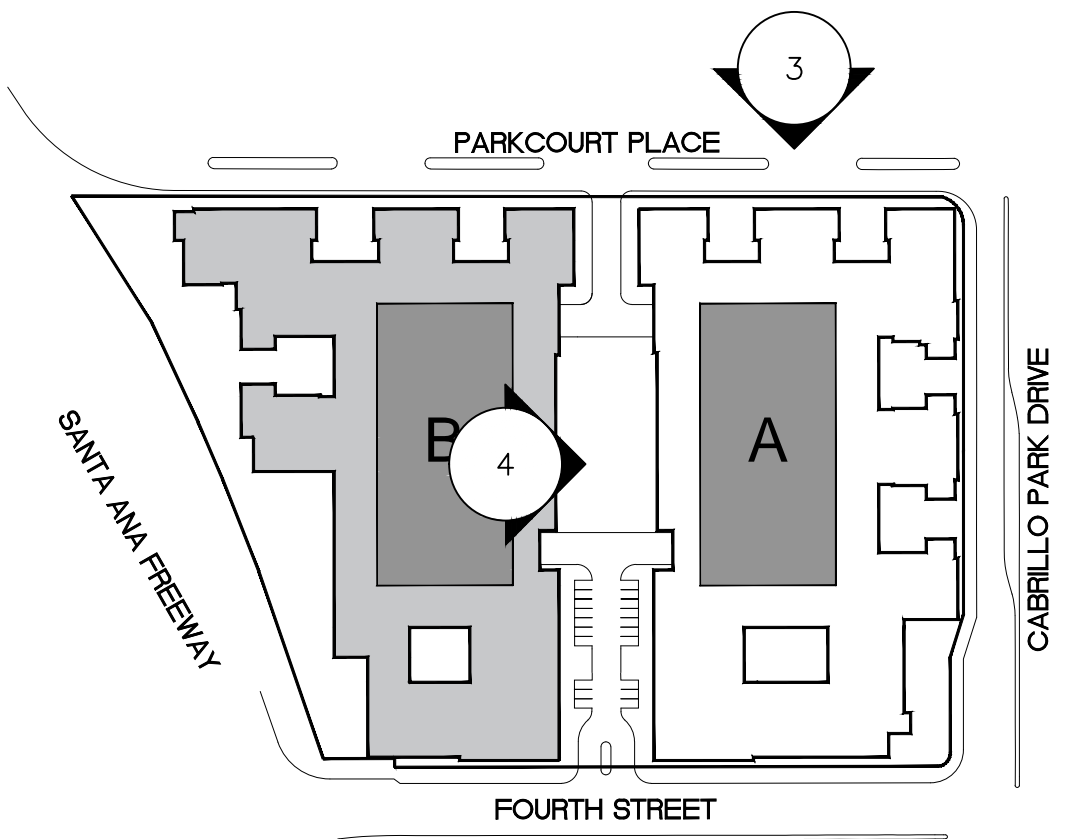


EXTERIOR ELEVATIONS
BUILDING A

A-211

Material Legend

- 1. Stucco
- 2. Metal Siding
- 3. Fiber Cement Lap Siding
- 4. Fiber Cement Panel
- 5. Metal Railing
- 6. Glass Railing
- 7. Vinyl Window
- 8. Storefront Glazing
- 9. Canopy
- 10. Masonry Veneer



Key Map n.t.s.



3. Parckcourt Place Elevation (North)



4. Site Interior Elevation (West)

Note: Refer to Material Boards for color and material information.

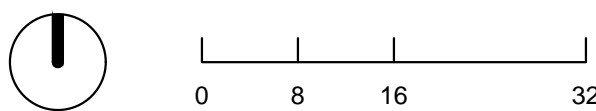


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CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

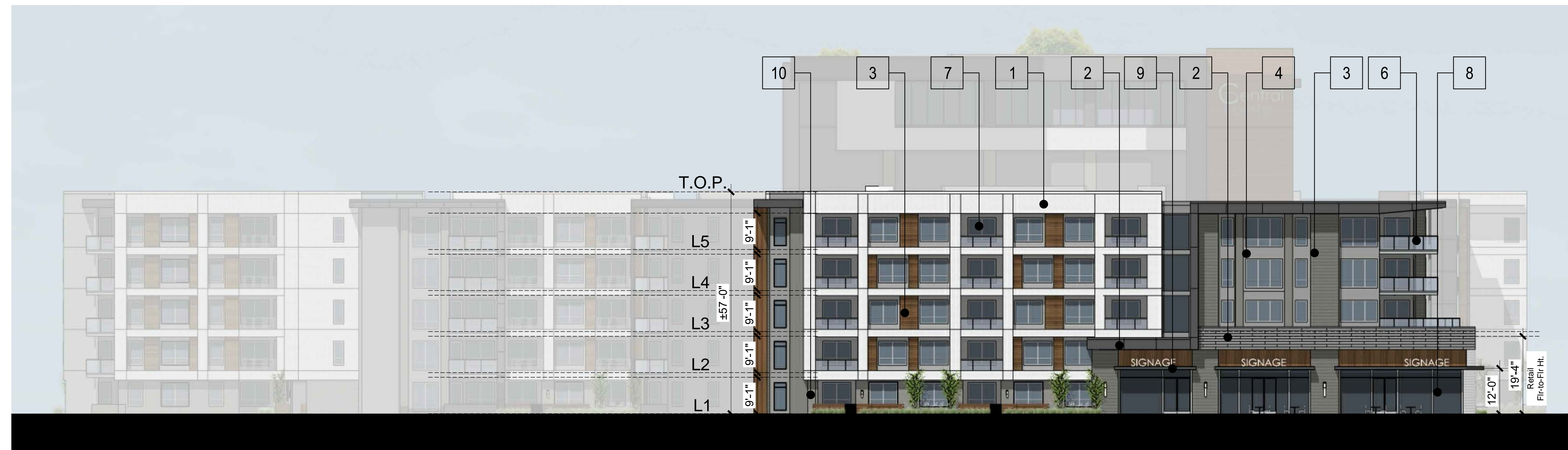
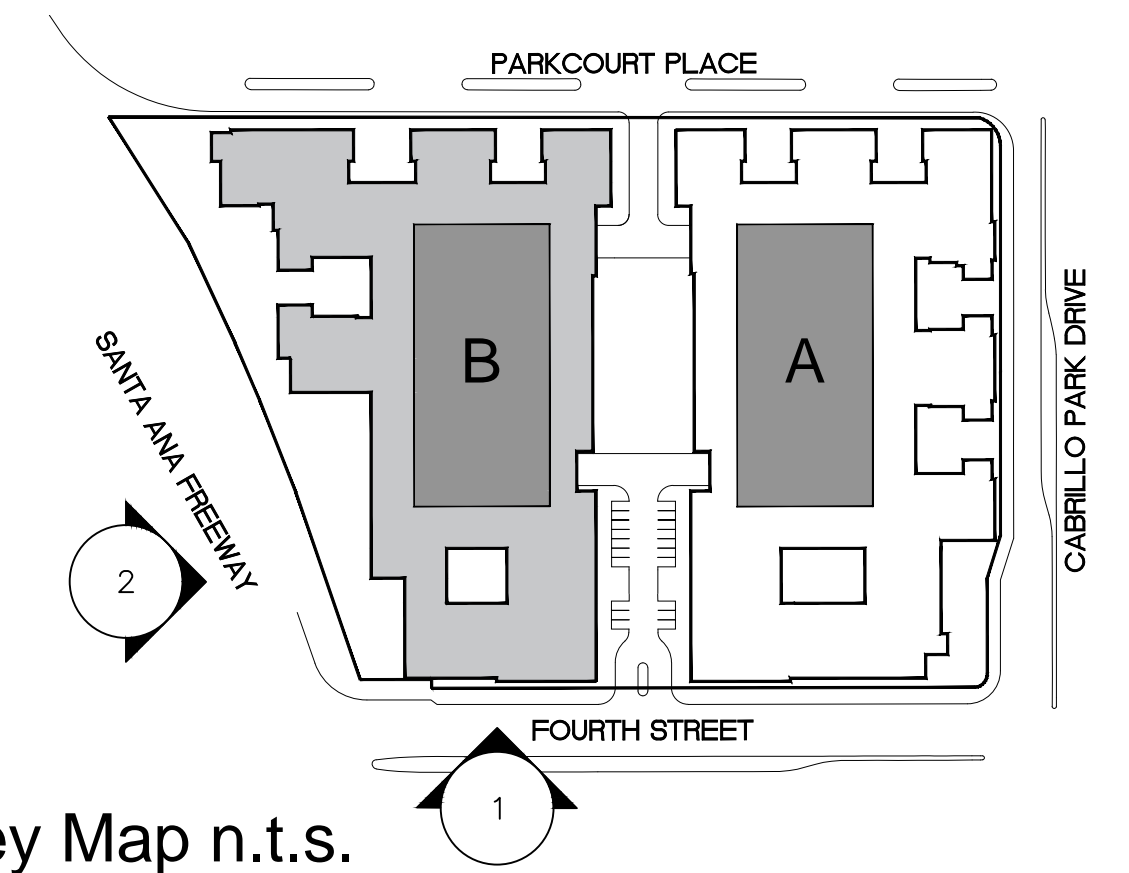


"BUILDING A" EXTERIOR ELEVATIONS

A-212

Material Legend

1. Stucco
2. Metal Siding
3. Fiber Cement Lap Siding
4. Fiber Cement Panel
5. Metal Railing
6. Glass Railing
7. Vinyl Window
8. Storefront Glazing
9. Canopy
10. Masonry Veneer



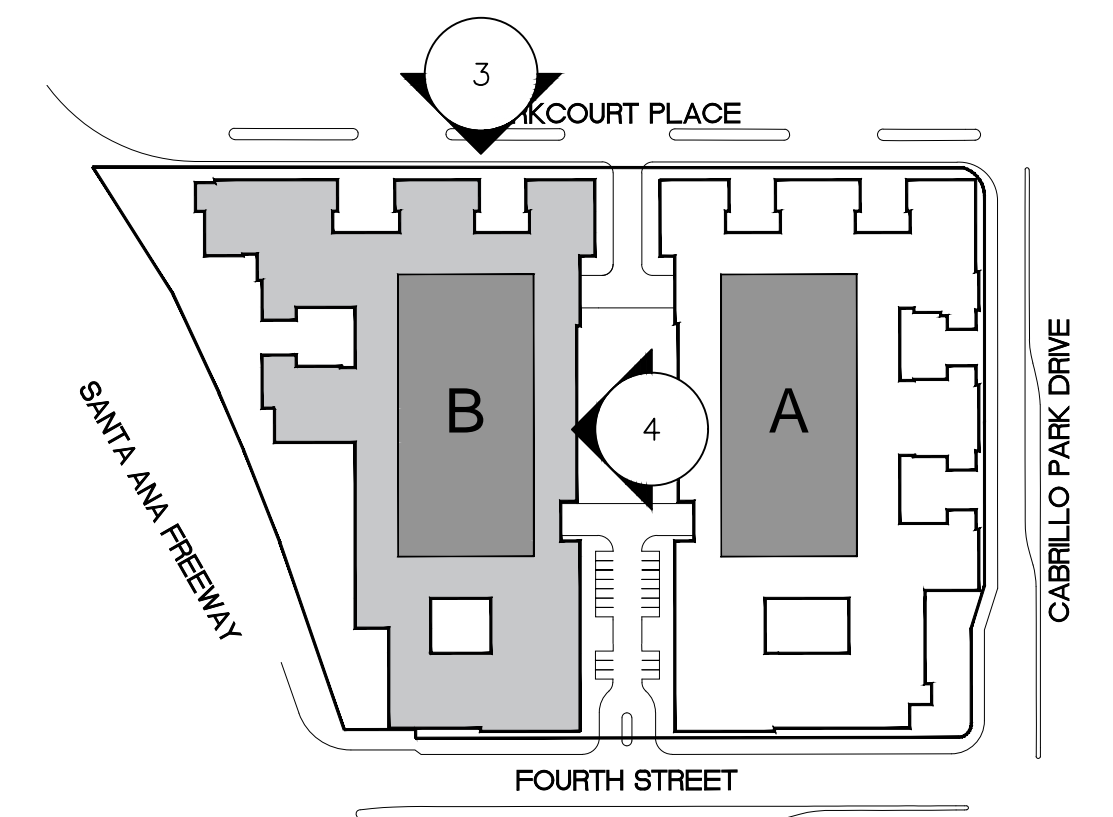
1. 4th Street Elevation (South)



2. Freeway Frontage Elevation (West)

Material Legend

1. Stucco
2. Metal Siding
3. Fiber Cement Lap Siding
4. Fiber Cement Panel
5. Metal Railing
6. Glass Railing
7. Vinyl Window
8. Storefront Glazing
9. Canopy
10. Masonry Veneer



Key Map n.t.s.



3. Parckcourt Place Elevation (North)



4. Site Interior Elevation (East)

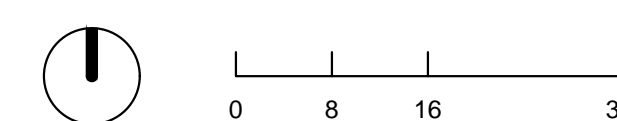


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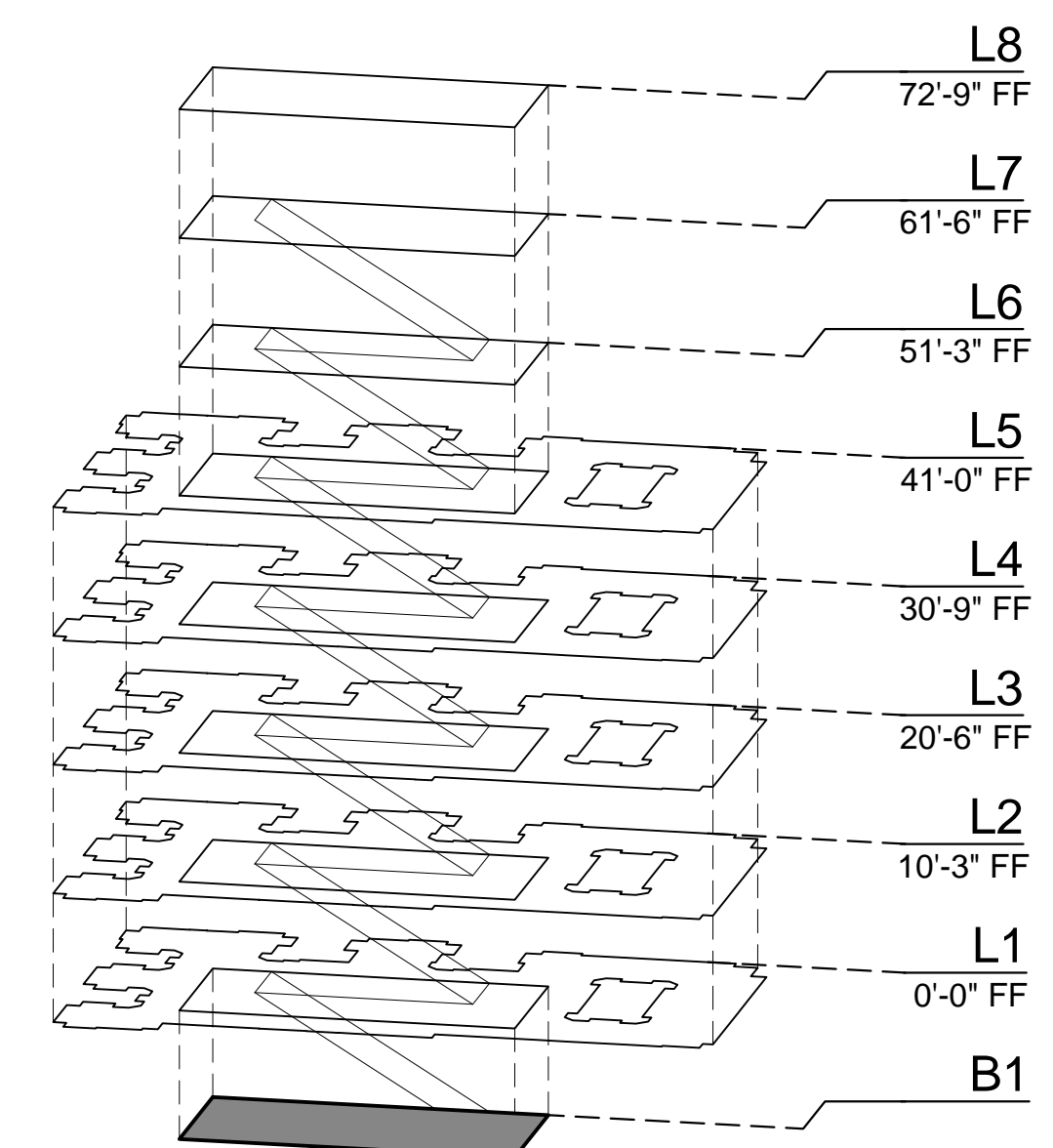
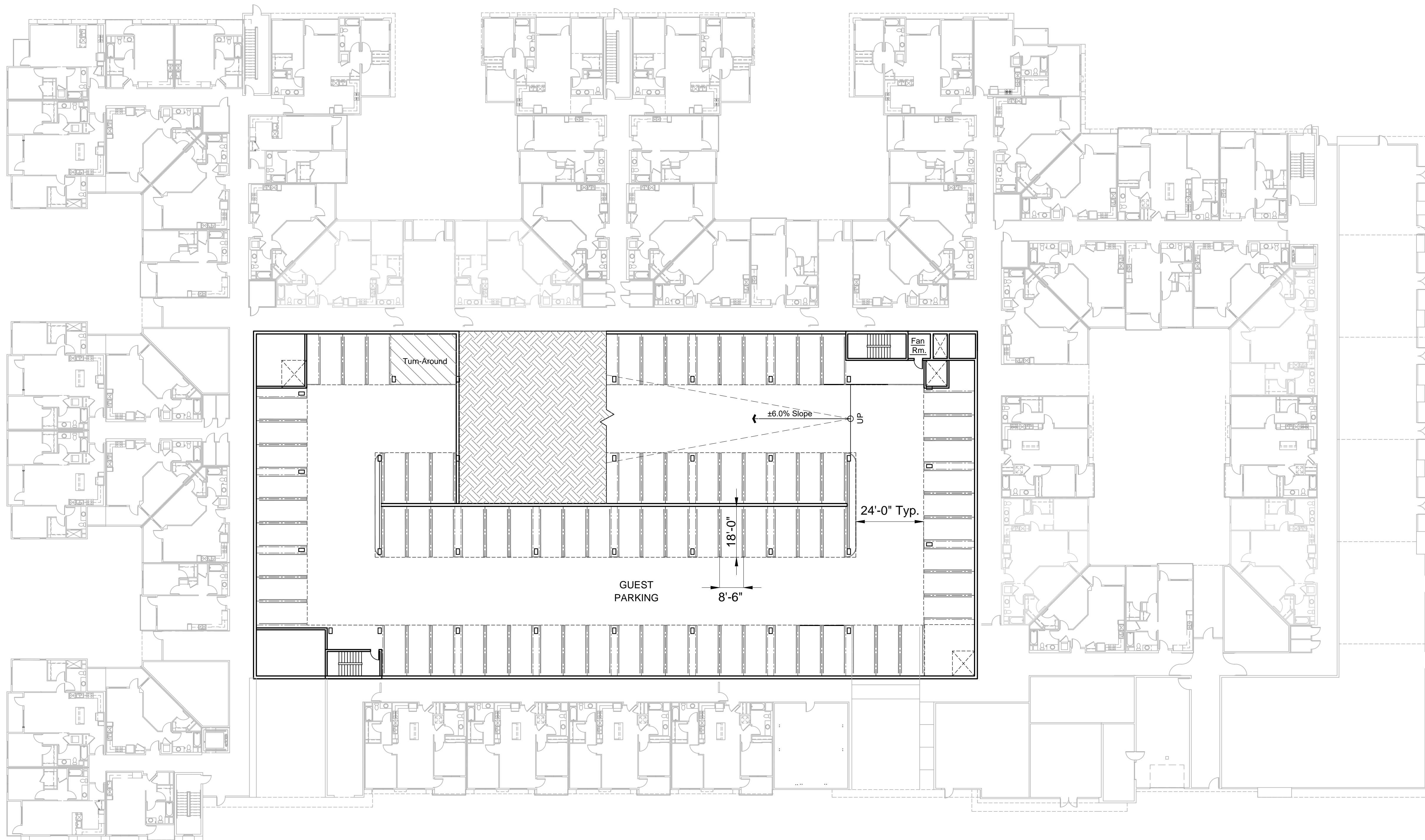
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



"BUILDING B" EXTERIOR ELEVATIONS

A-222



ISO. KEY

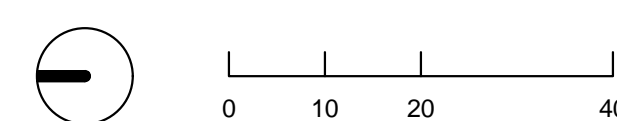


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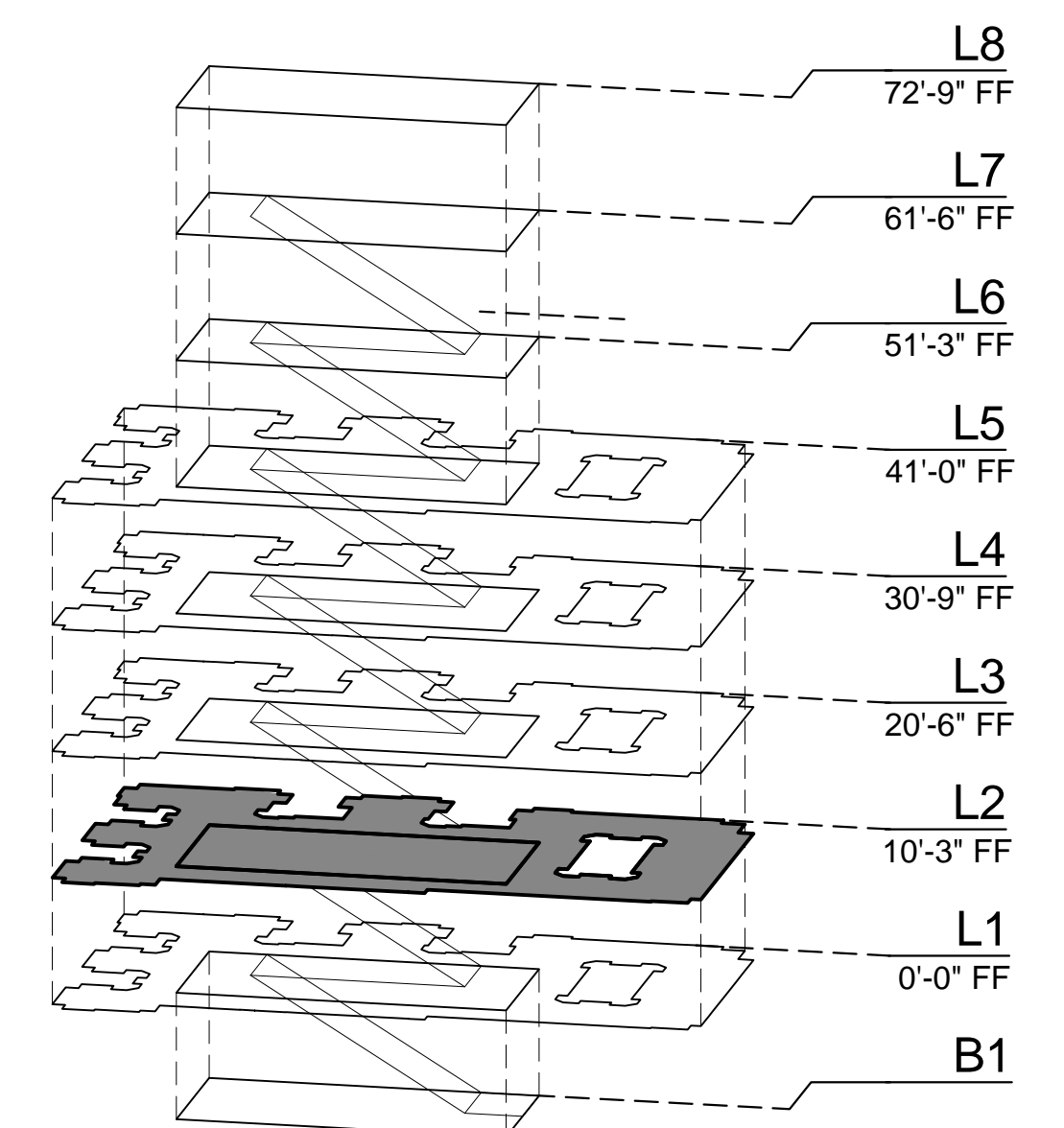
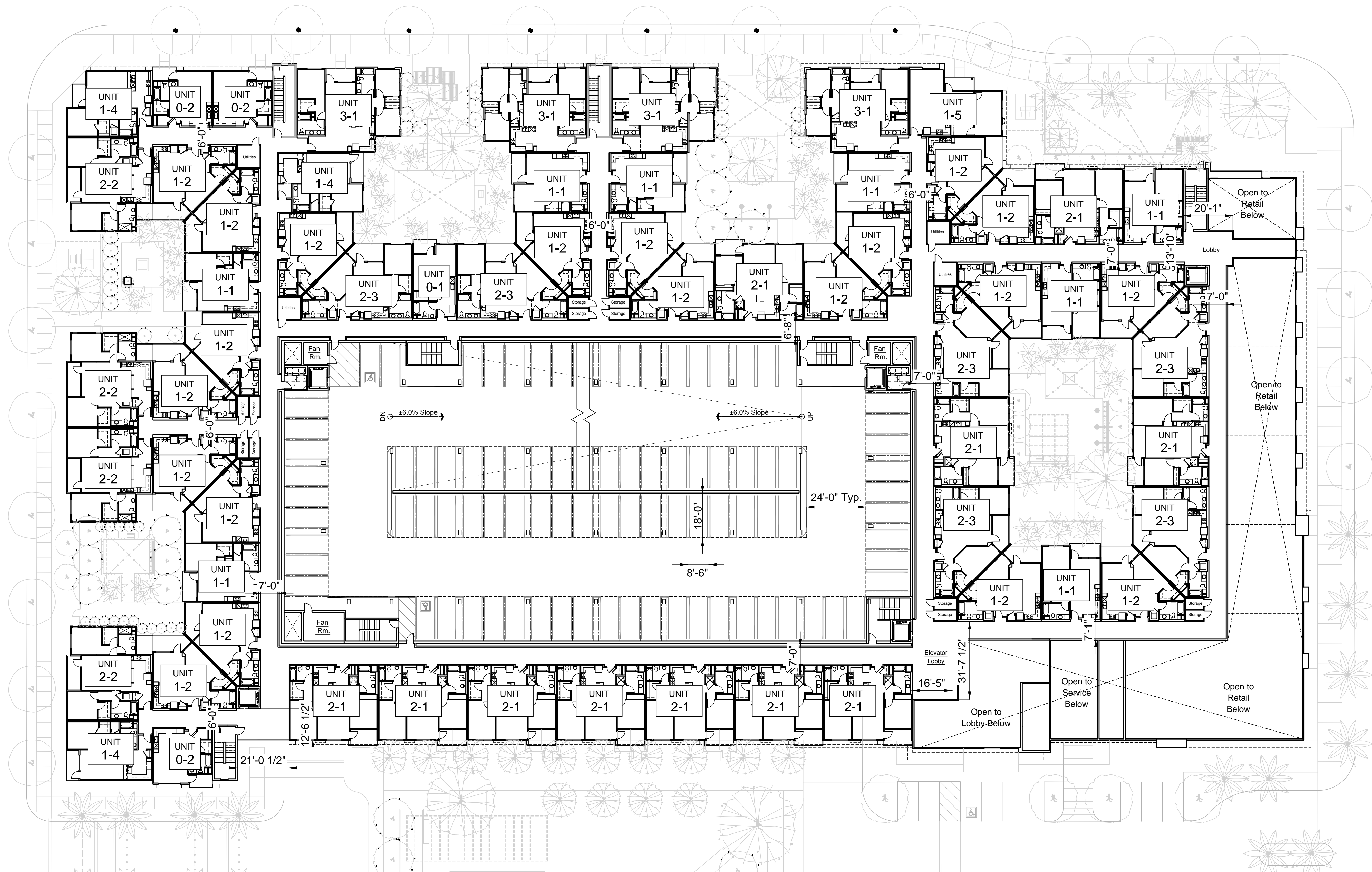
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING A - 1ST BASEMENT FLOOR

A-310



ISO. KEY

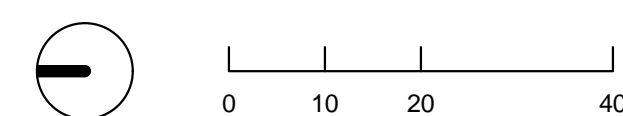


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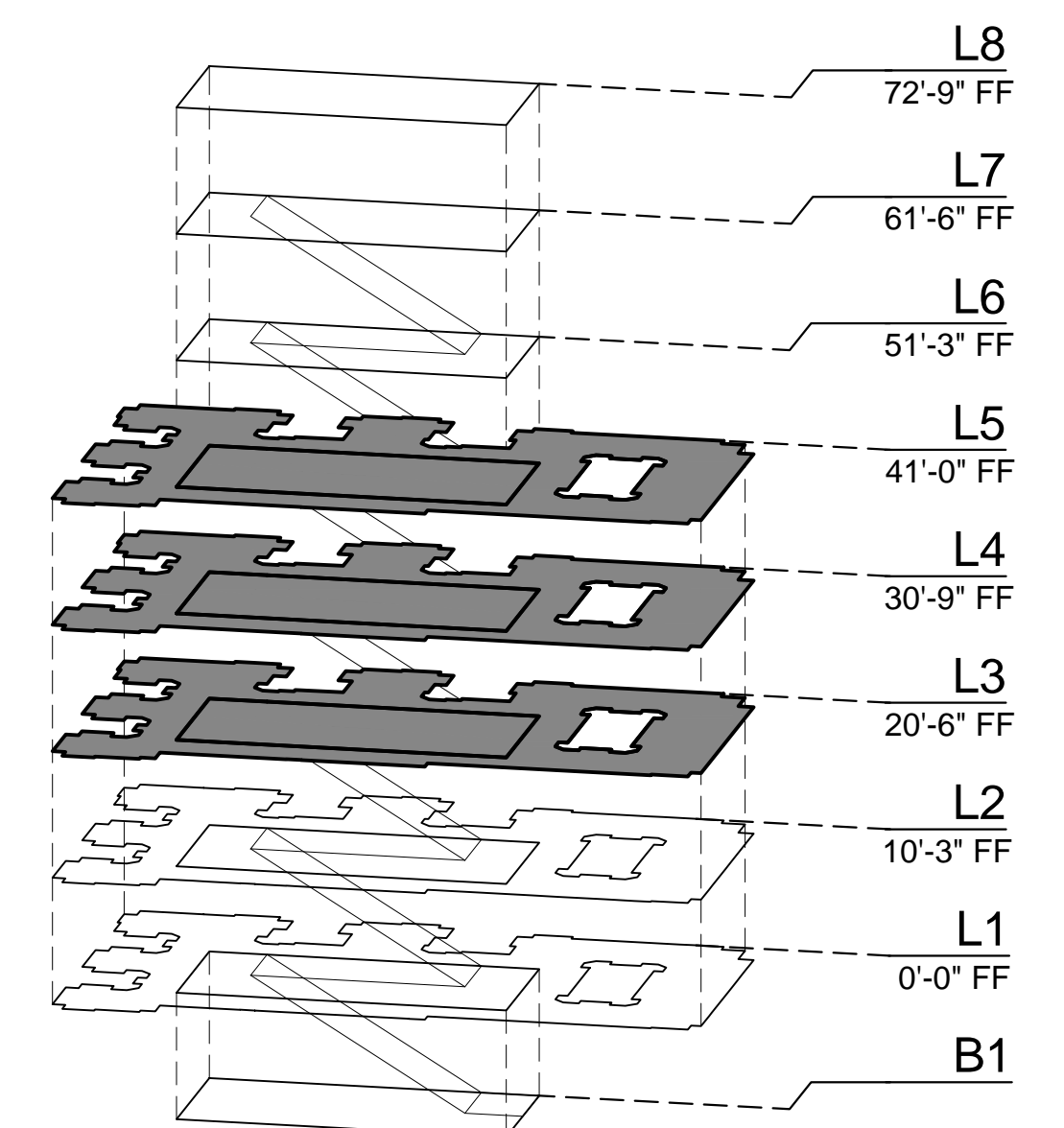
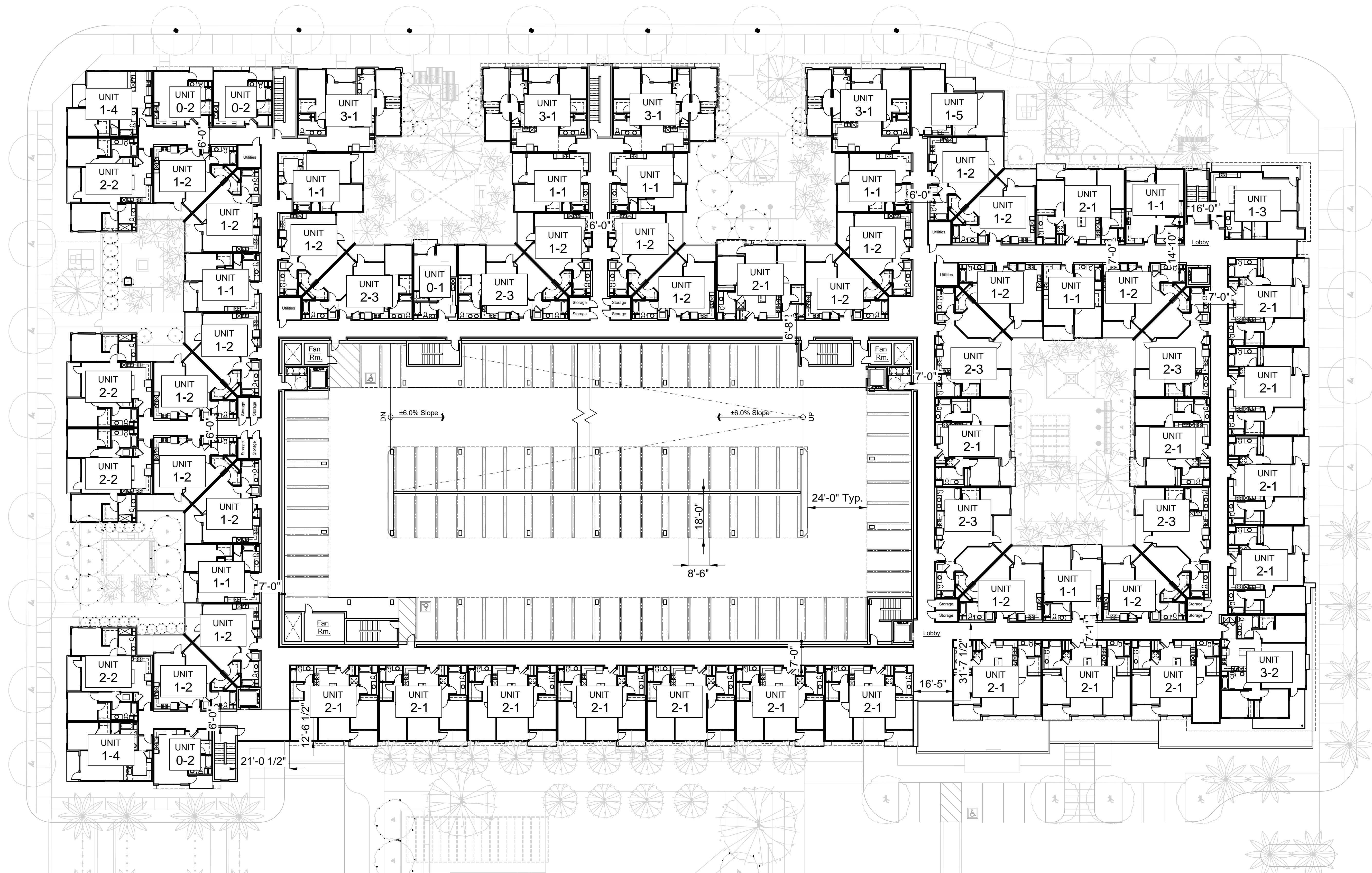
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING A - 2ND FLOOR

A-312



ISO. KEY

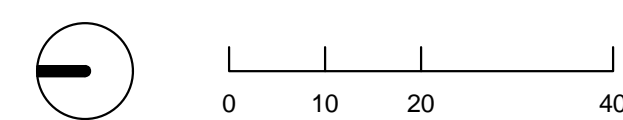


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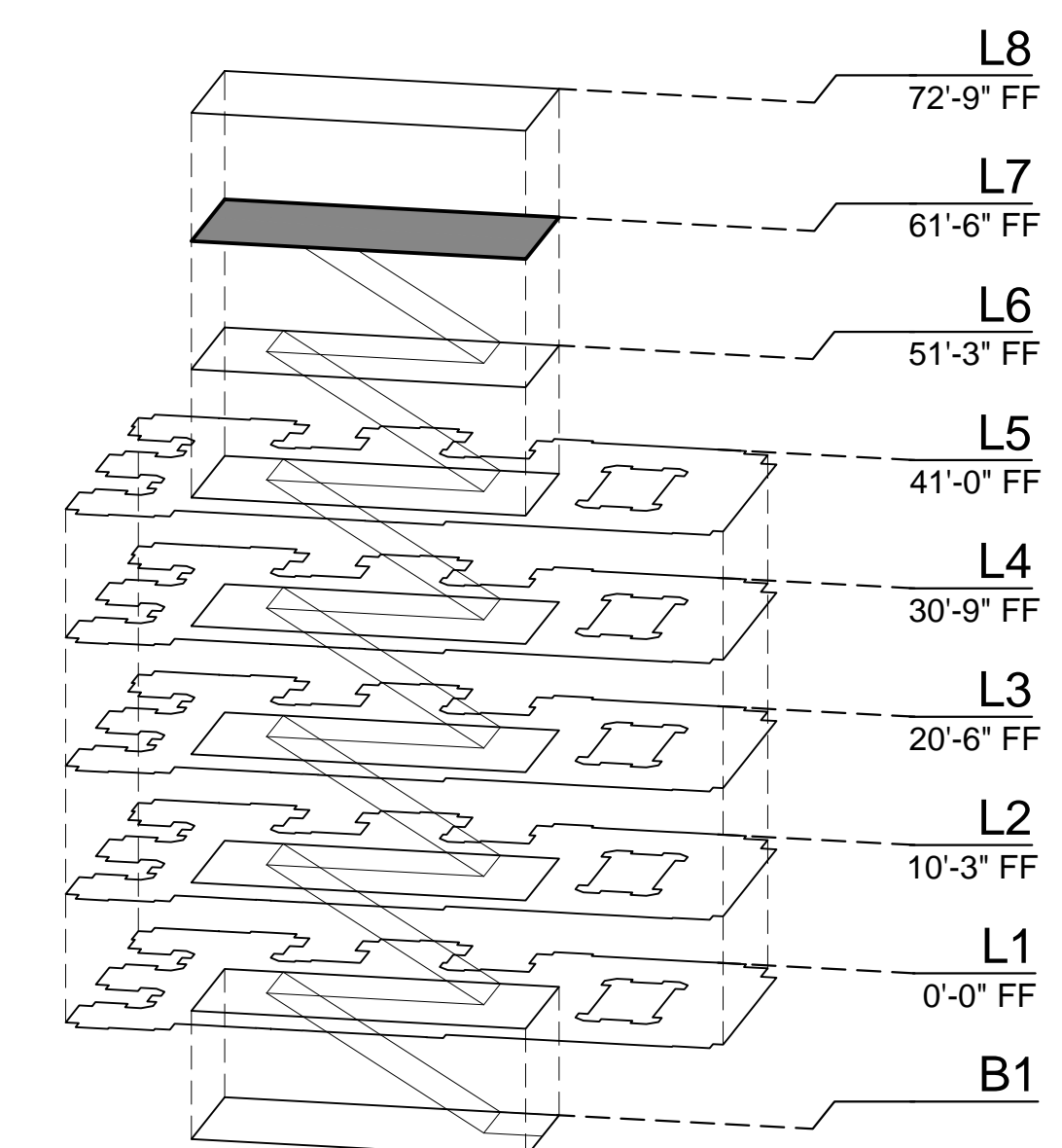
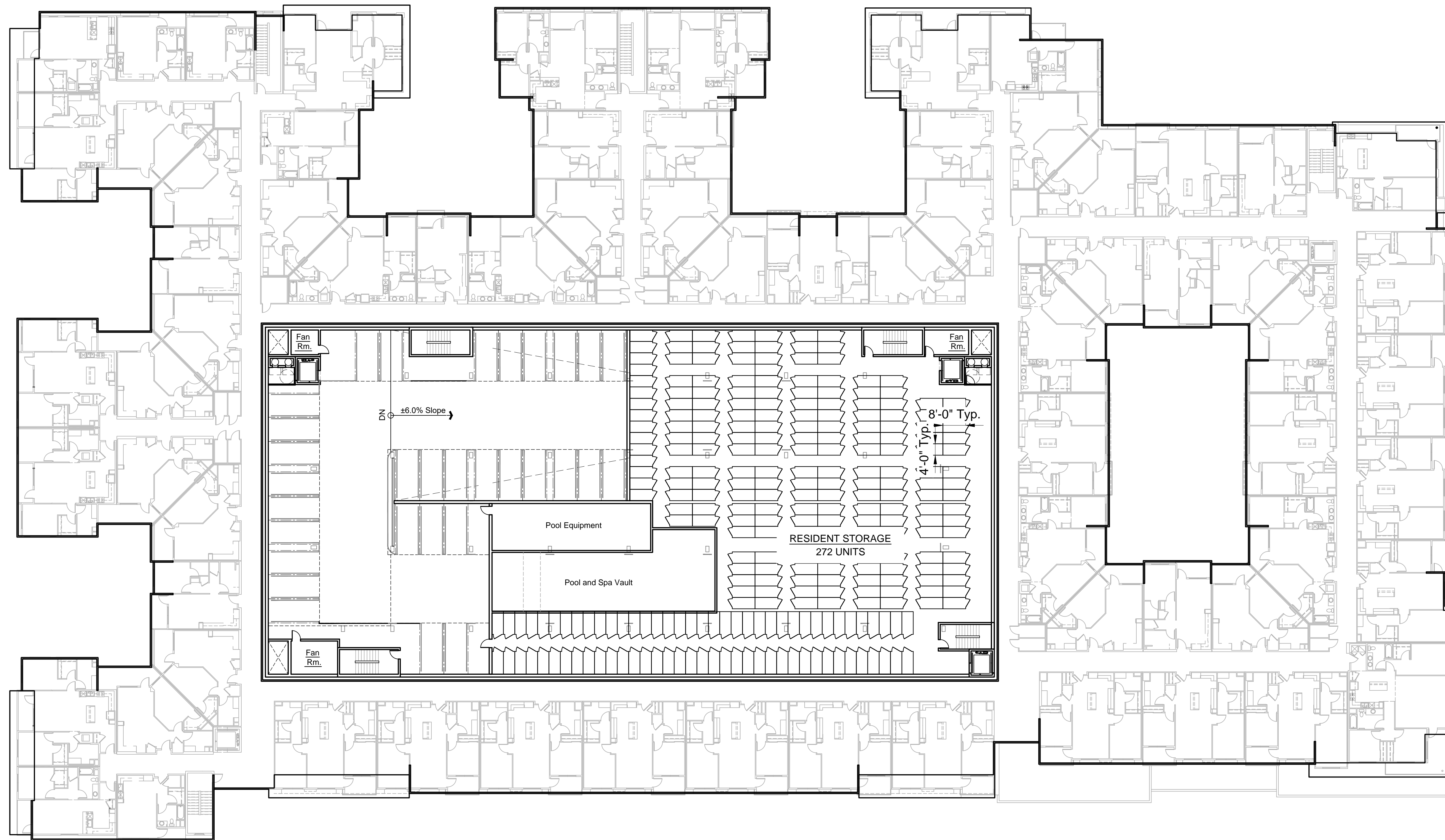
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING A - 3RD TO 5TH FLOOR

A-313



ISO. KEY

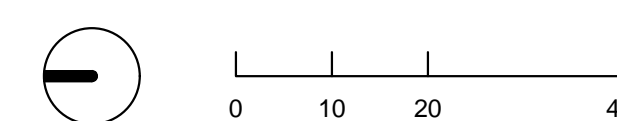


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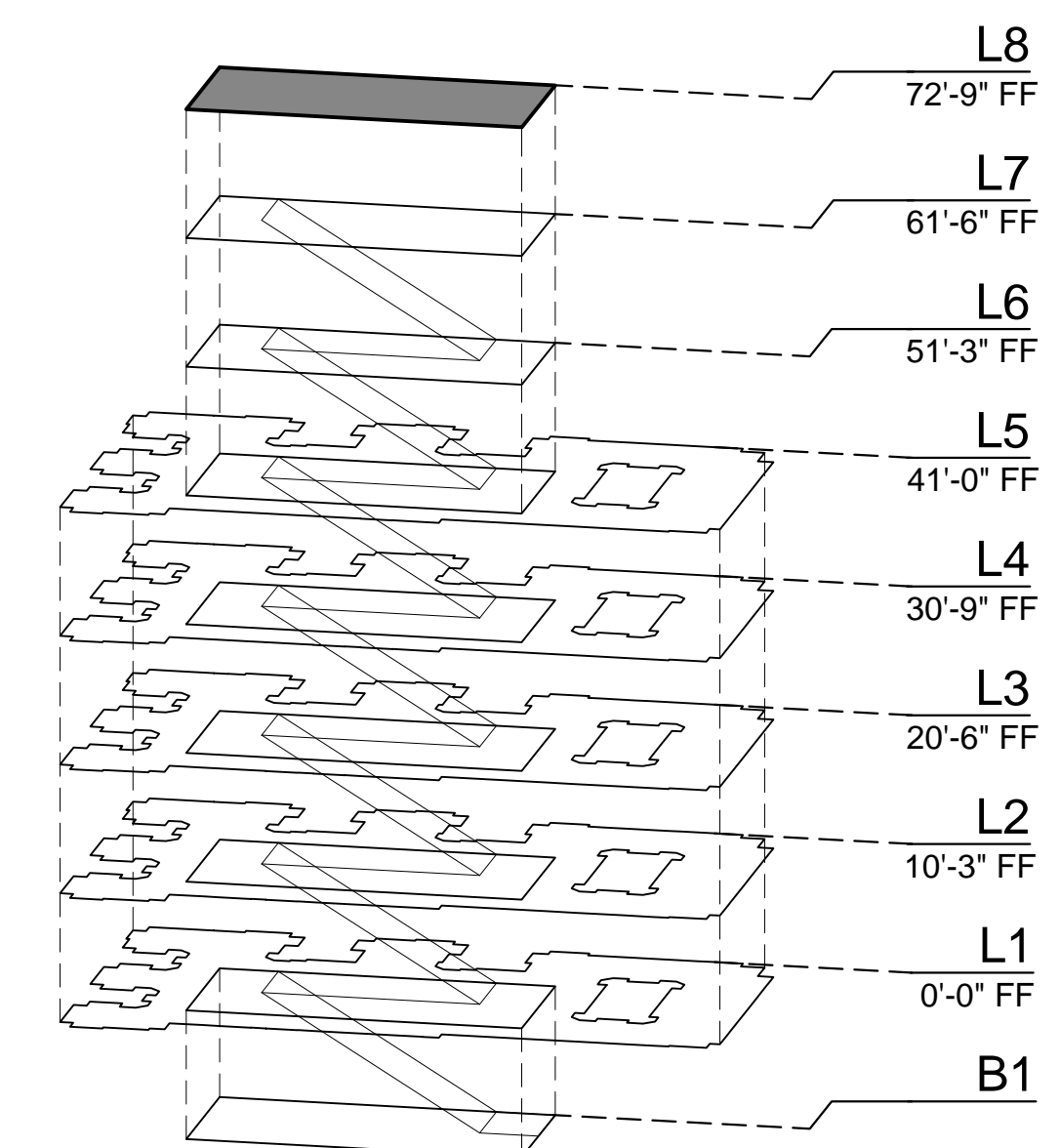
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING A - 7TH FLOOR

A-317

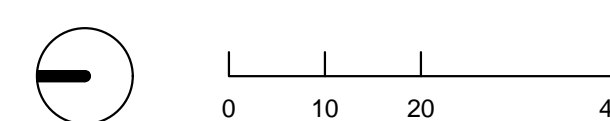


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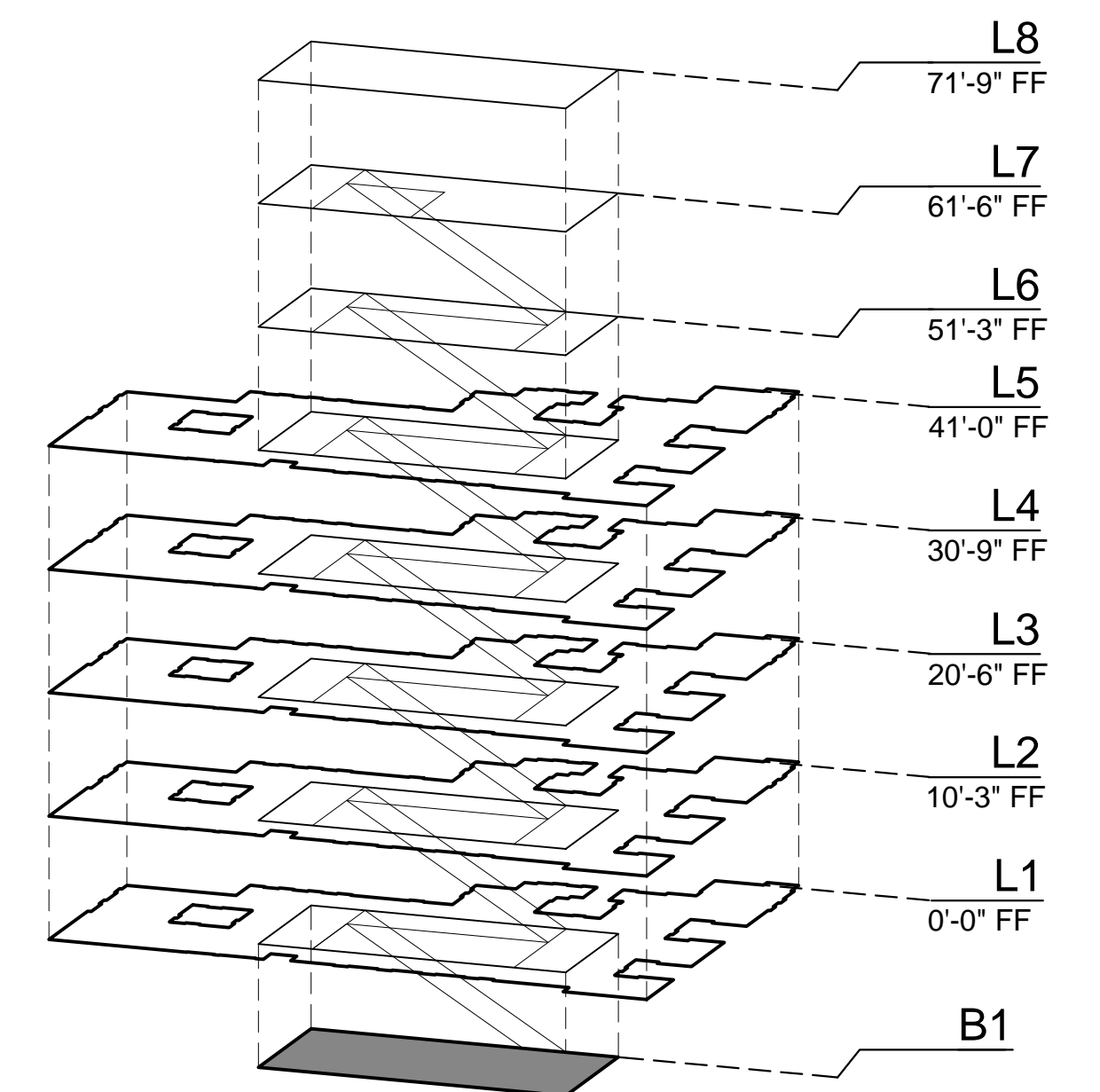
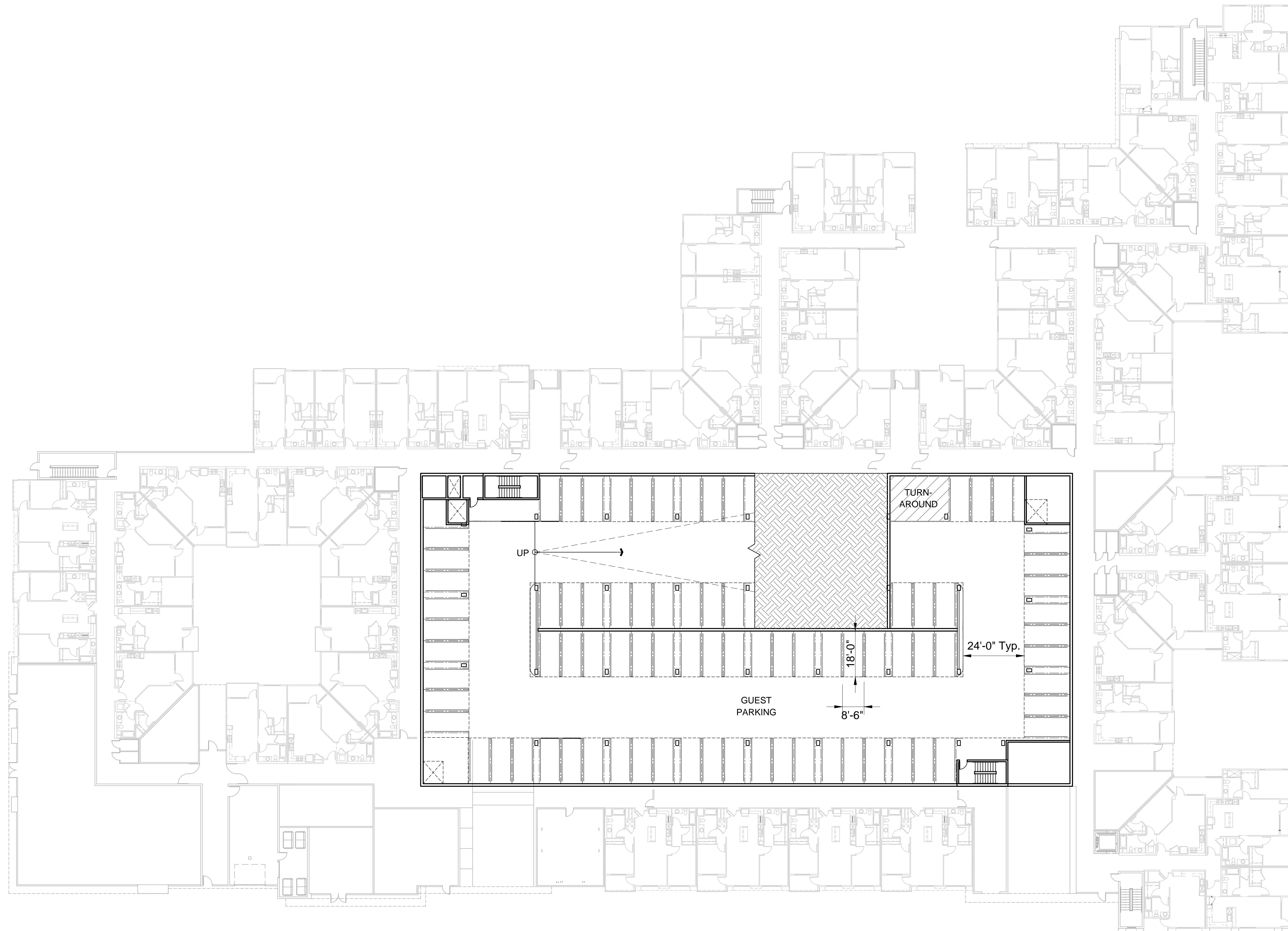
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



ROOF PLAN
BUILDING A

A-318



ISO. KEY

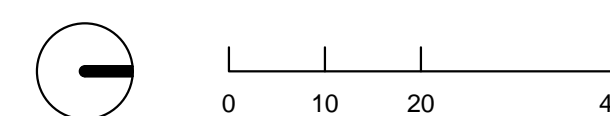


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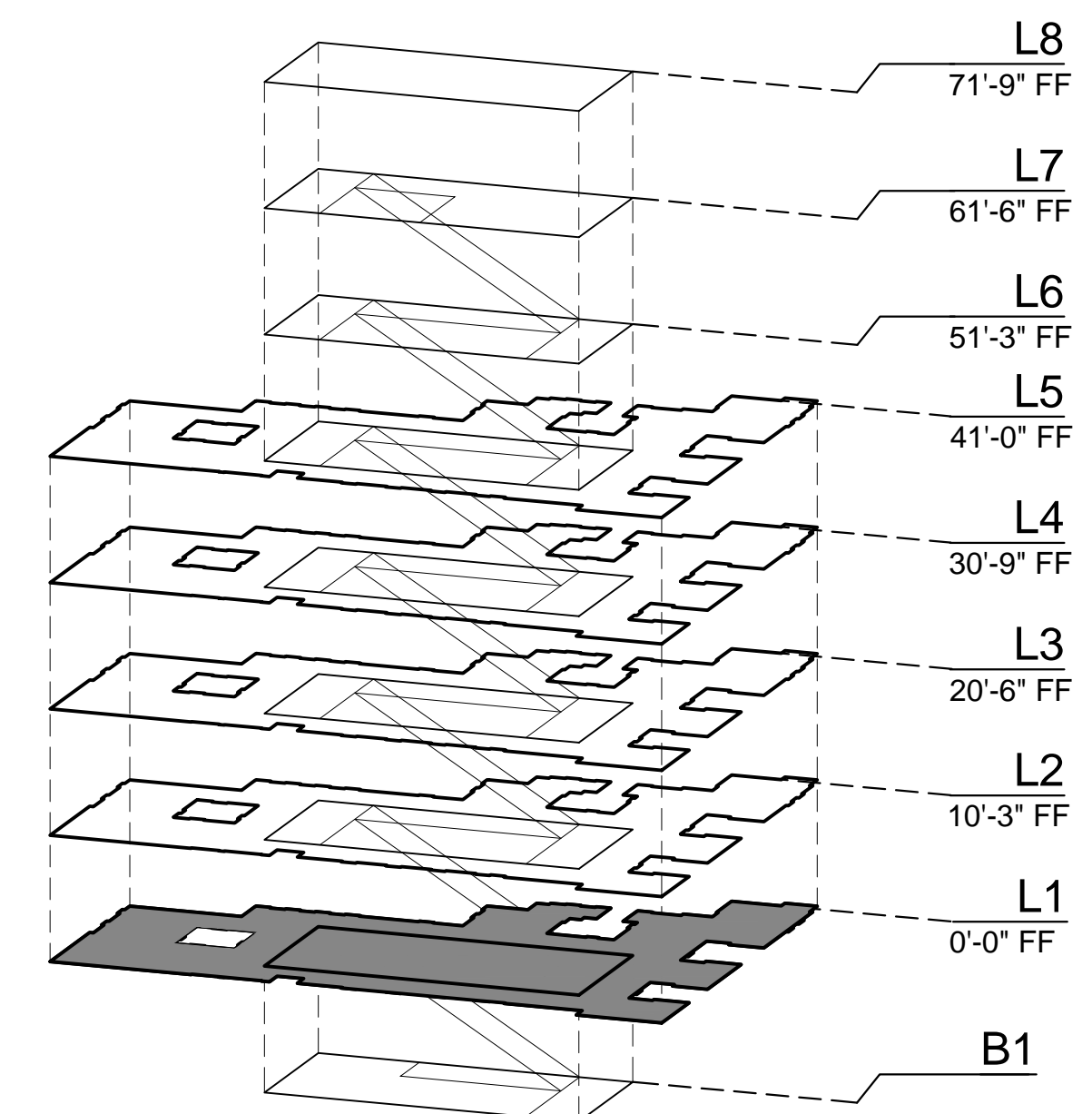
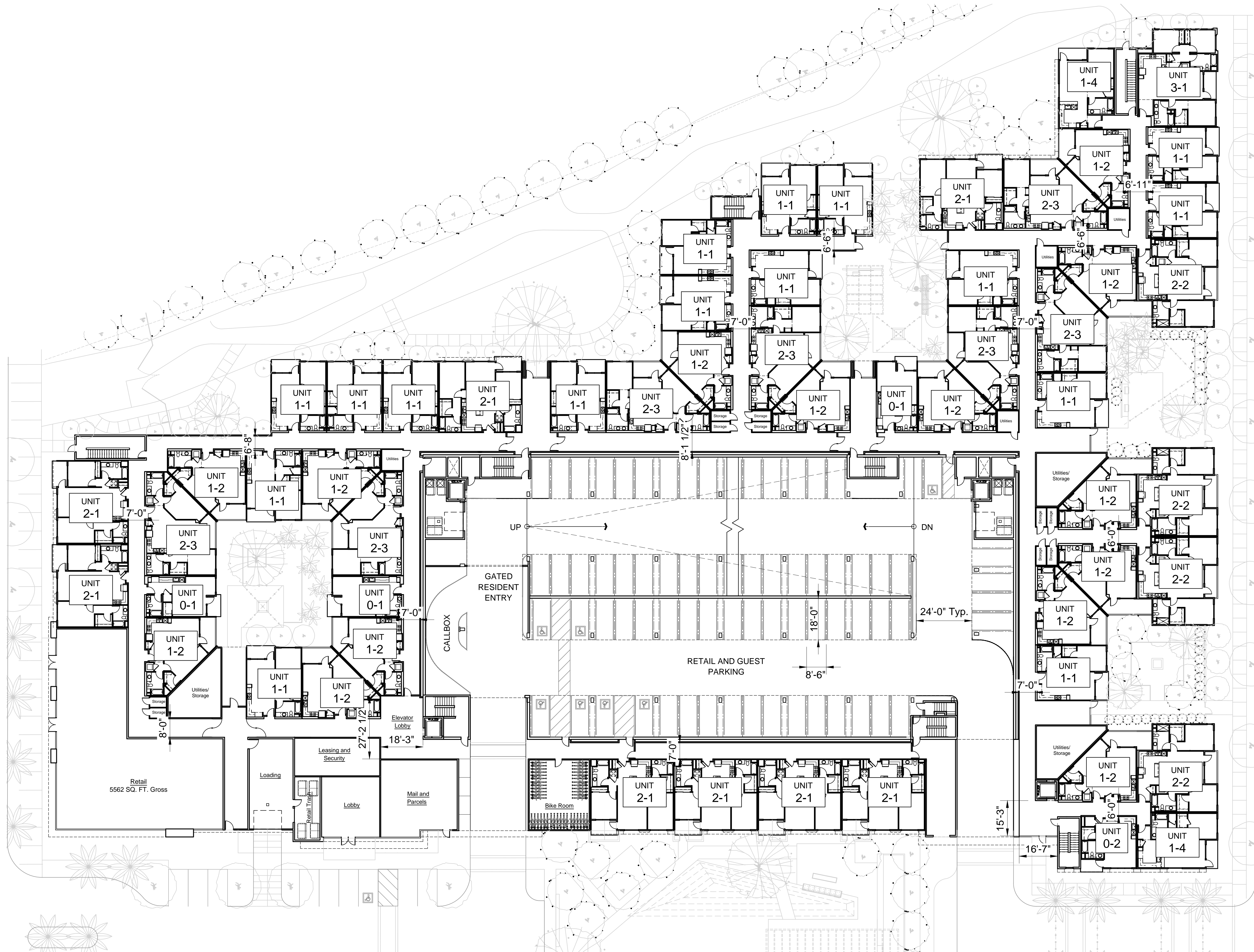
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING B - 1ST BASEMENT FLOOR

A-320



ISO. KEY

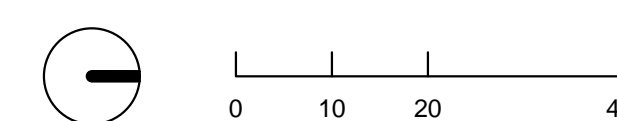


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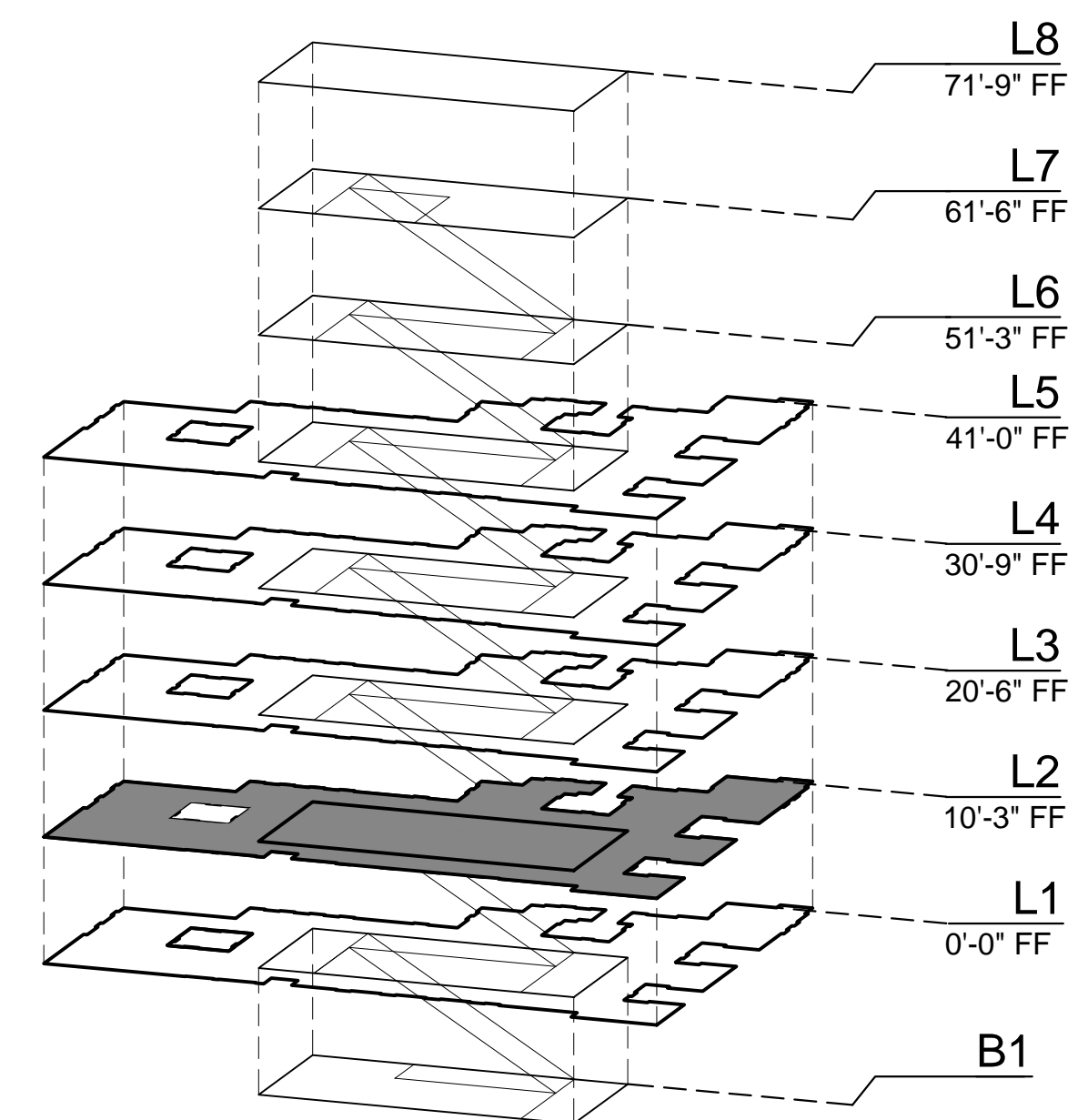
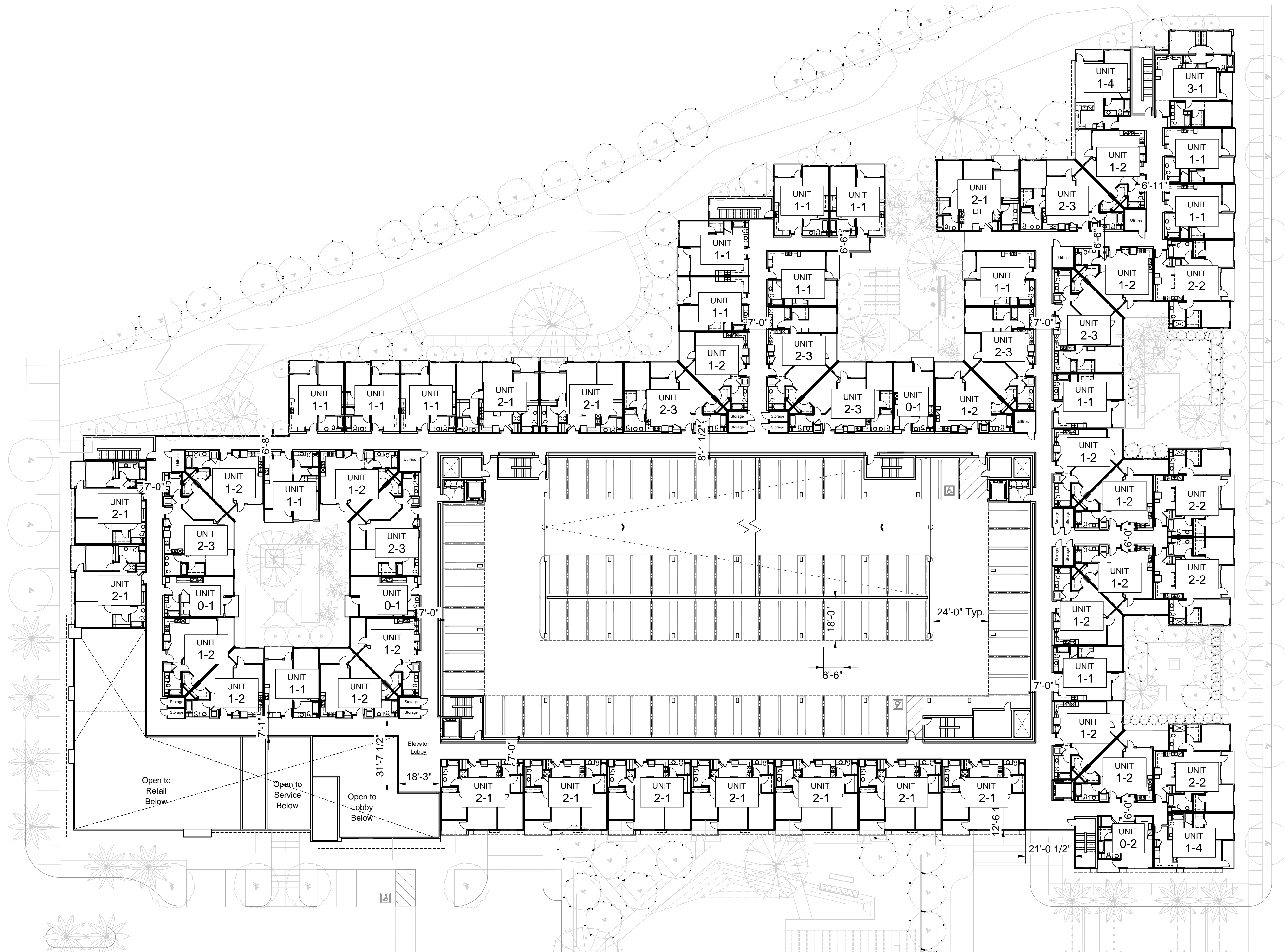
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING B - 1ST FLOOR

A-321



ISO. KEY

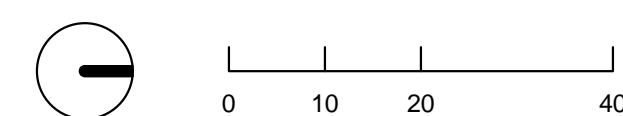


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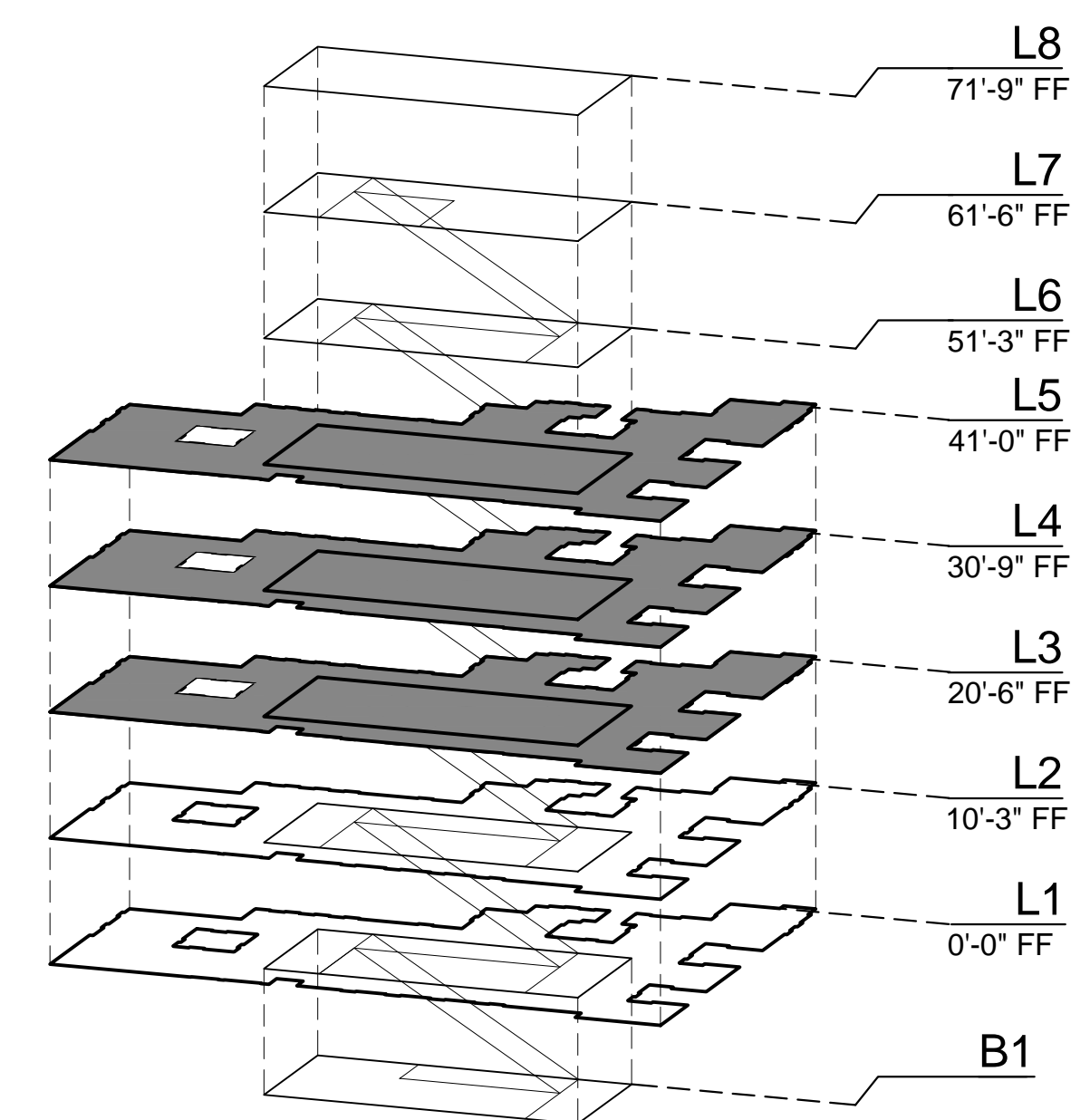
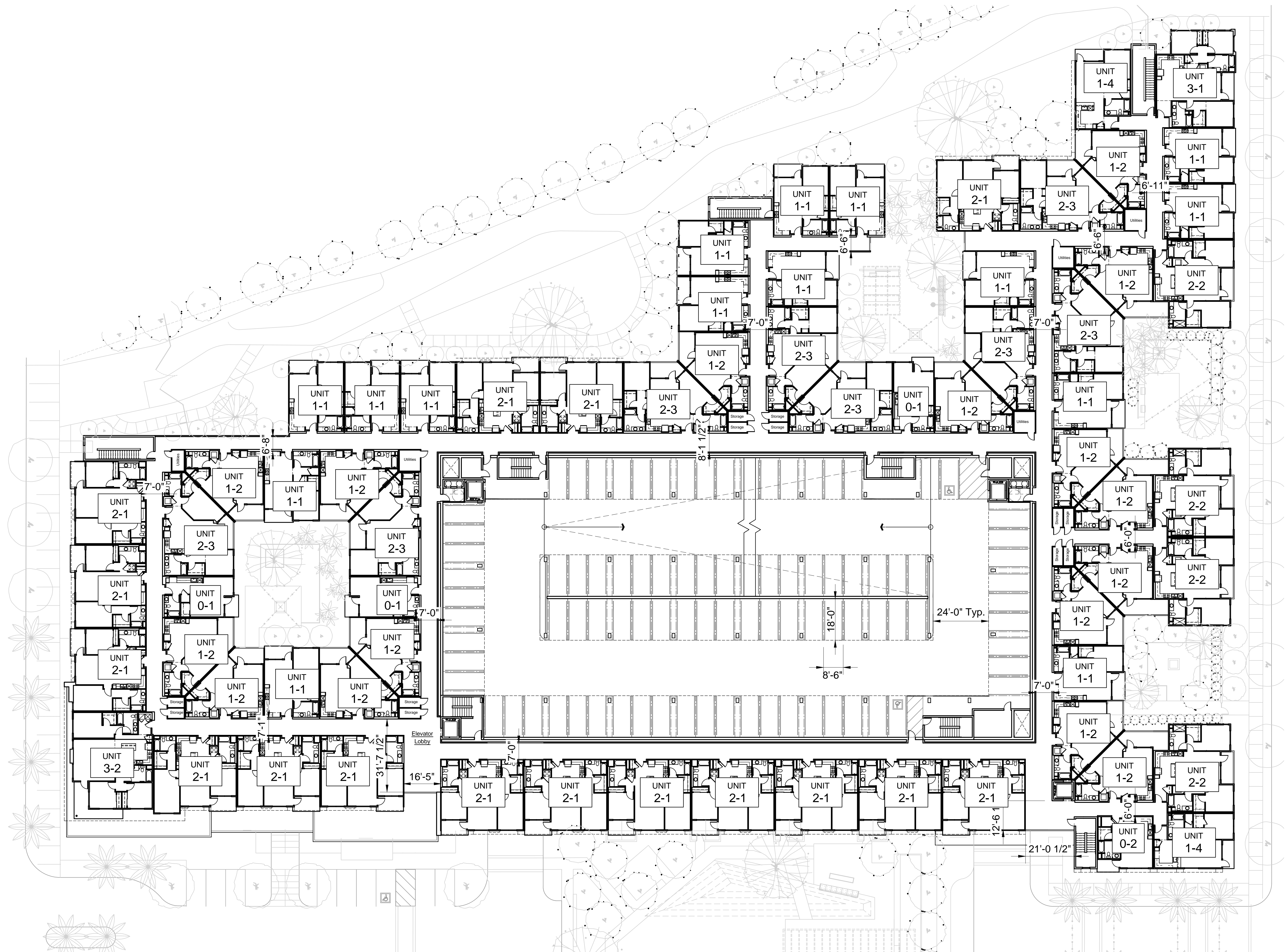
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING B - 2ND FLOOR

A-322



ISO. KEY

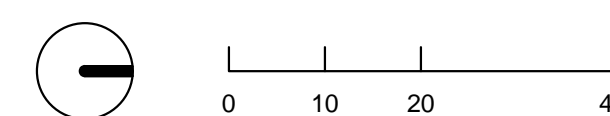


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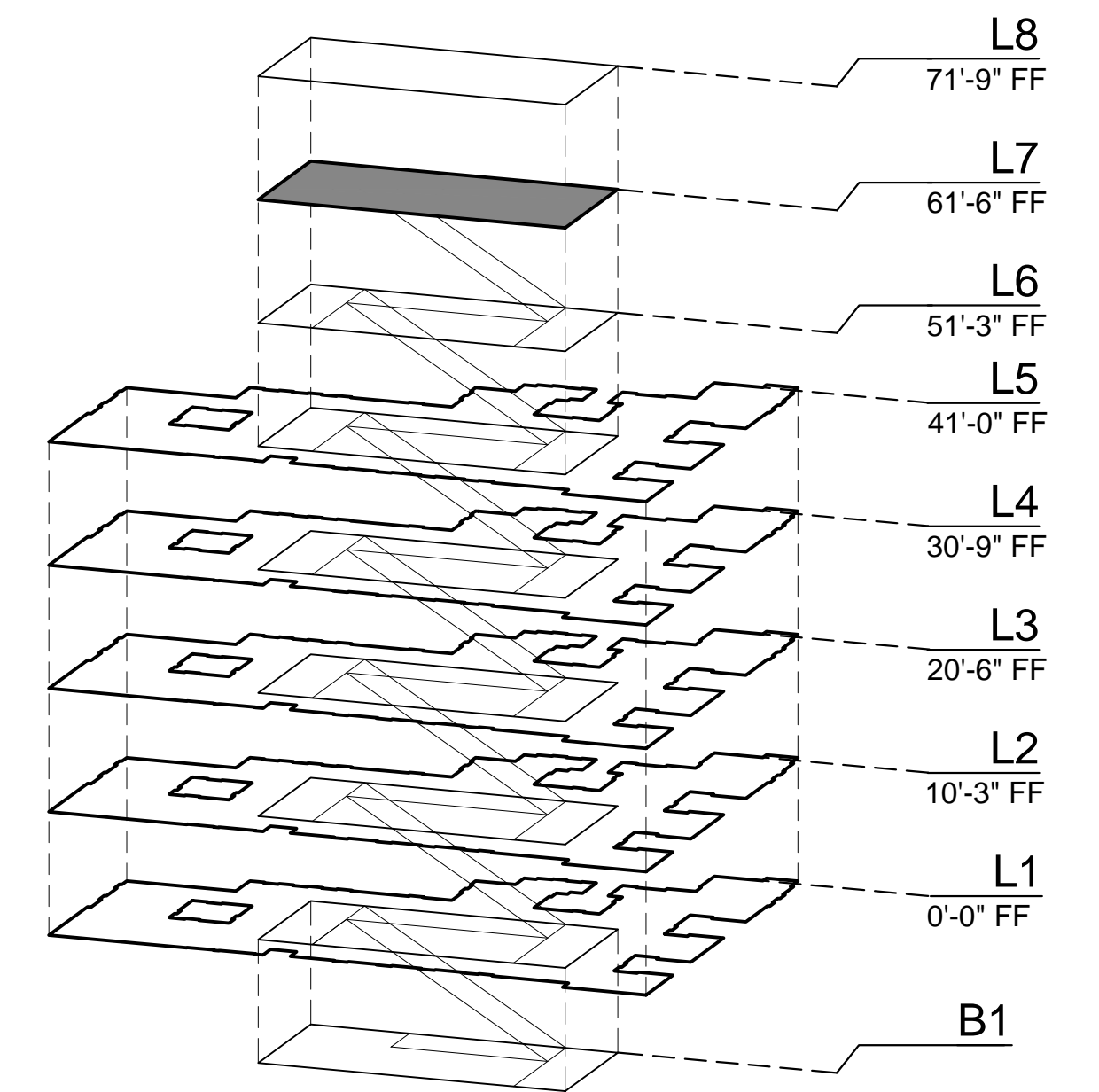
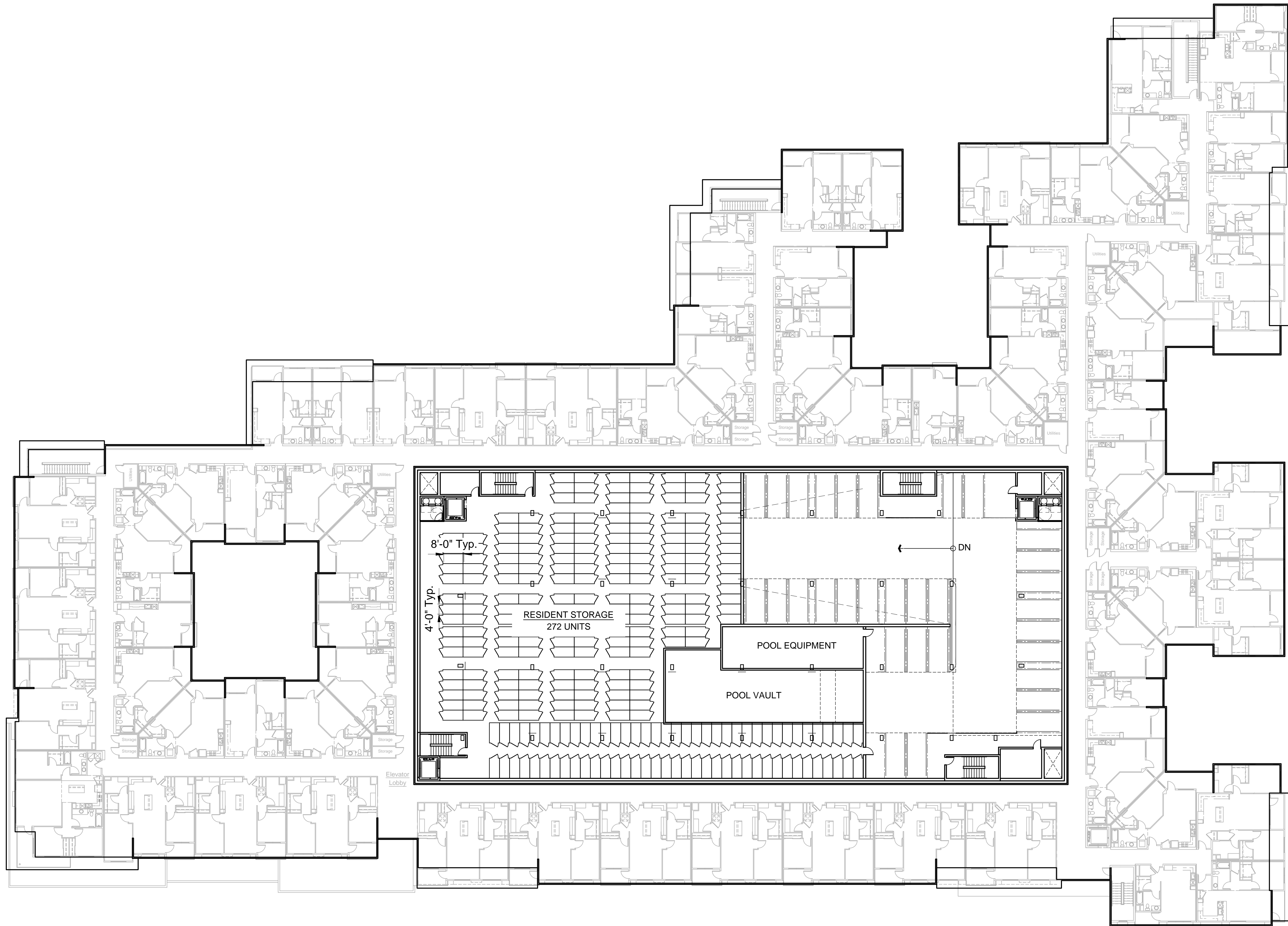
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING B - 3RD-5TH FLOOR

A-323



ISO. KEY

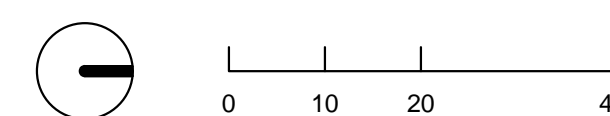


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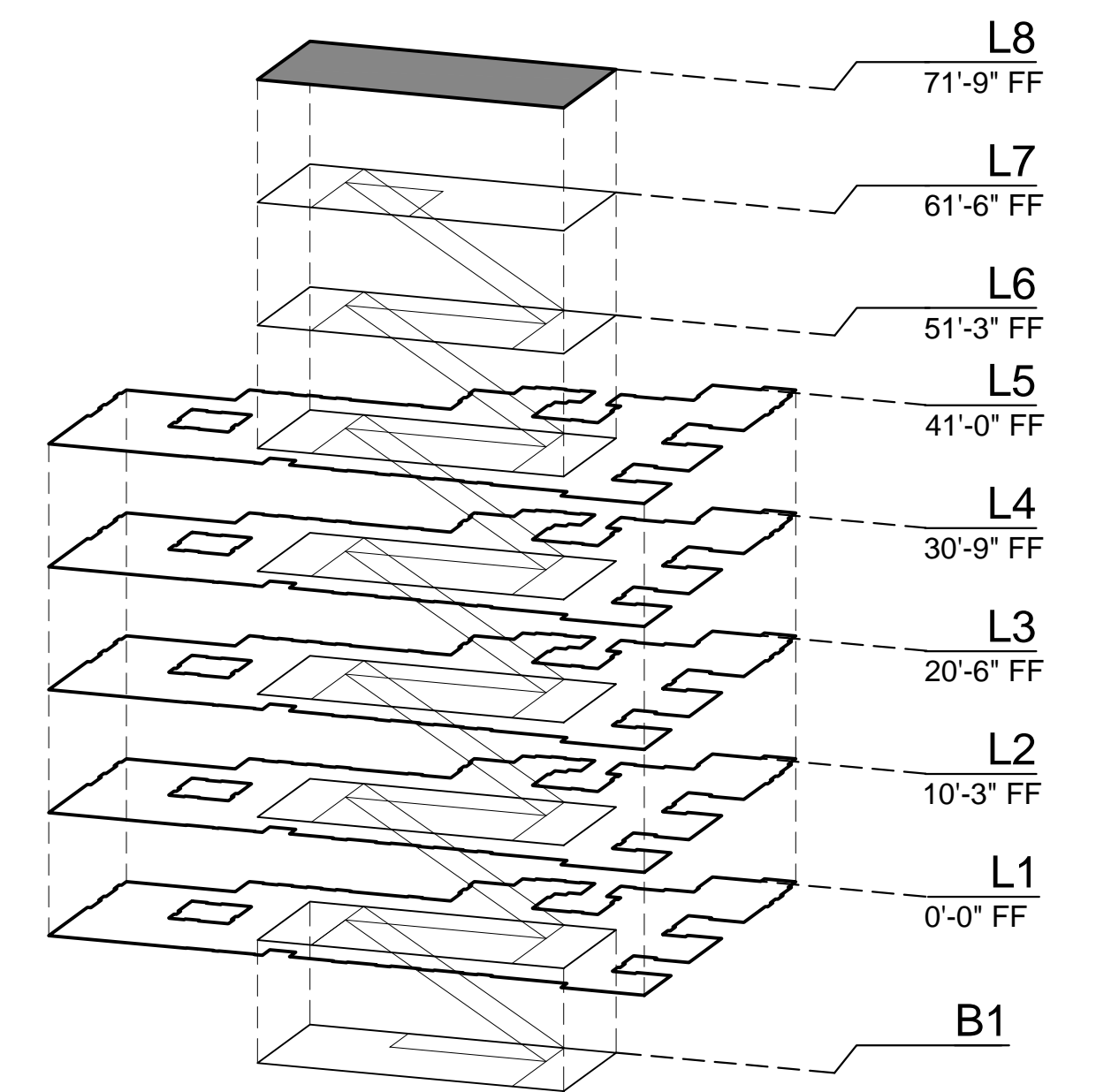
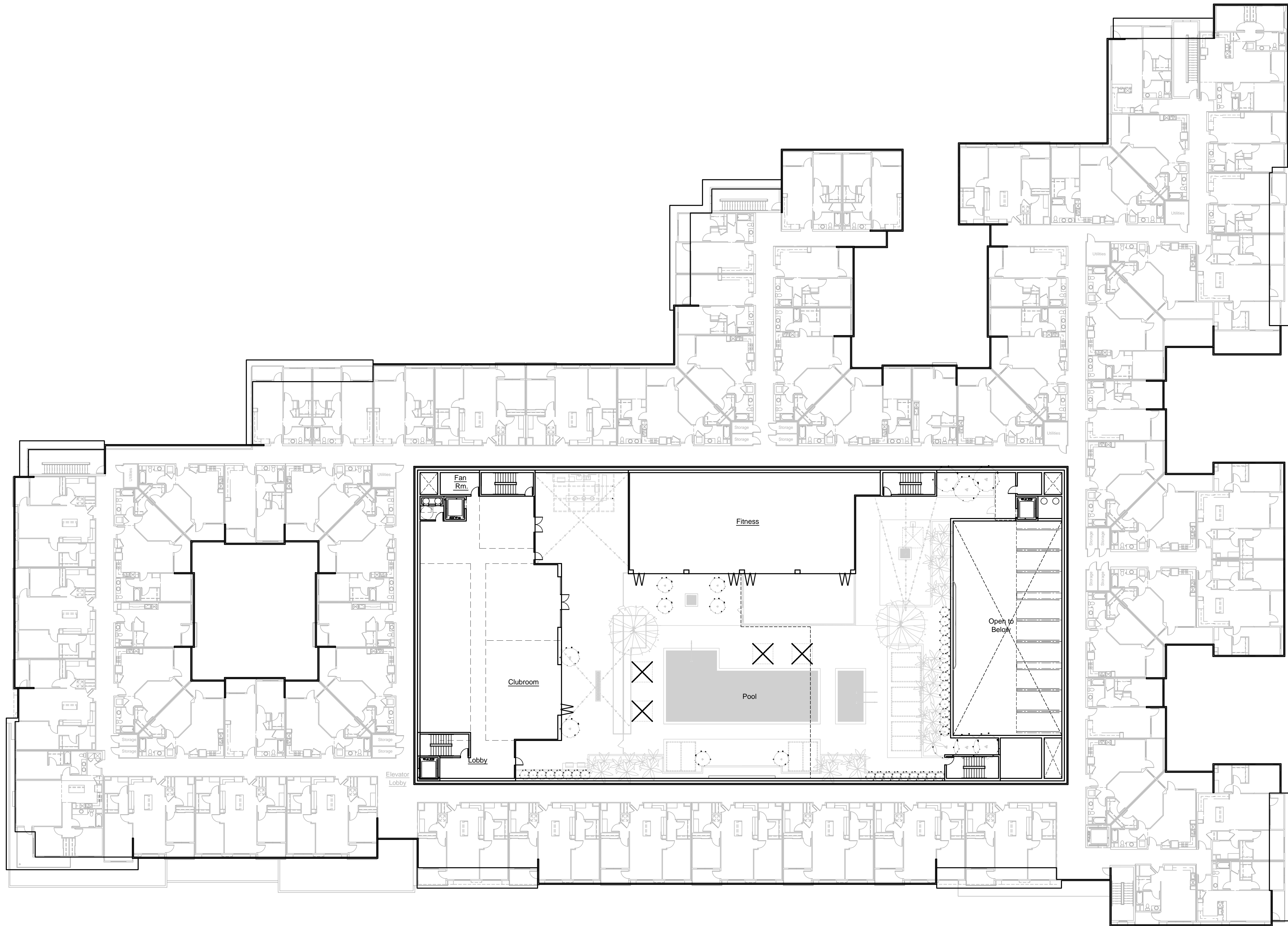
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



BUILDING PLAN
BUILDING B - 7TH FLOOR

A-327



ISO. KEY

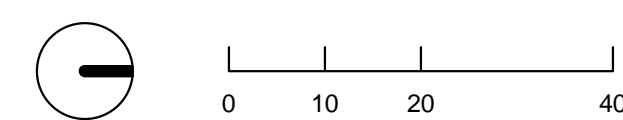


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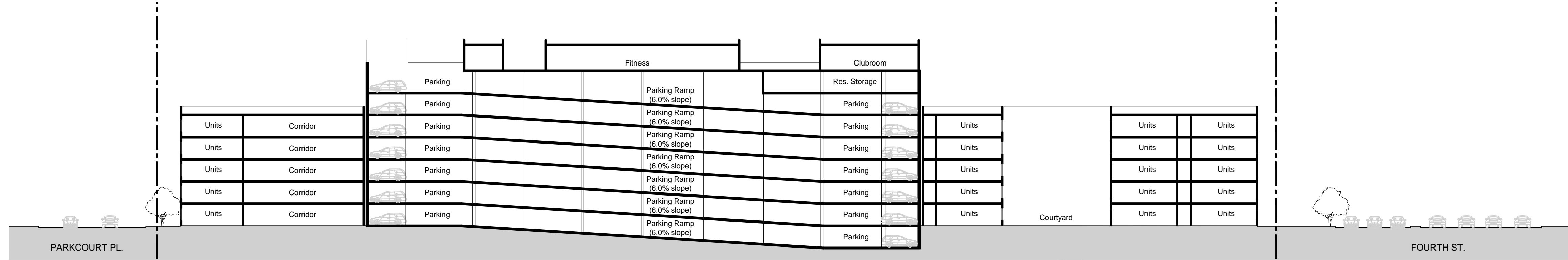
CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020



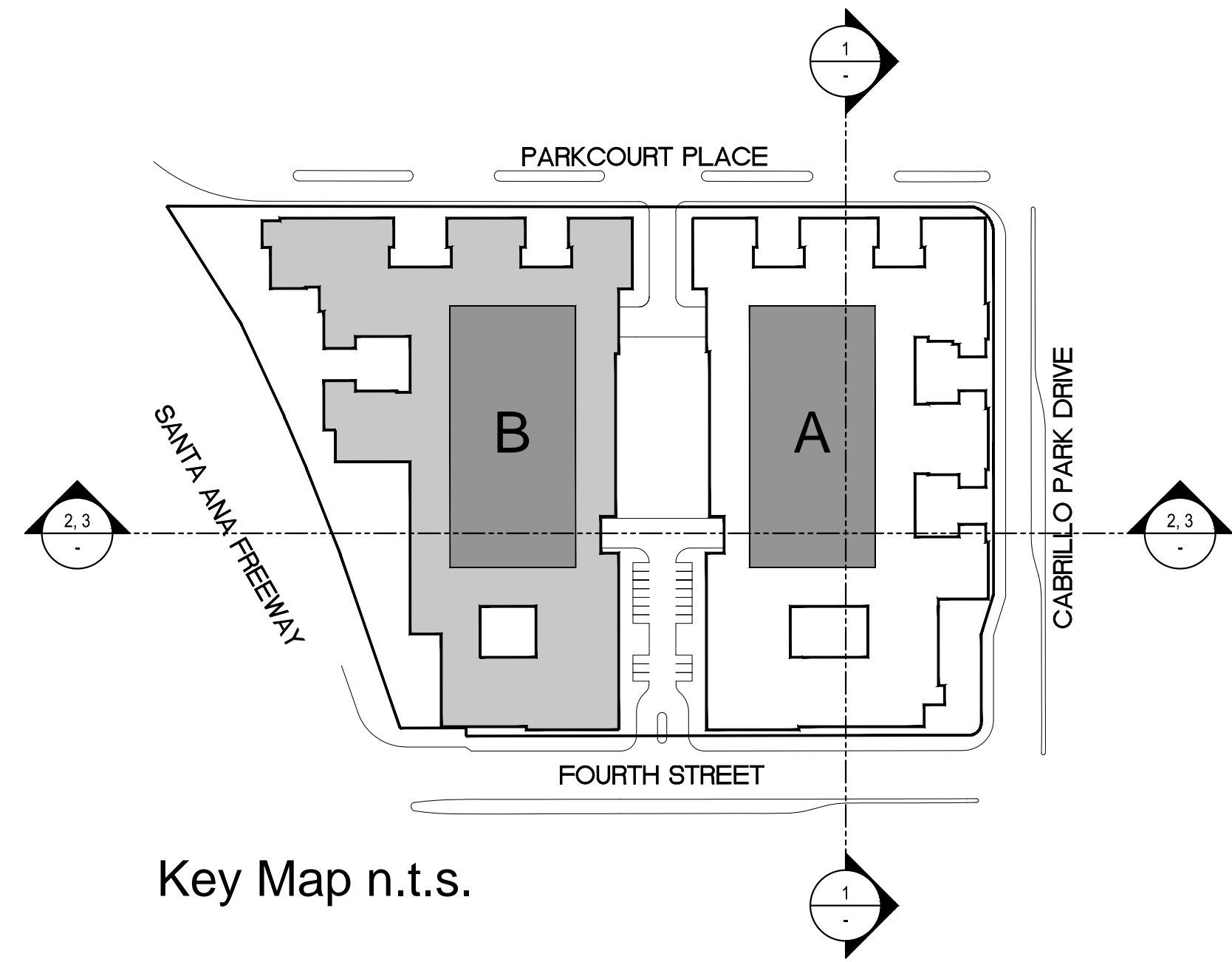
ROOF PLAN
BUILDING B

A-328

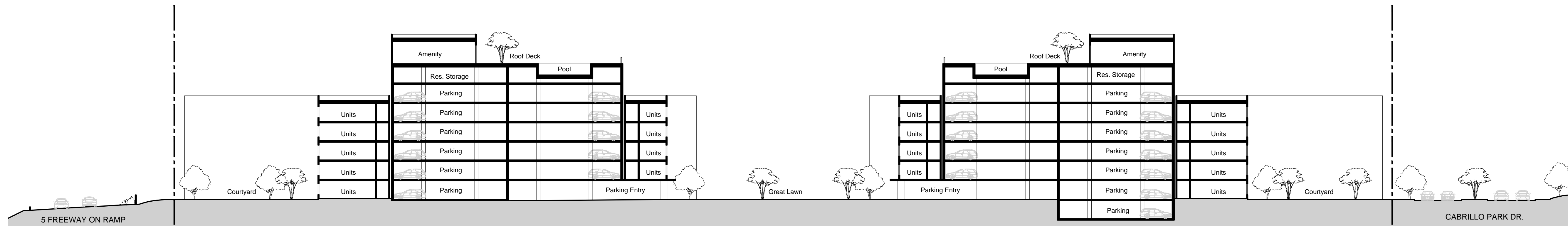


BUILDING A

1. Site Section (1":30'-0")



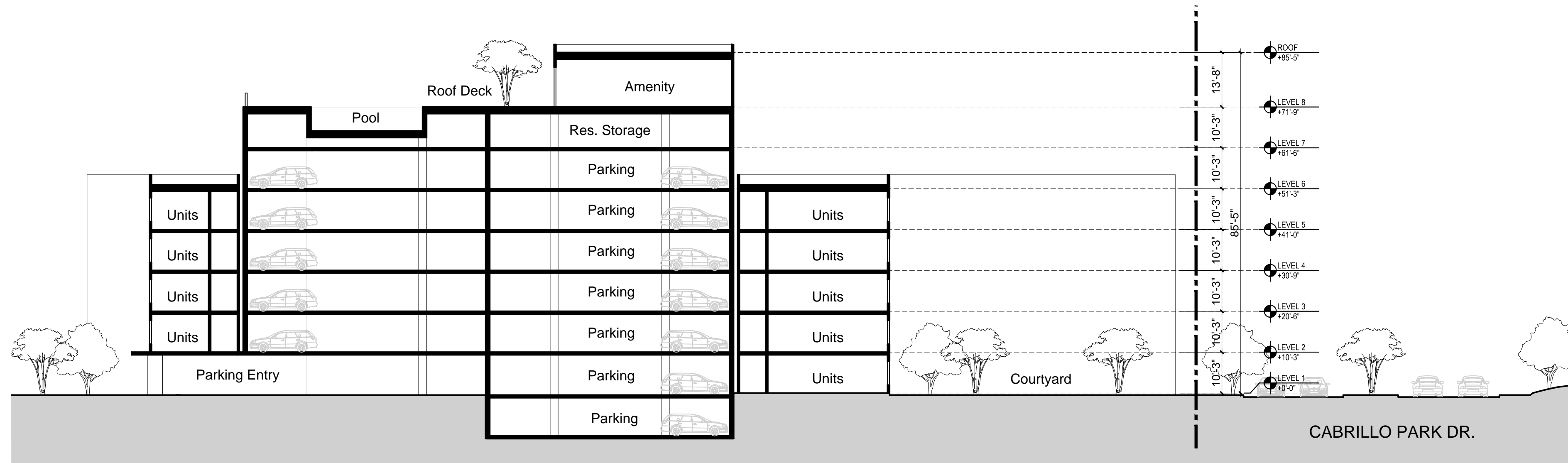
Key Map n.t.s.



BUILDING B

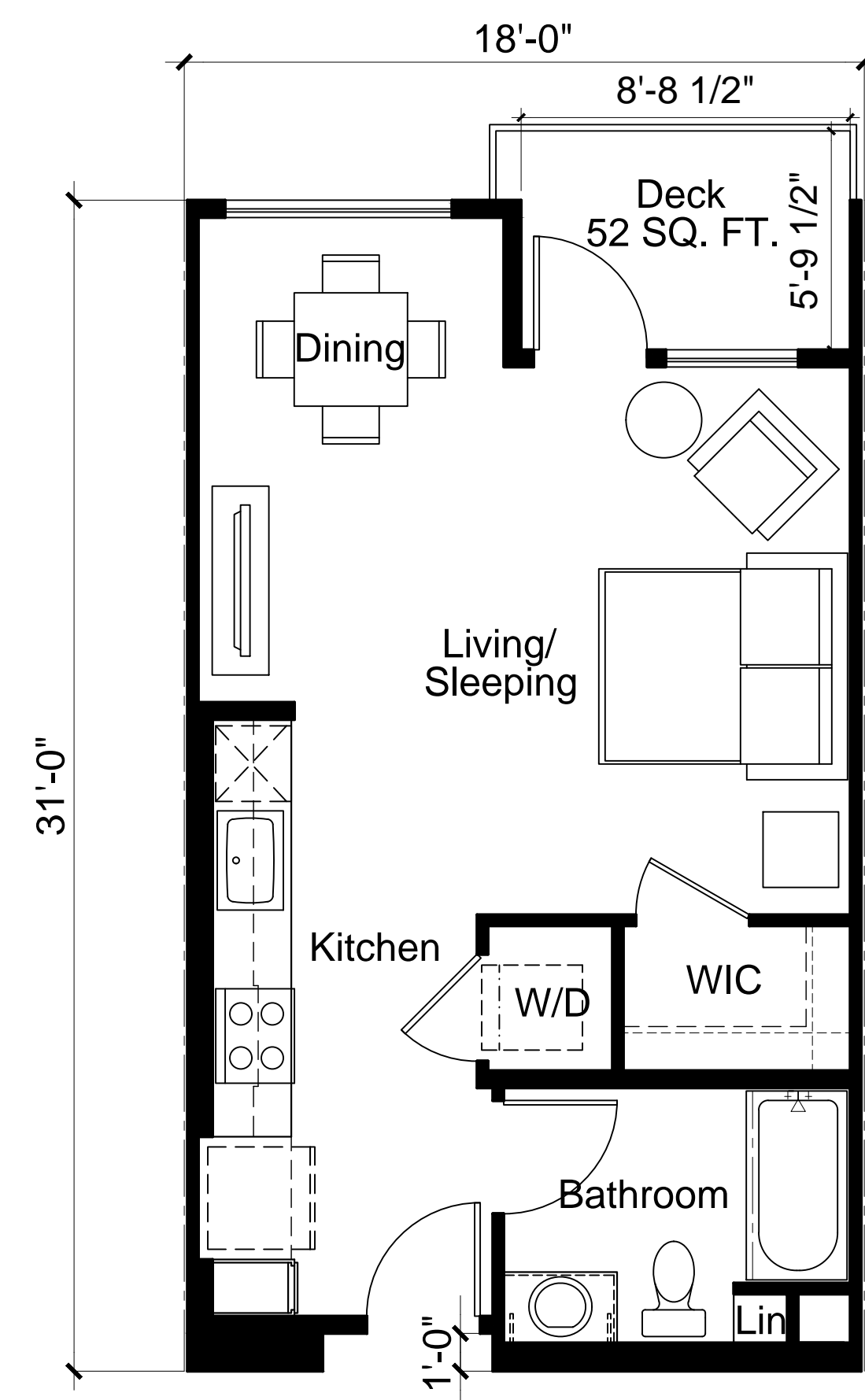
BUILDING A

2. Site Section (1":30'-0")

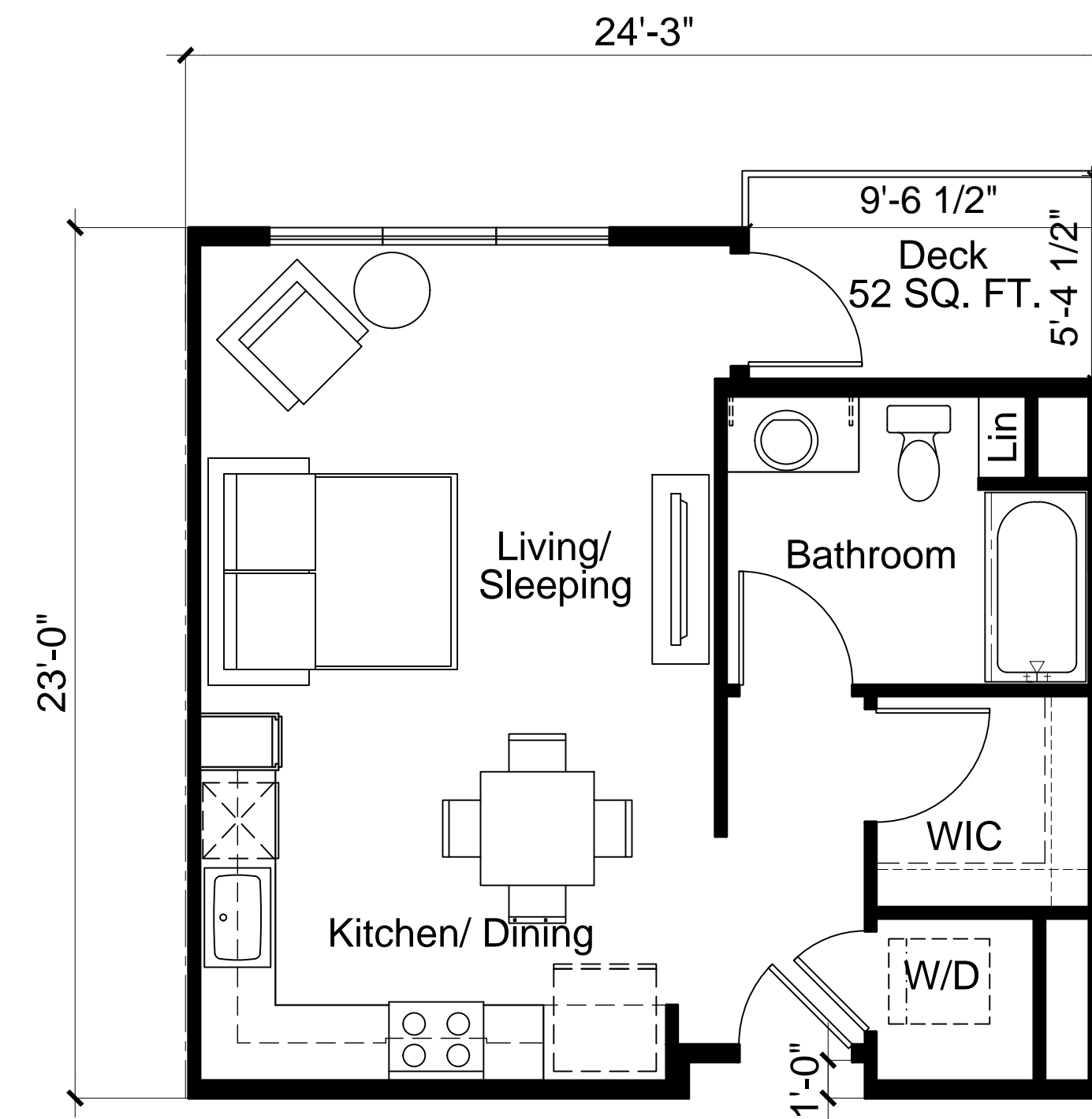


BUILDING A

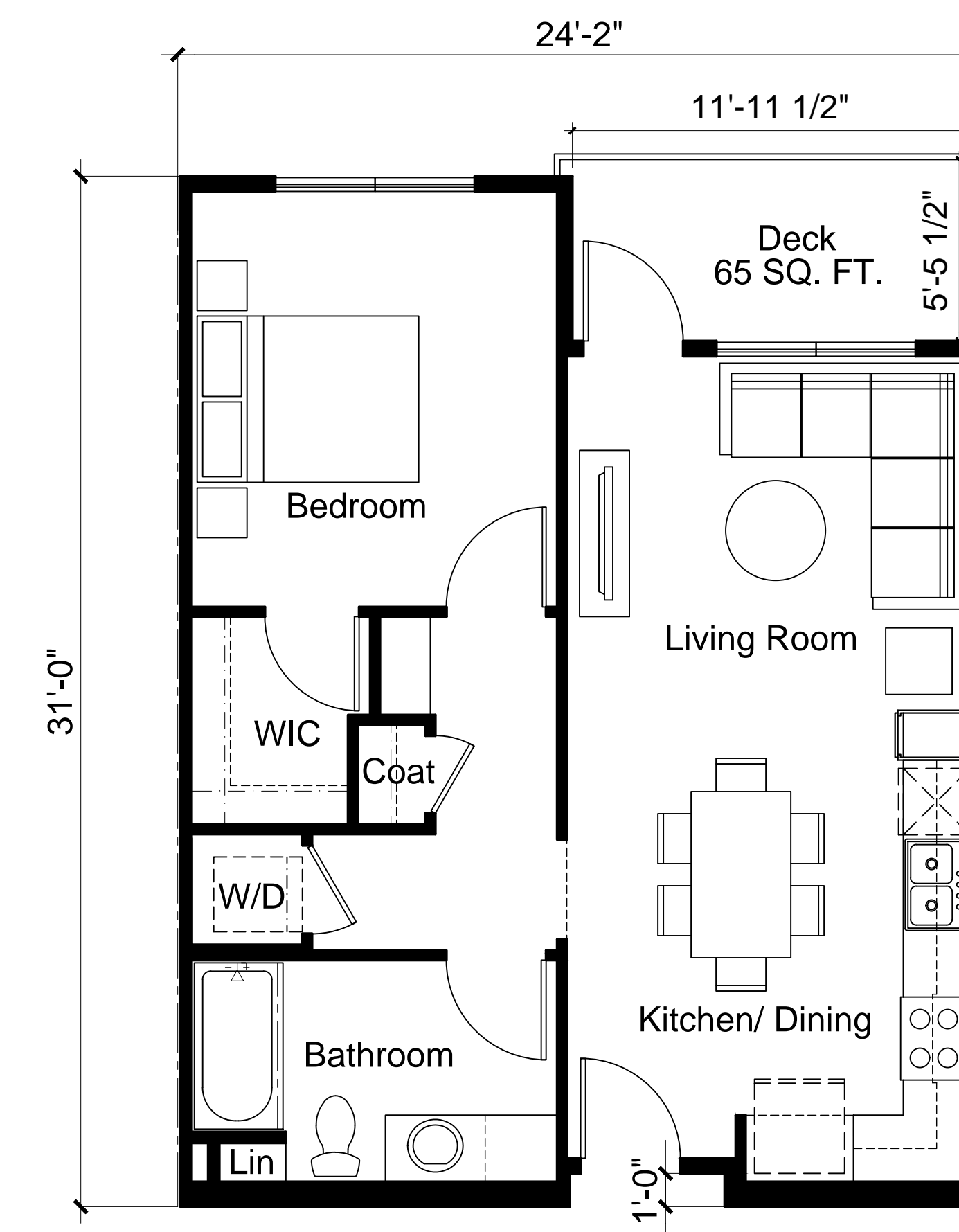
3. Building A Section (1":20'-0")



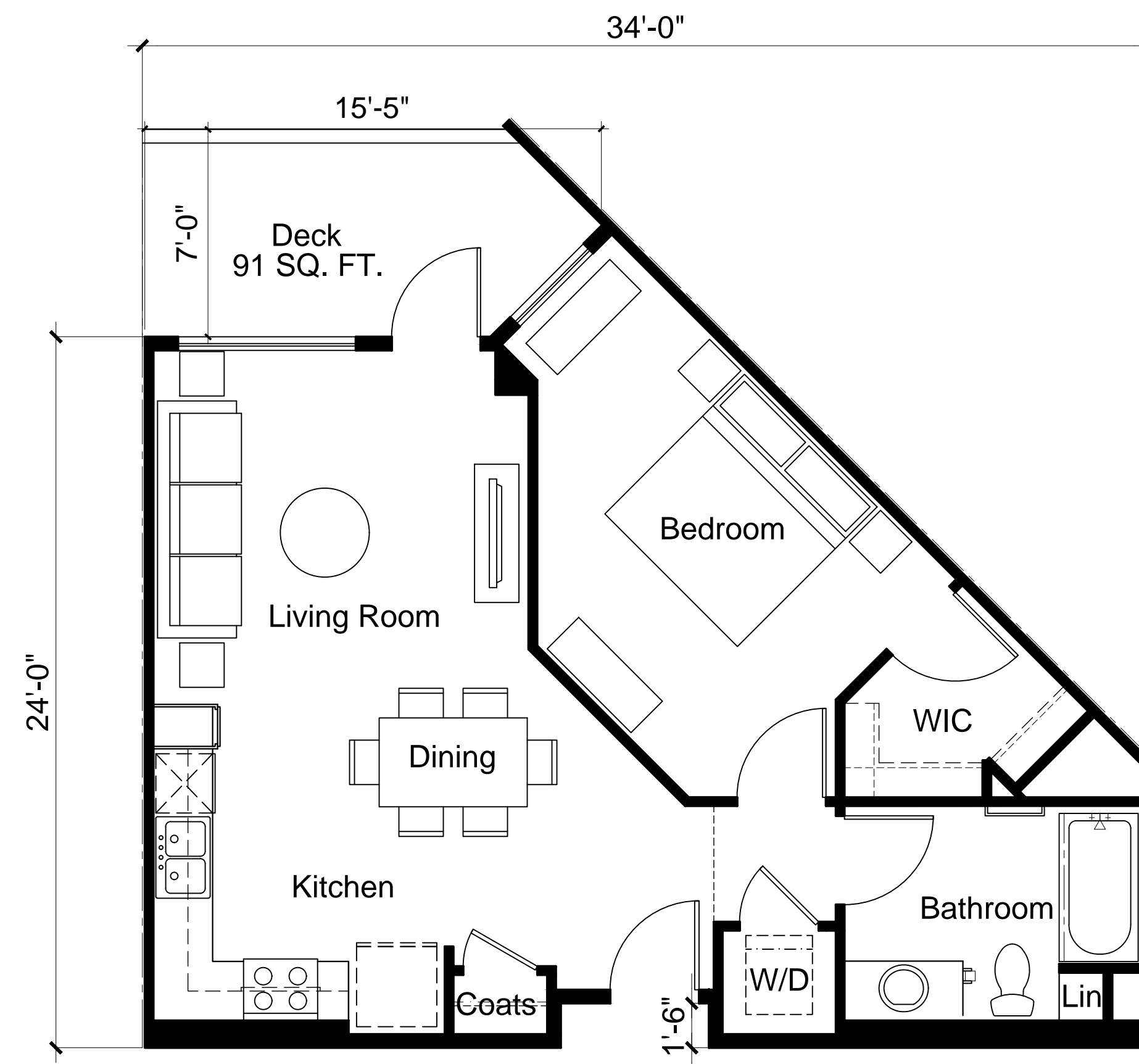
Plan 0-1
Studio
518 SQ. FT.



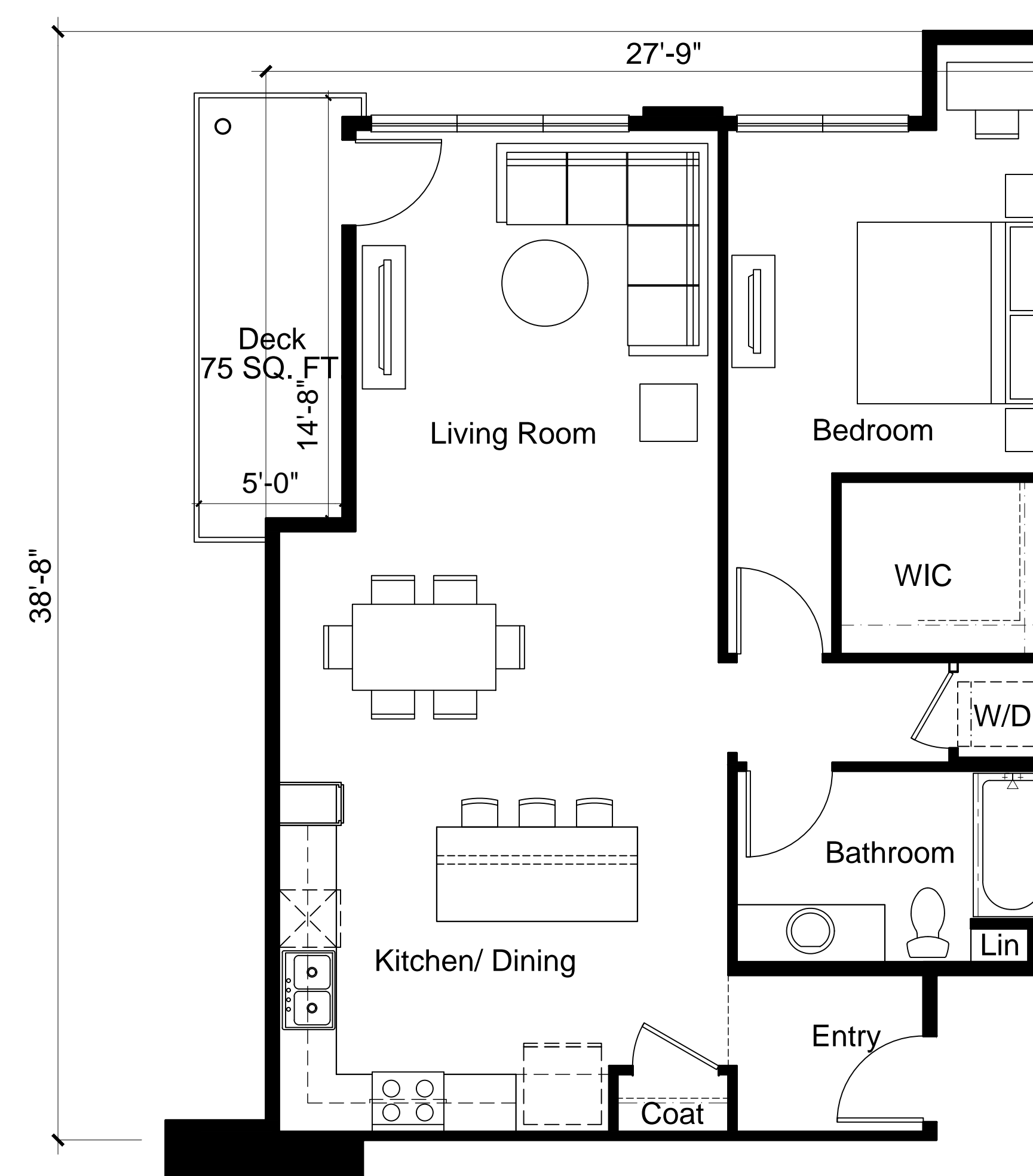
Plan 0-2
Studio
516 SQ. FT.



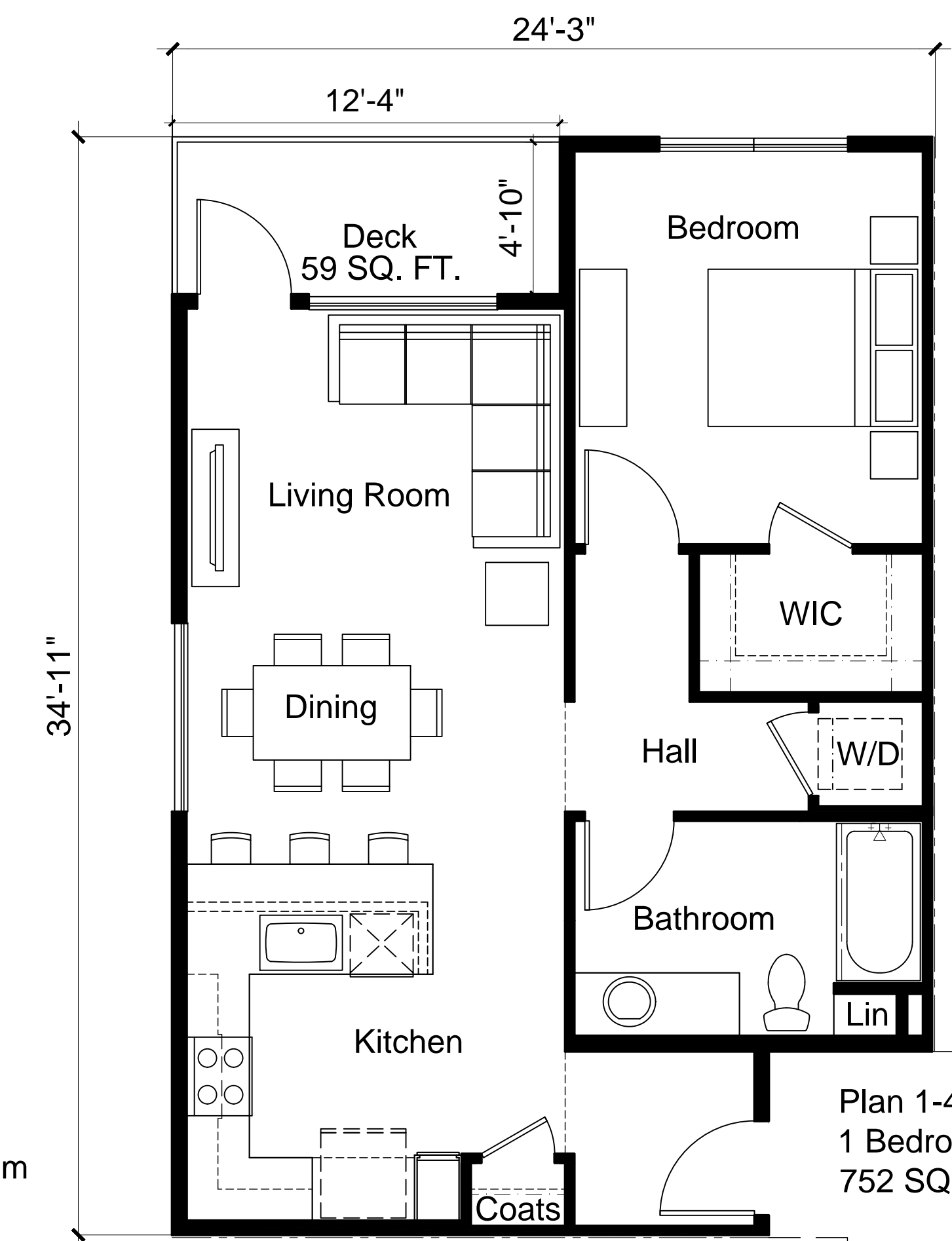
Plan 1-1
1 Bedroom / 1 Bathroom
683 SQ. FT.



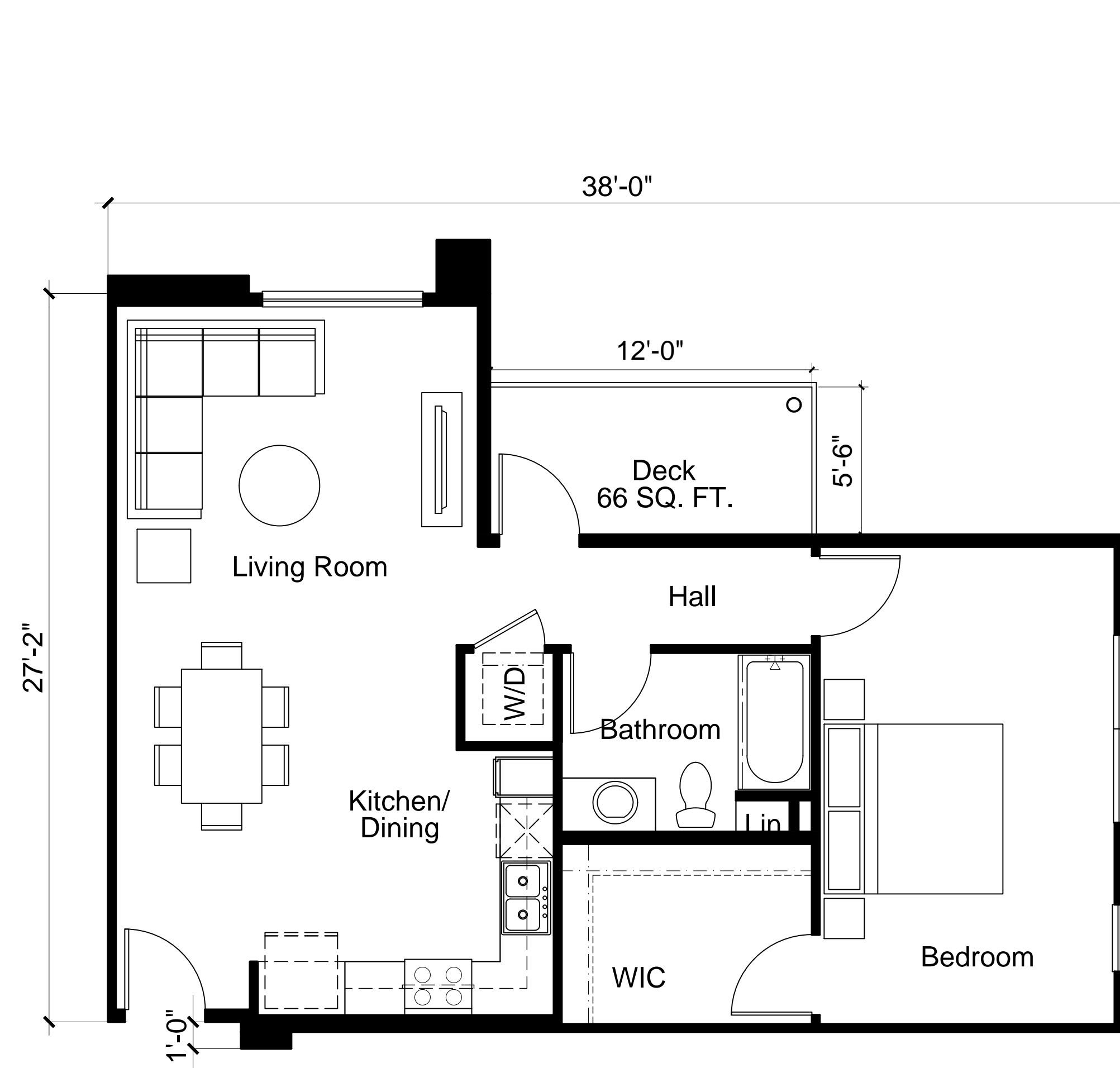
Plan 1-2
1 Bedroom / 1 Bathroom
725 SQ. FT.



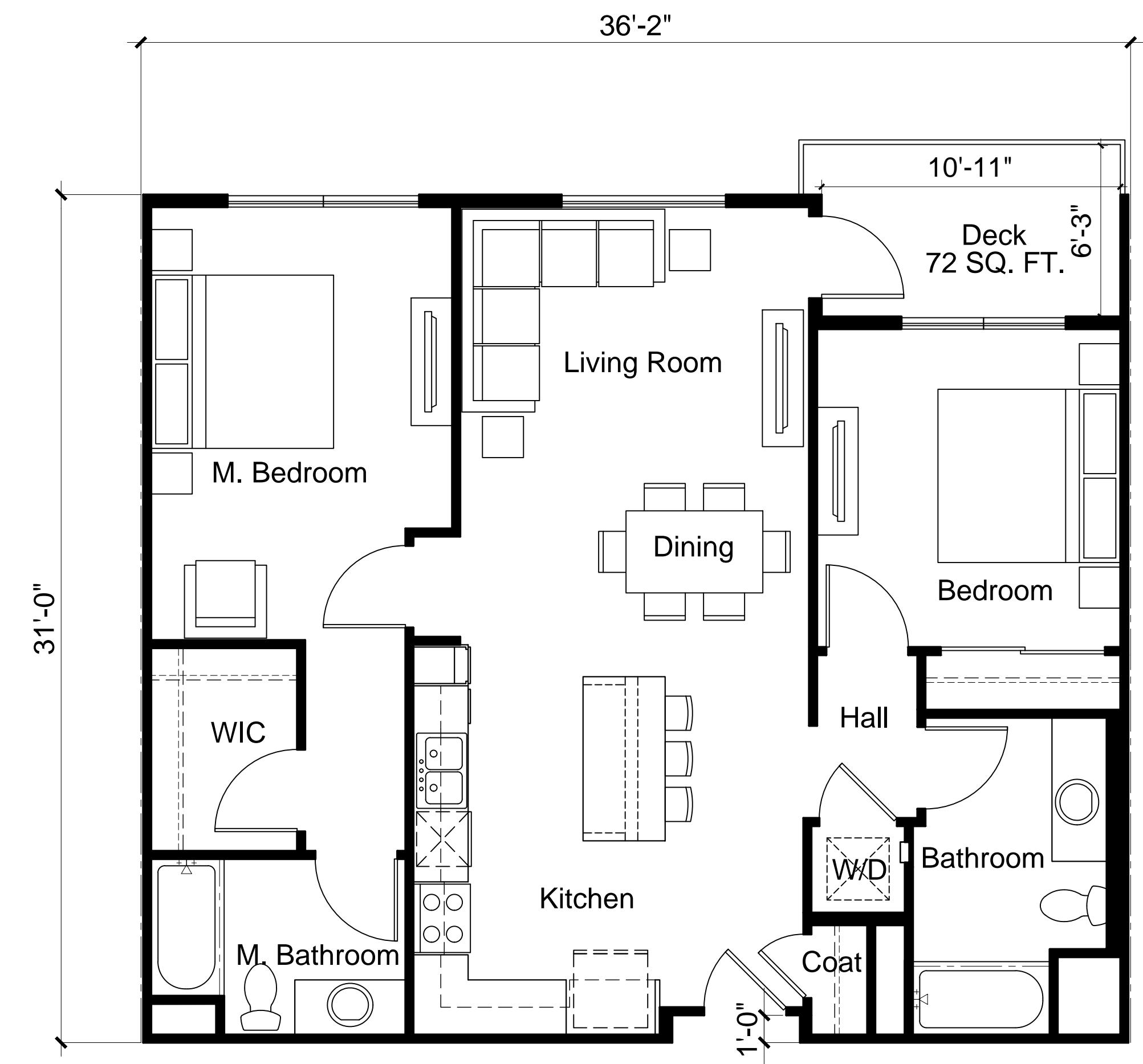
Plan 1-3
1 Bedroom / 1 Bathroom
942 SQ. FT.



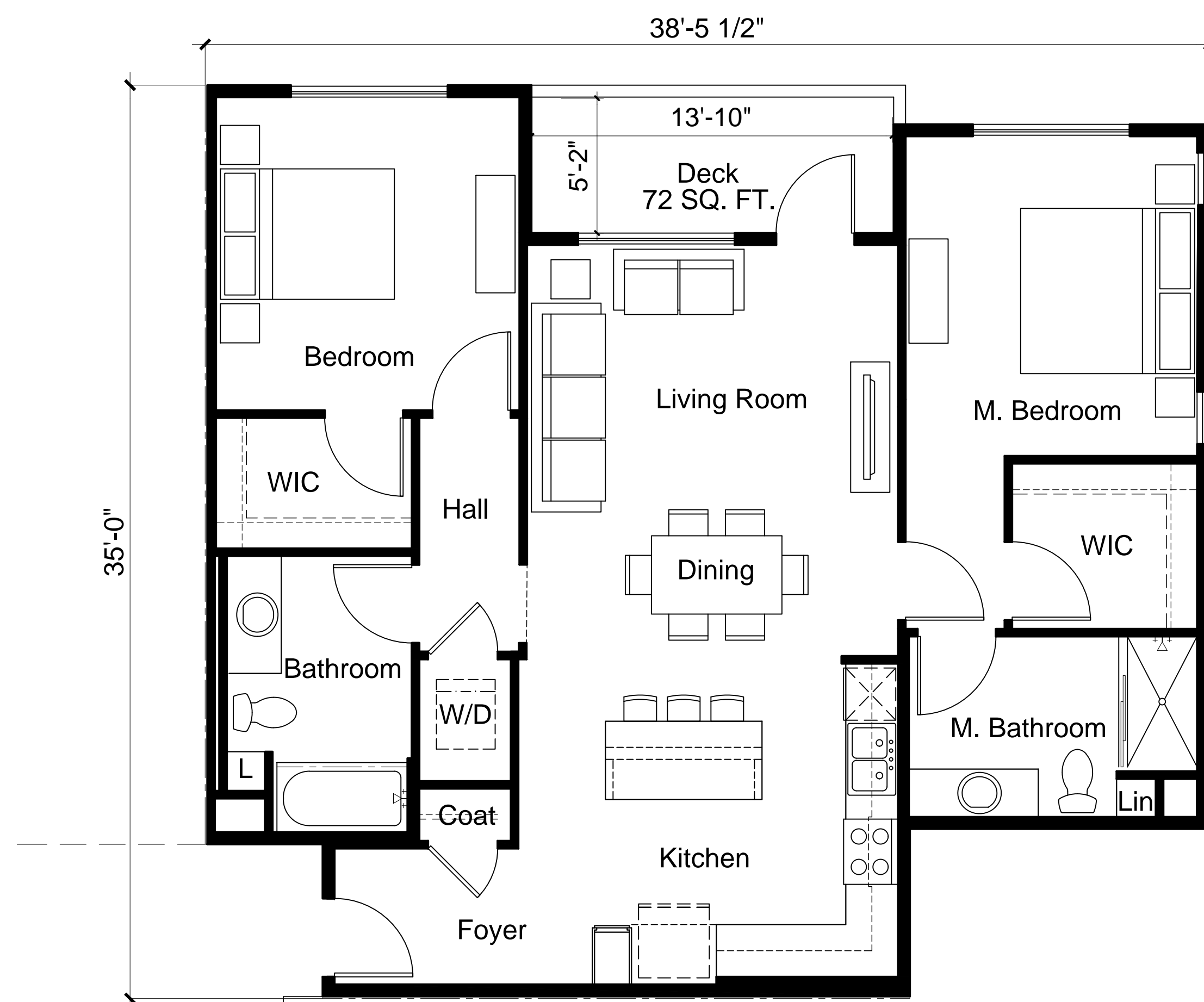
Plan 1-4
1 Bedroom / 1 Bathroom
752 SQ. FT.



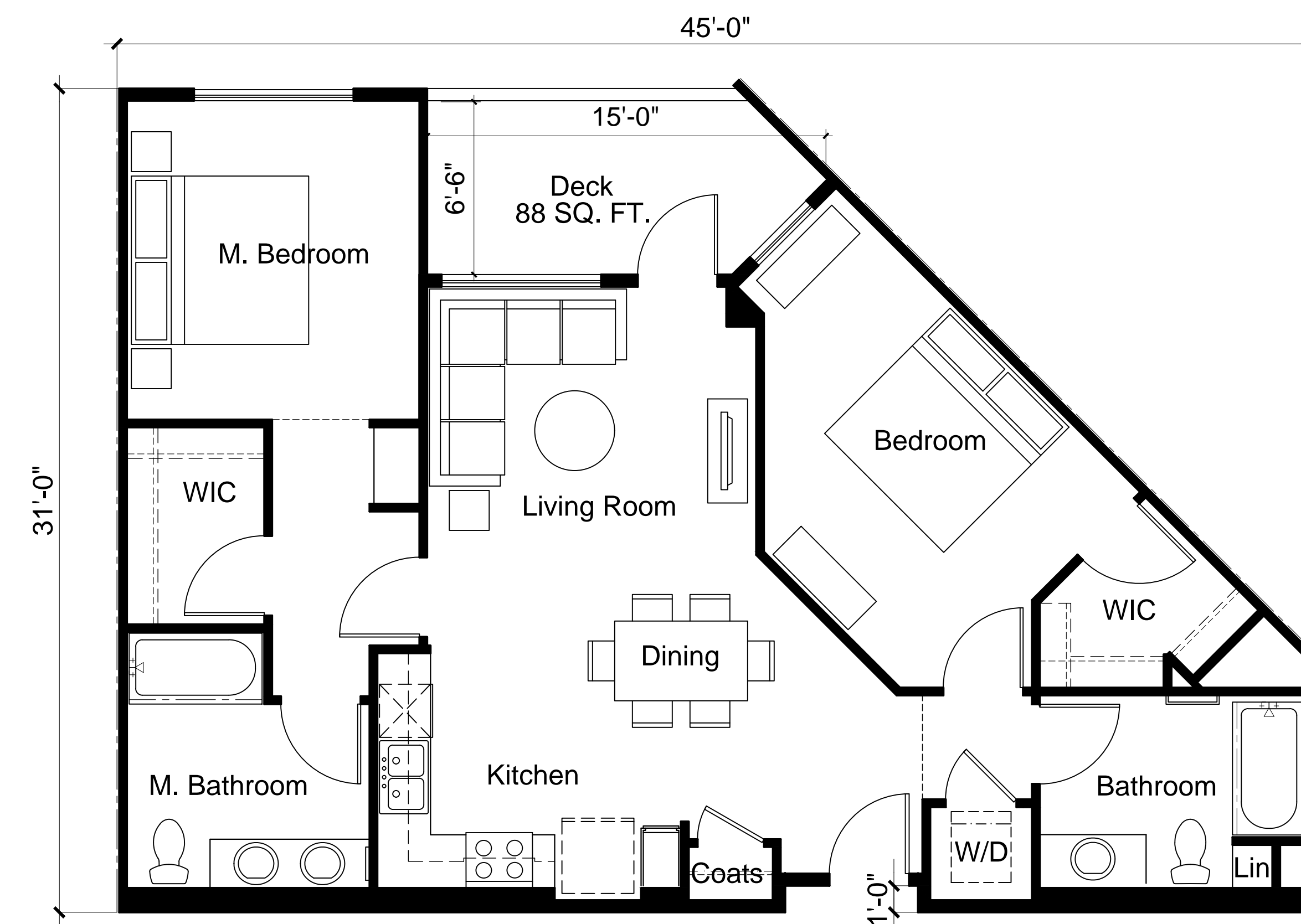
Plan 1-5
1 Bedroom / 1 Bathroom
831 SQ. FT.



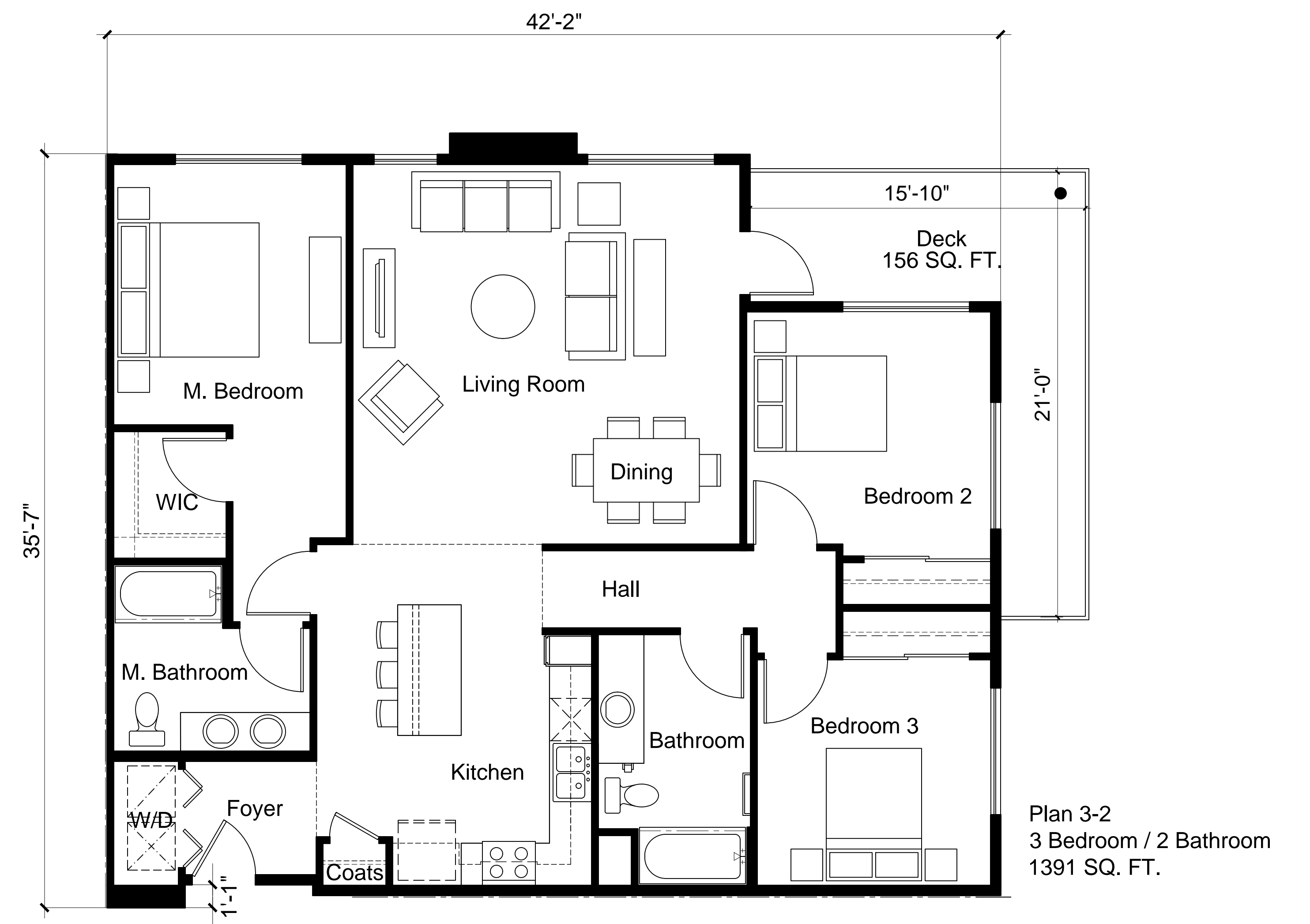
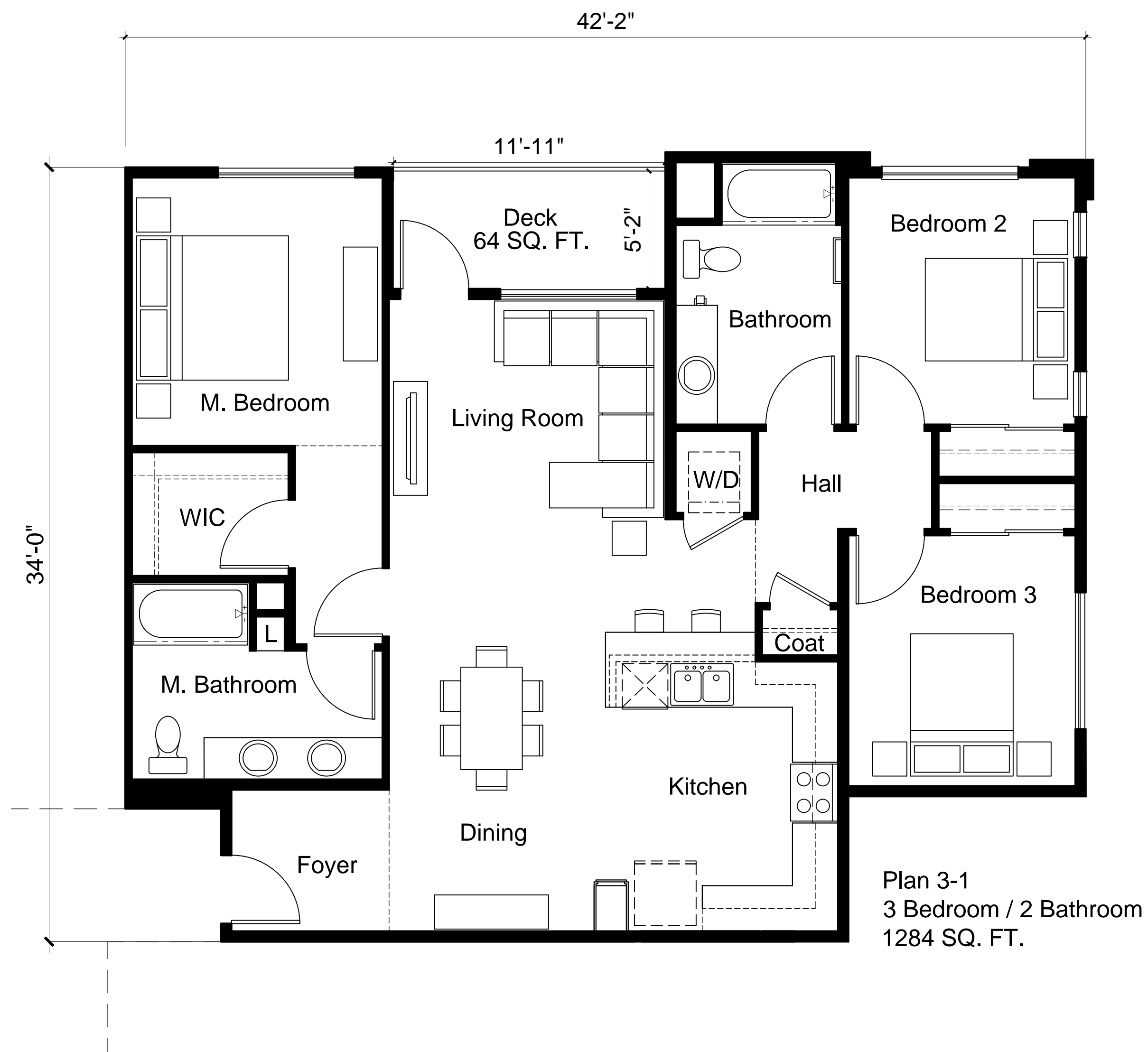
Plan 2-1
2 Bedroom / 2 Bathroom
1,066 SQ. FT.



Plan 2-2
2 Bedroom / 2 Bathroom
1148 SQ. FT.



Plan 2-3
2 Bedroom / 2 Bathroom
1071 SQ. FT.





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CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

RENDERINGS
SITE AERIAL

A-601



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CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

RENDERINGS
VIEW OF 4TH STREET FRONTAGE

A-602



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CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

RENDERINGS
VIEW OF ROOFTOP AMENITY

A-603



View of 4th Street and Cabrillo Park Drive



View of Linear Park



View of Retail Plaza at 4th Street and Cabrillo Park Drive



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CENTRAL POINTE
SANTA ANA, CA # 2019-0129

CONCEPTUAL DESIGN
JULY 20TH, 2020

RENDERINGS

A-604



View of Building A's East Elevation



View of Project Entry off 4th Street



View of seating in the Great Lawn Park



View of Forecourt on Cabrillo Park Drive



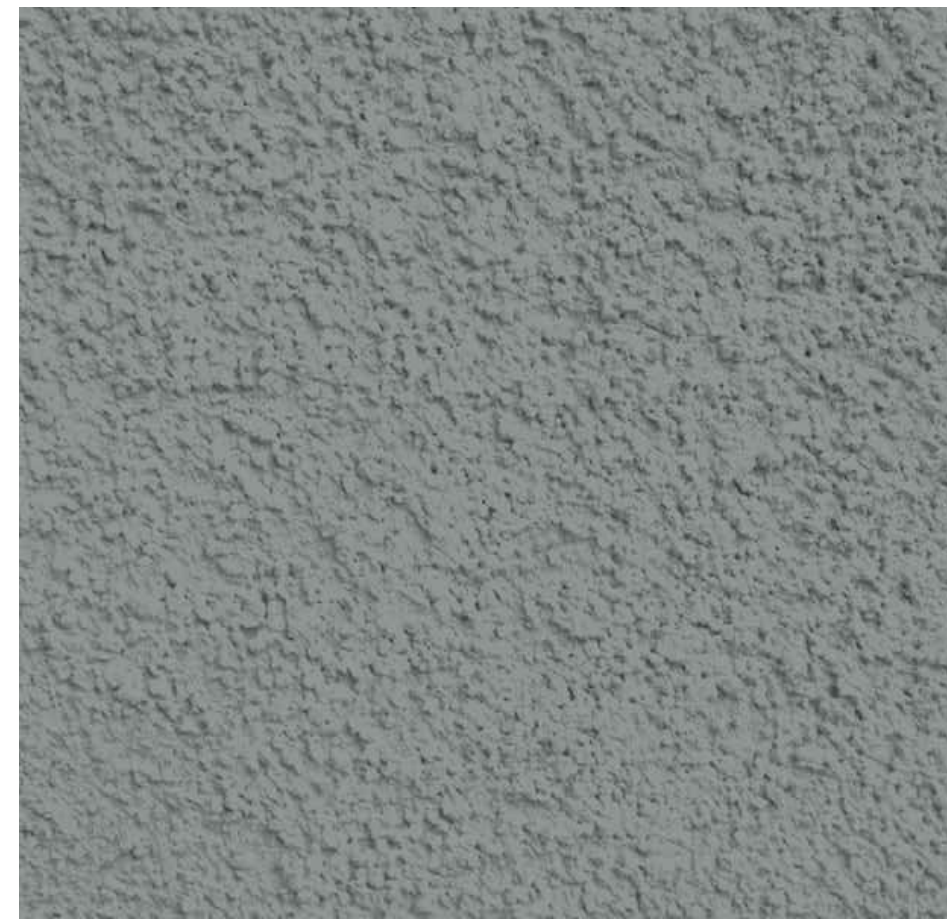
View of walking path in the Great Lawn Park



View looking down the Linear Park



1. STUCCO 1



2. STUCCO 2



3. SIMULATED WOOD
FIBER CEMENT SIDING



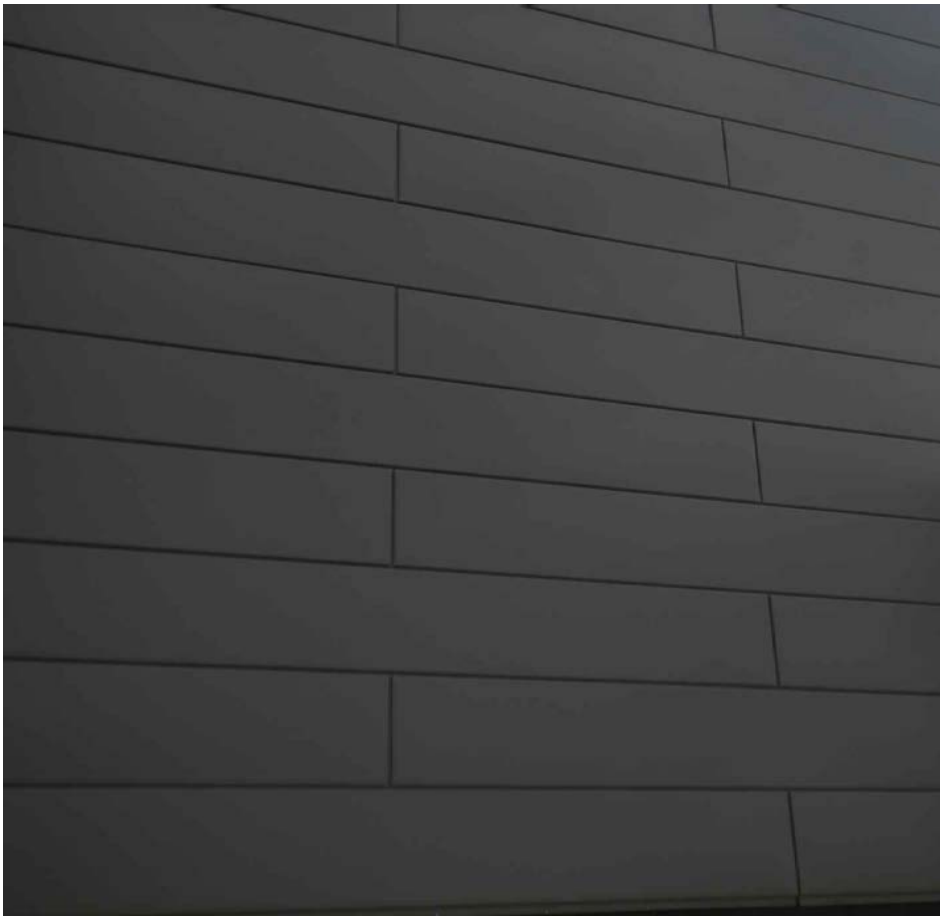
4. LAP SIDING
FIBER CEMENT SIDING



5. PANEL SIDING
FIBER CEMENT SIDING



6. PANEL SIDING
FIBER CEMENT SIDING



7. FLAT METAL PANEL



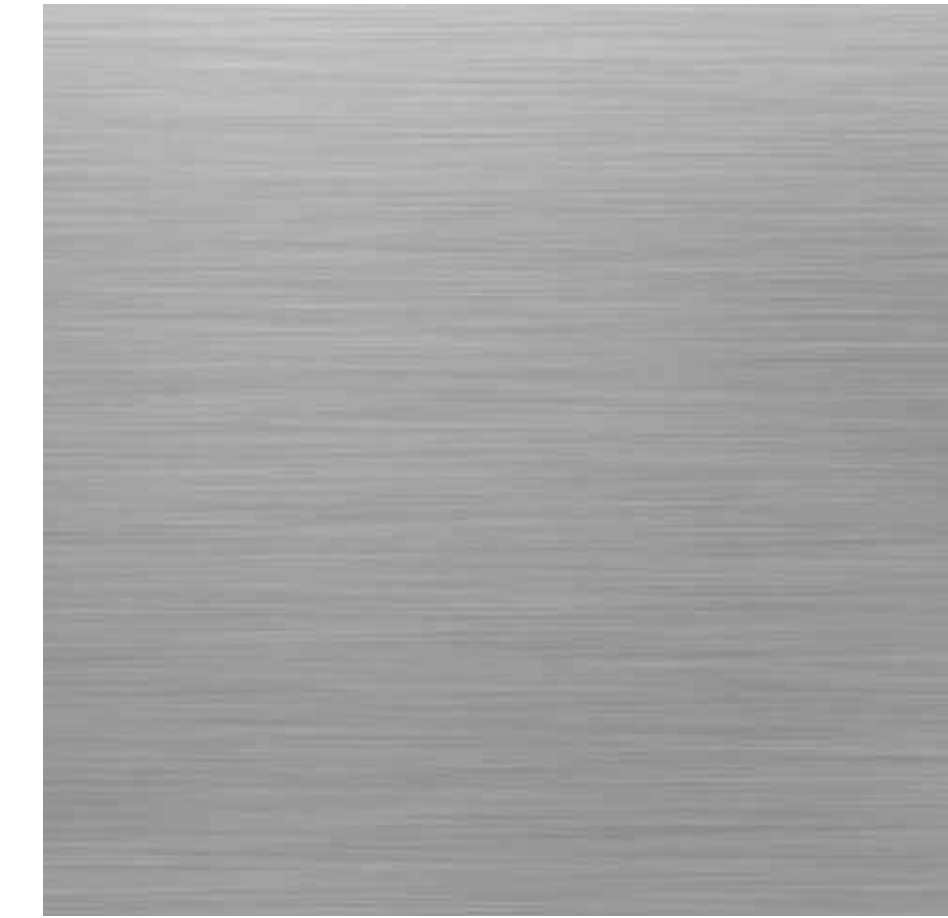
8. FLAT METAL PANEL



9. FROSTED GLASS RAILING



10. VINYL WINDOWS

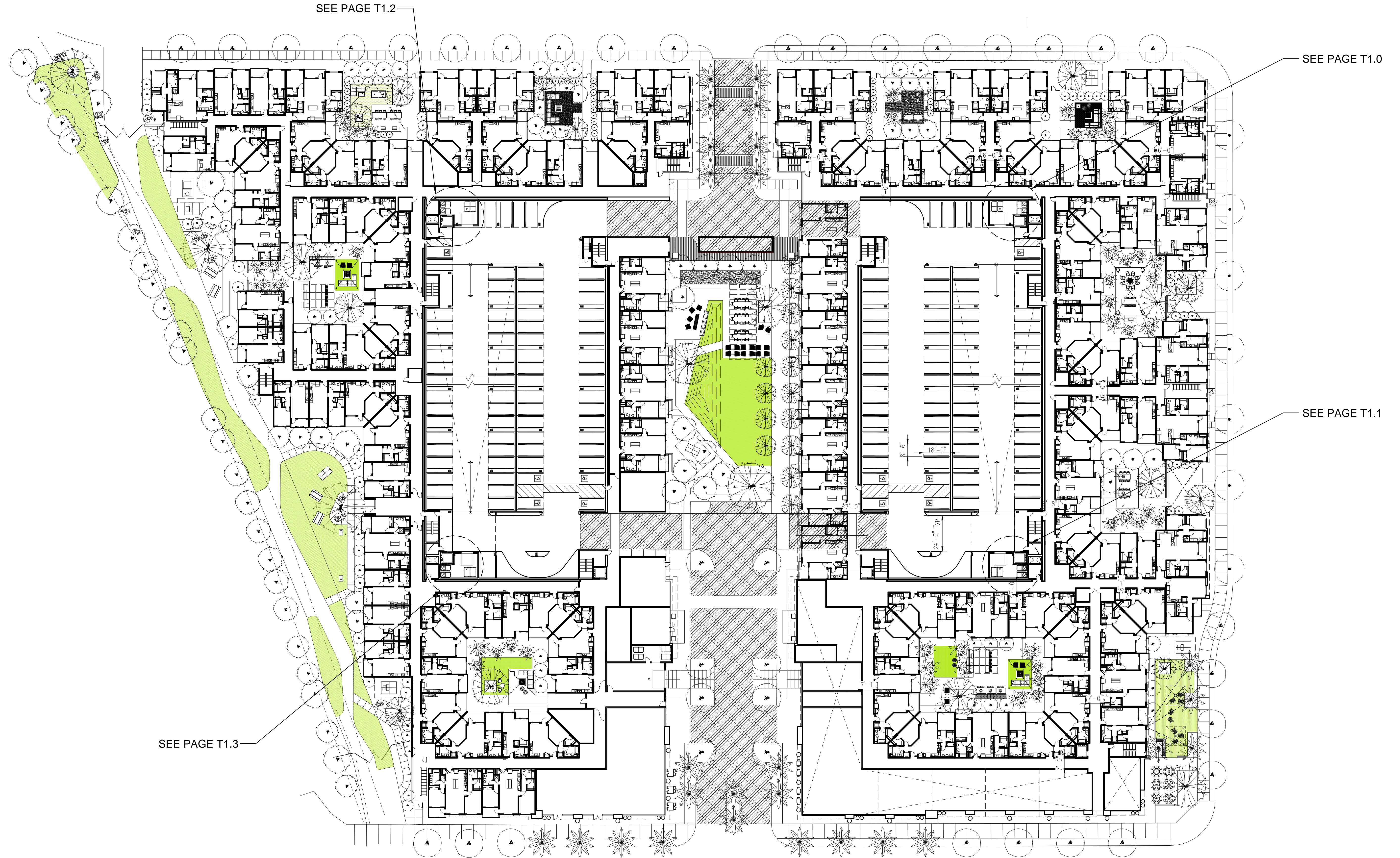


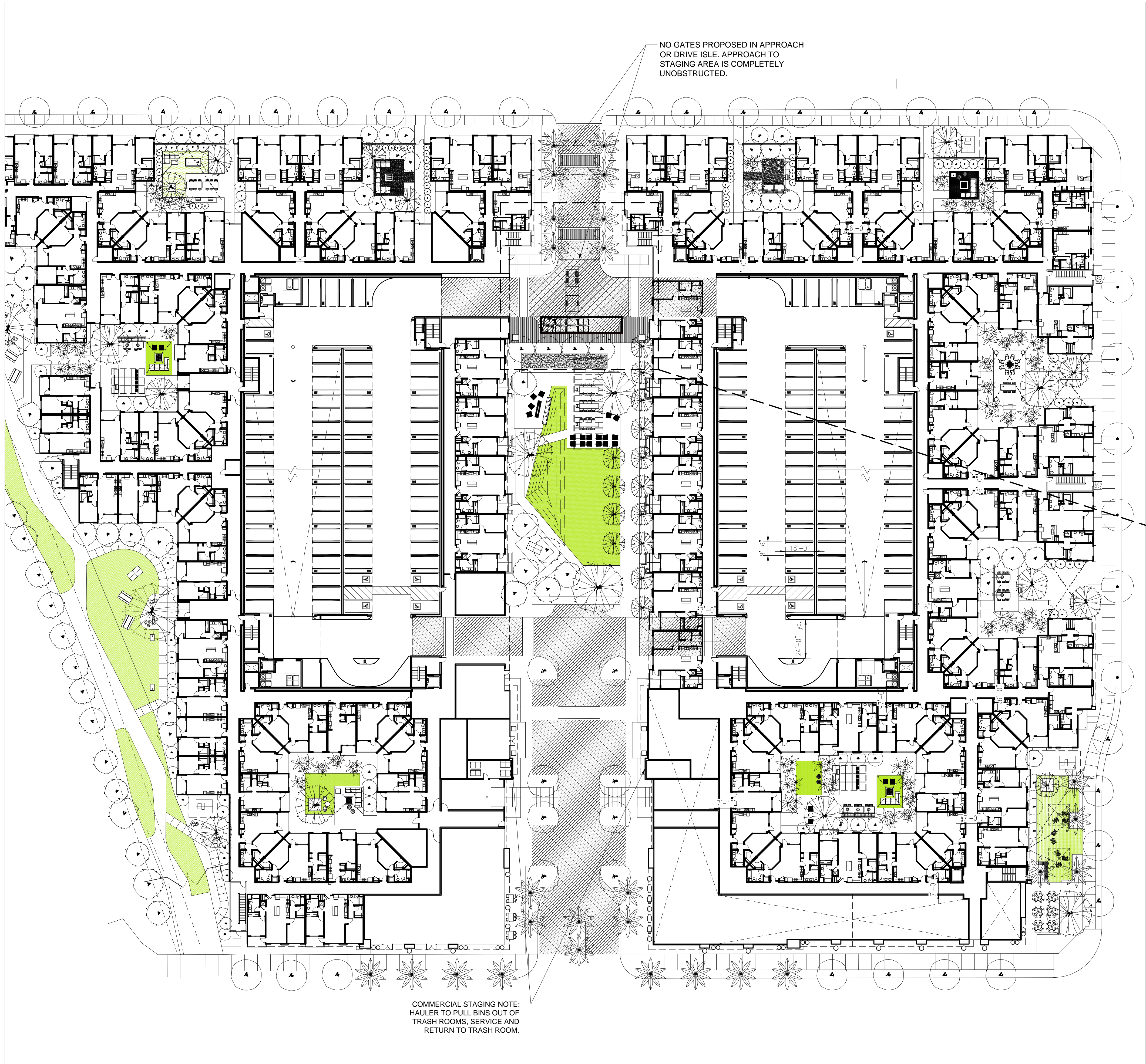
11. ALUMINUM FRAME STOREFRONT



12. STONE VENEER

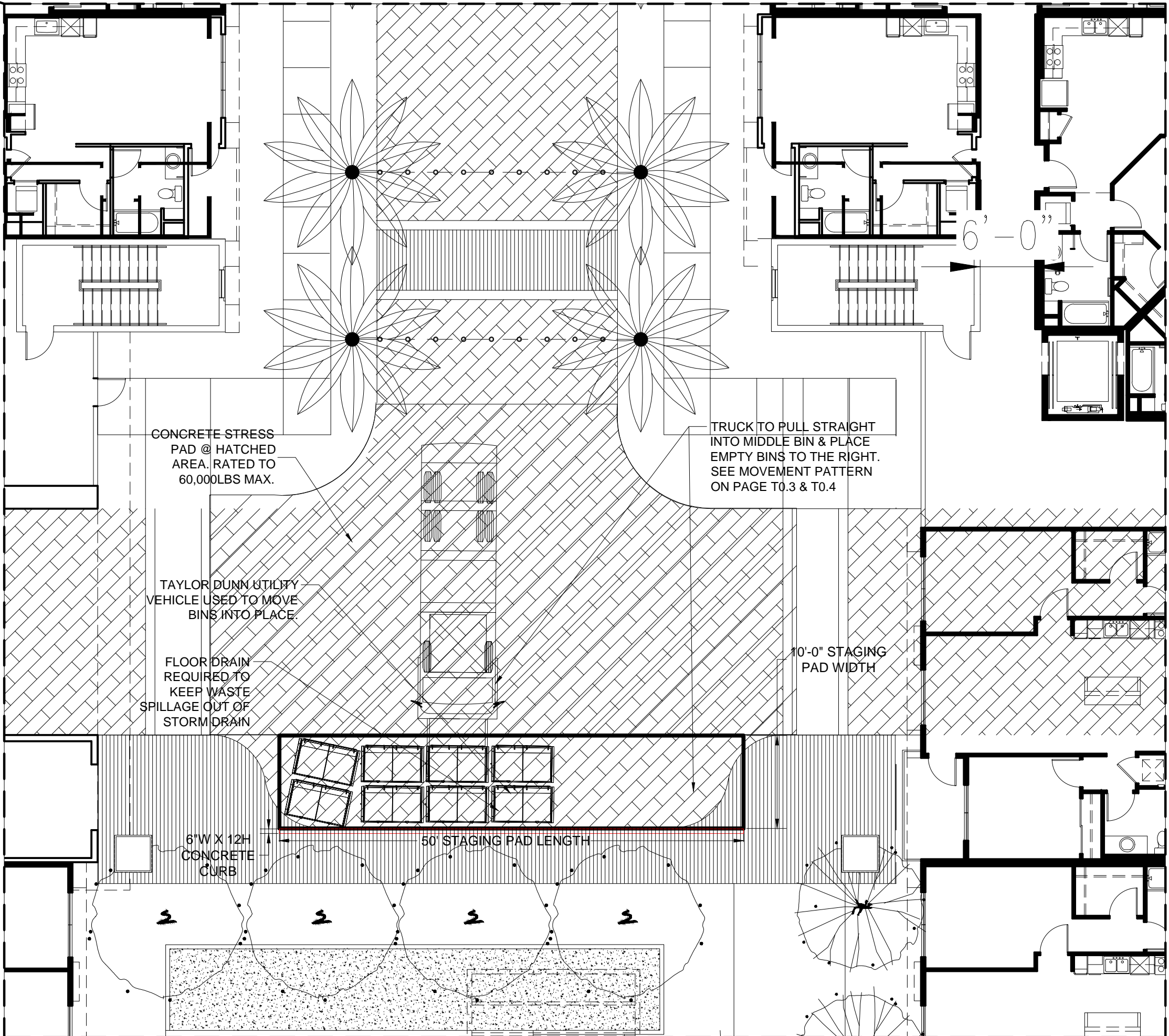


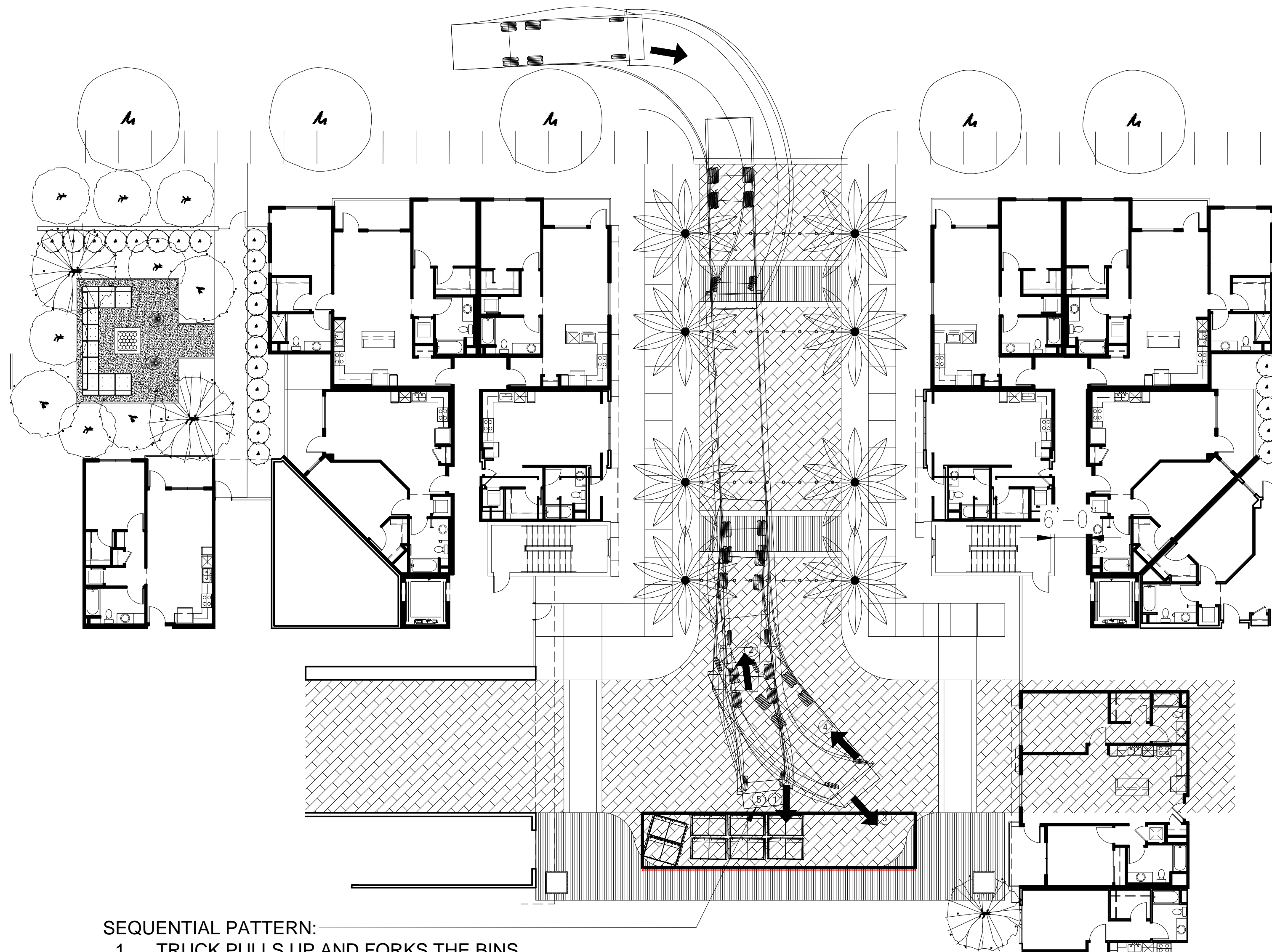




RESIDENTIAL TRASH COLLECTION SCHEDULE BUILDING A + B TOTAL							
SERVICE	M	T	W	T	F	S	S
3CY WASTE	8				4		
3CY RECYCLING		8			4		
TOTAL	8	8			8		

SEE PAGE T0.3 FOR TRUCK
MANEUVERING PATTERNS



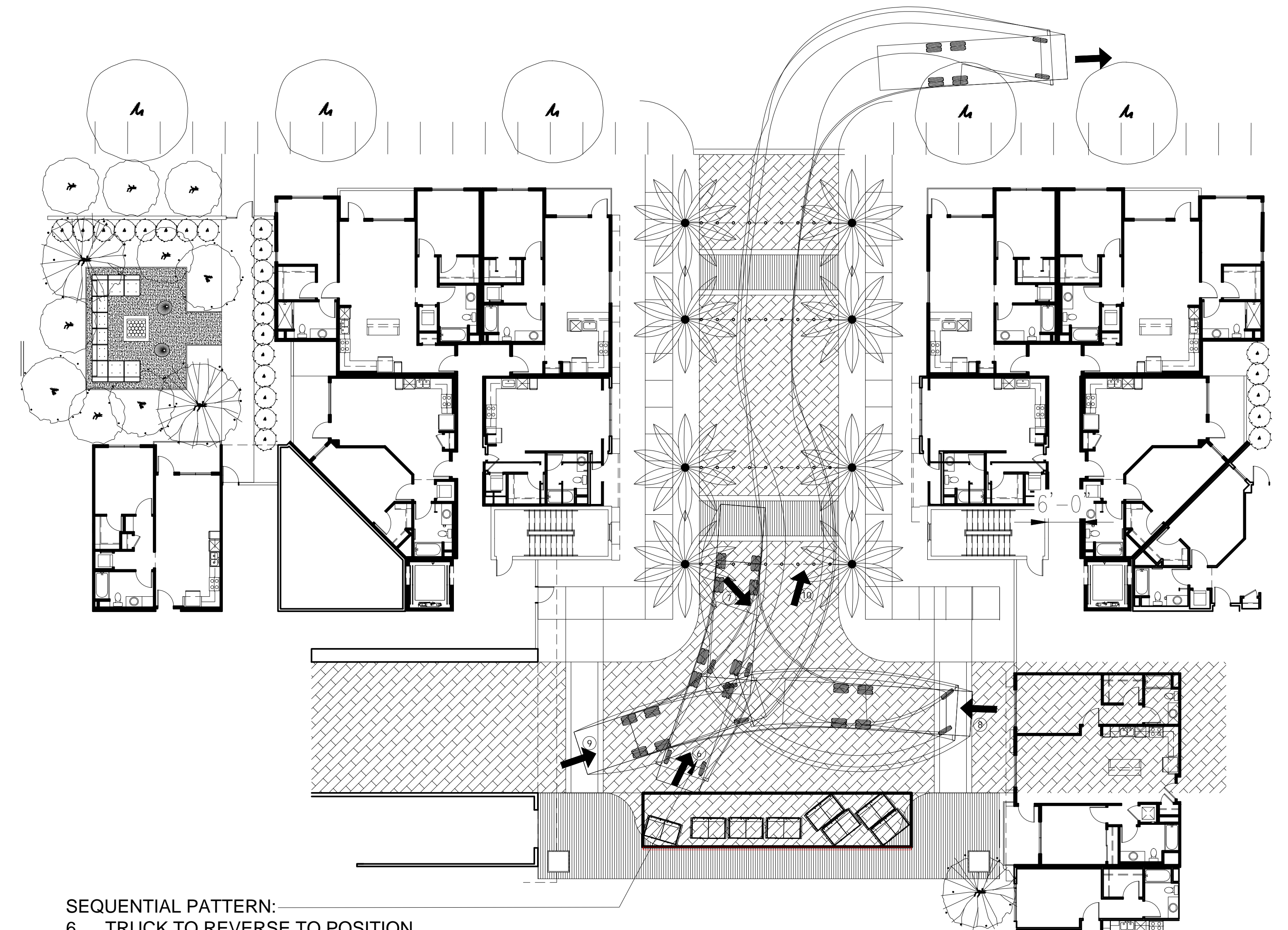


SEQUENTIAL PATTERN:

1. TRUCK PULLS UP AND FORKS THE BINS SETUP IN THE MIDDLE (INITIAL BIN SETUP).
2. TRUCK TO BACK UP WITH EMPTY BIN.
3. TRUCK TO PULL FORWARD WITH EMPTY BIN AND PLACE.
4. TRUCK TO BACK UP AND POSITION ITSELF TO PULL FORWARD.
5. TRUCK TO PULL FORWARD AND REPEAT PATTERN UNTIL ALL BINS ARE SERVICED.

SEE PAGE T0.4 FOR EXACT BIN MOVEMENT PATTERN.

FRONT LOAD VEHICLE ENTRY (INITIAL BIN PLACEMENT)

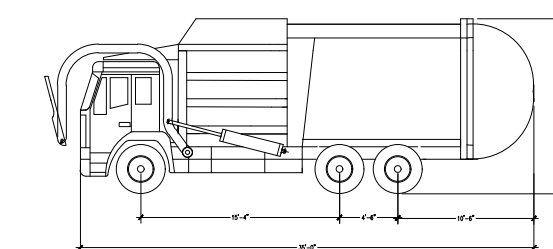


SEQUENTIAL PATTERN:

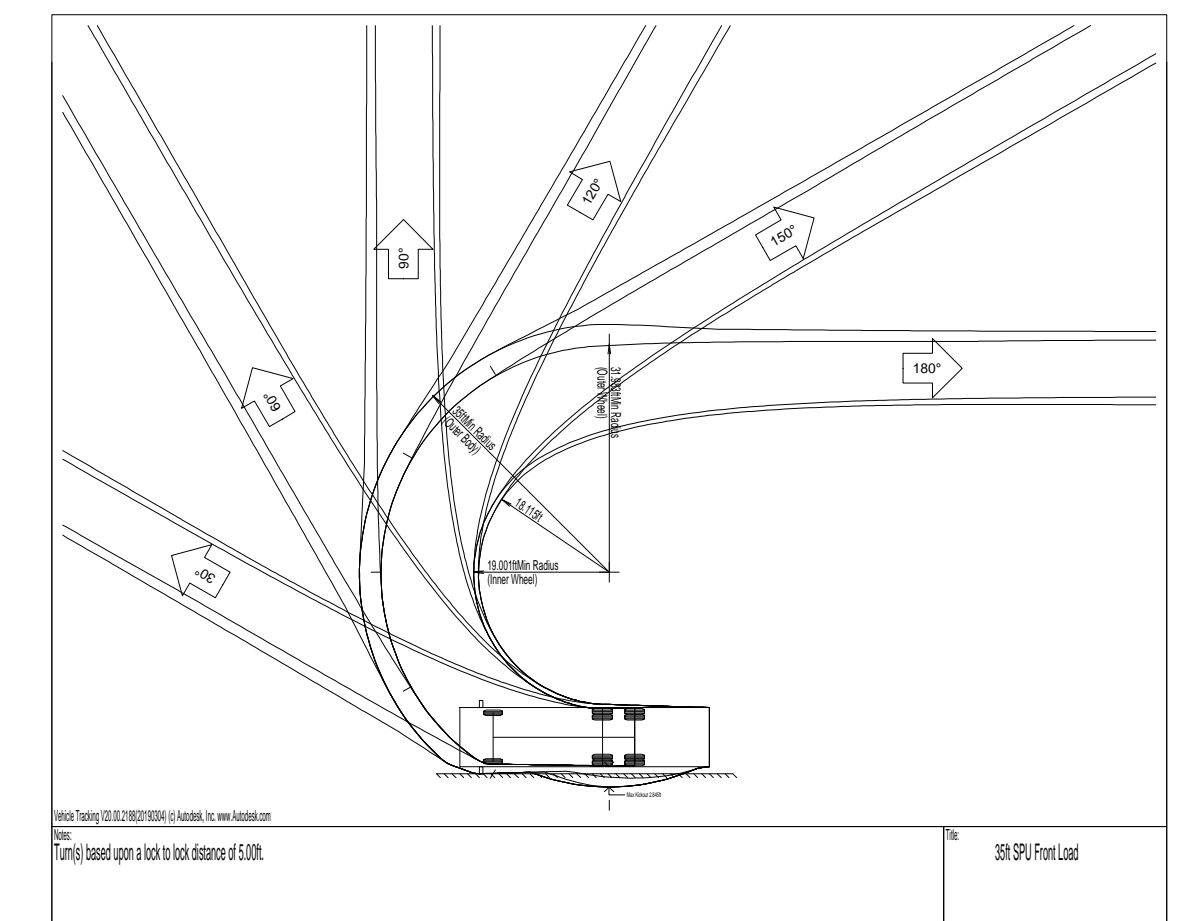
6. TRUCK TO REVERSE TO POSITION ITSELF FOR 3 POINT TURN.
- 7-9. TRUCK TO CONDUCT 3 POINT TURN
10. TRUCK TO PULL FORWARD AND EXIT.

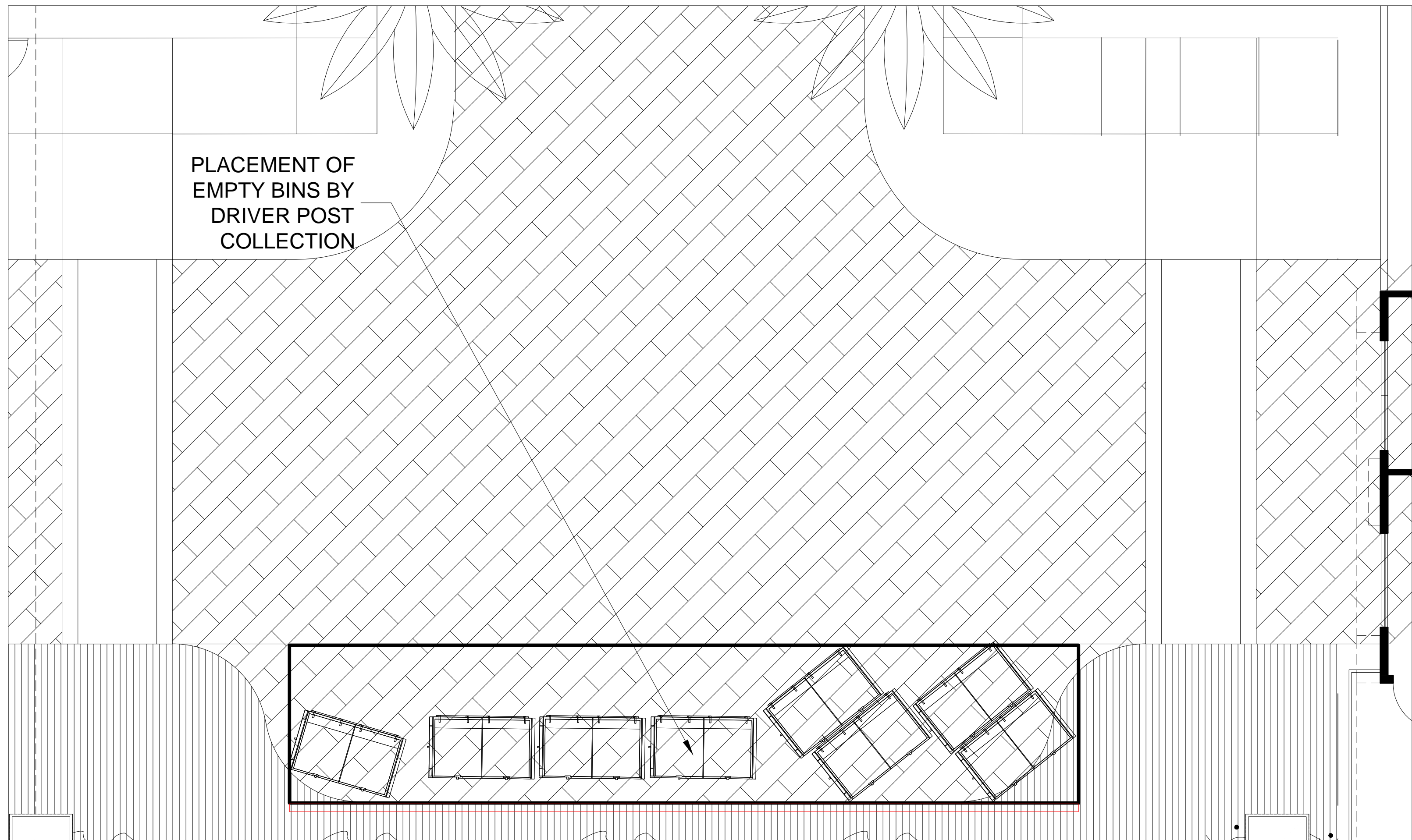
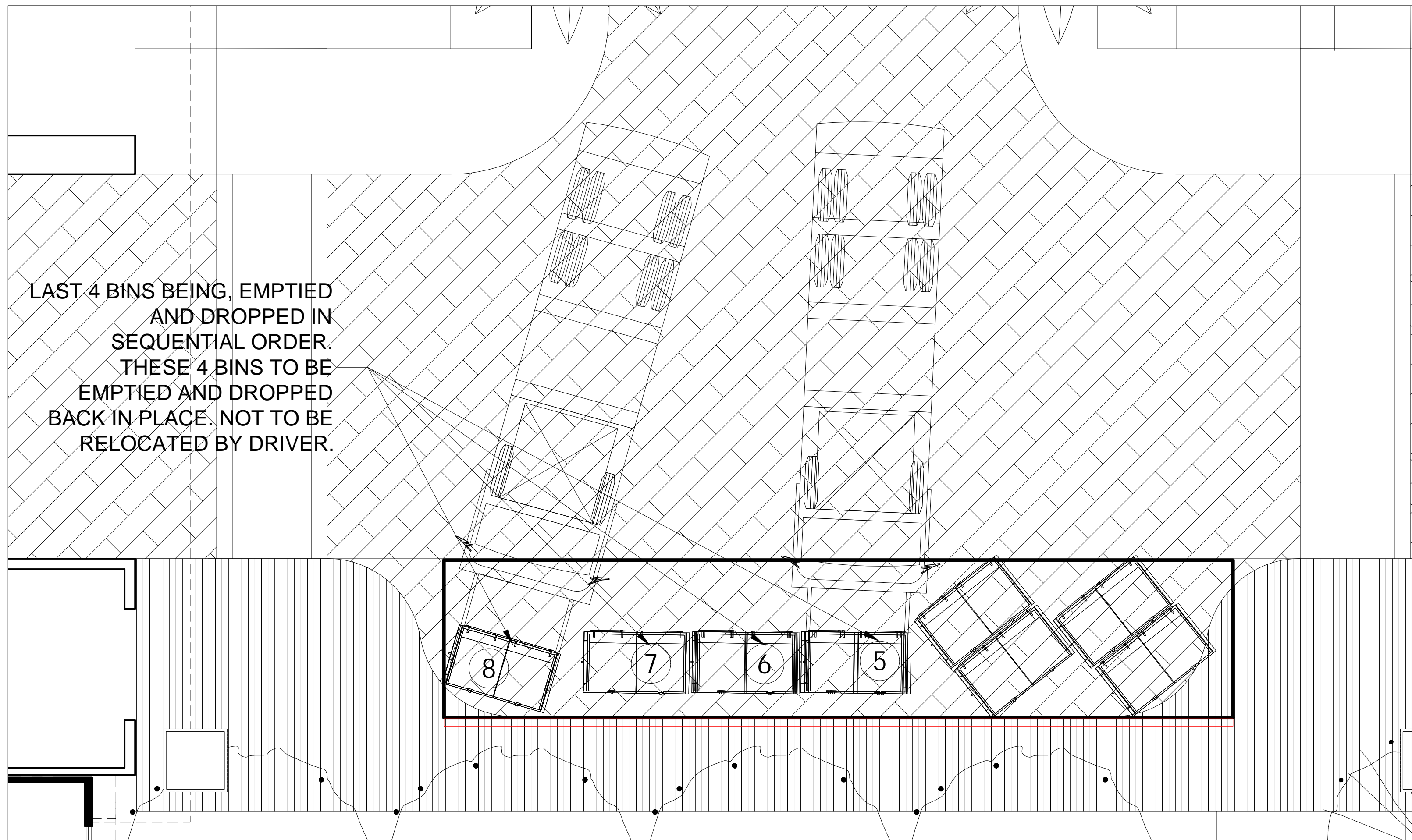
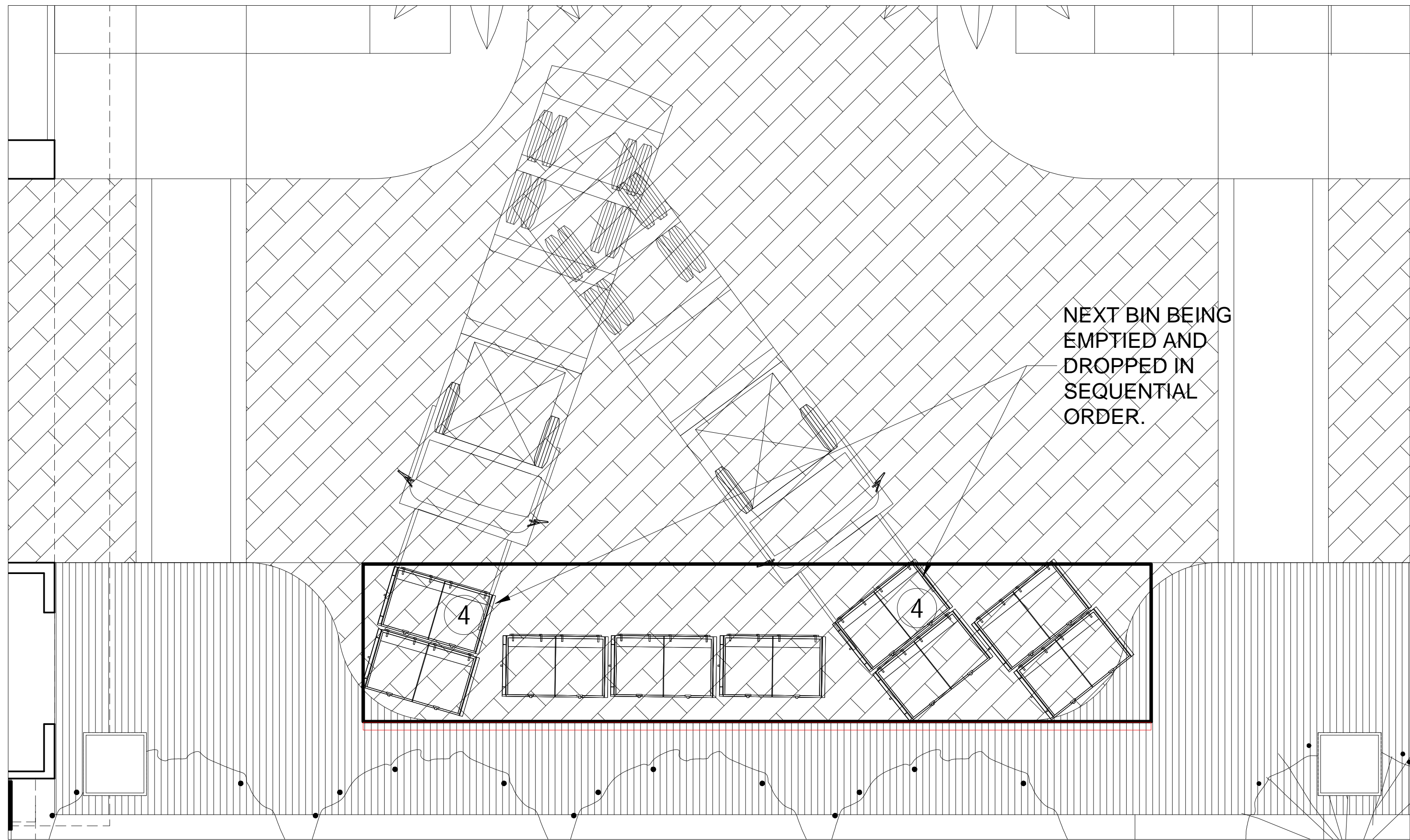
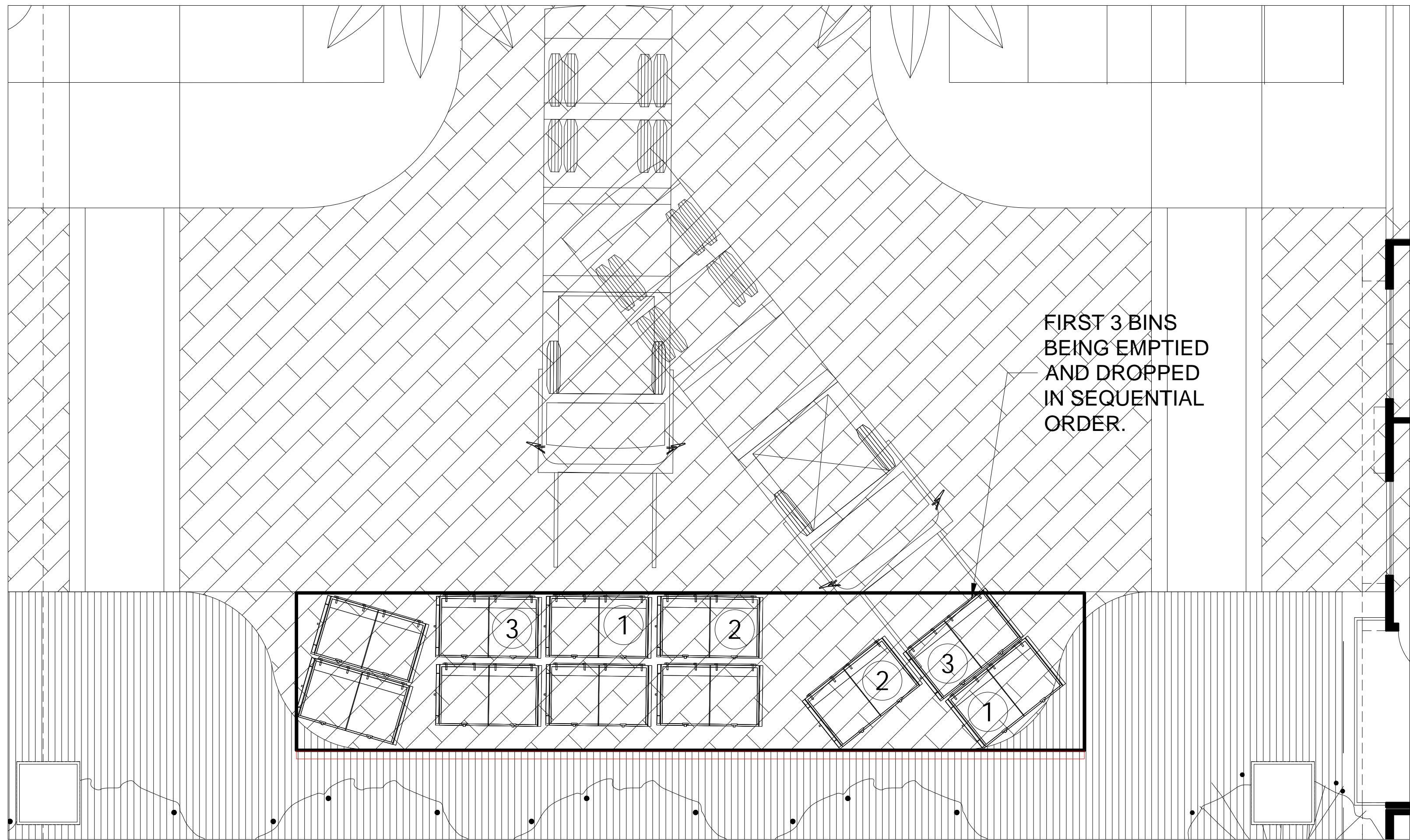
SEE PAGE T0.4 FOR EXACT BIN MOVEMENT PATTERN.

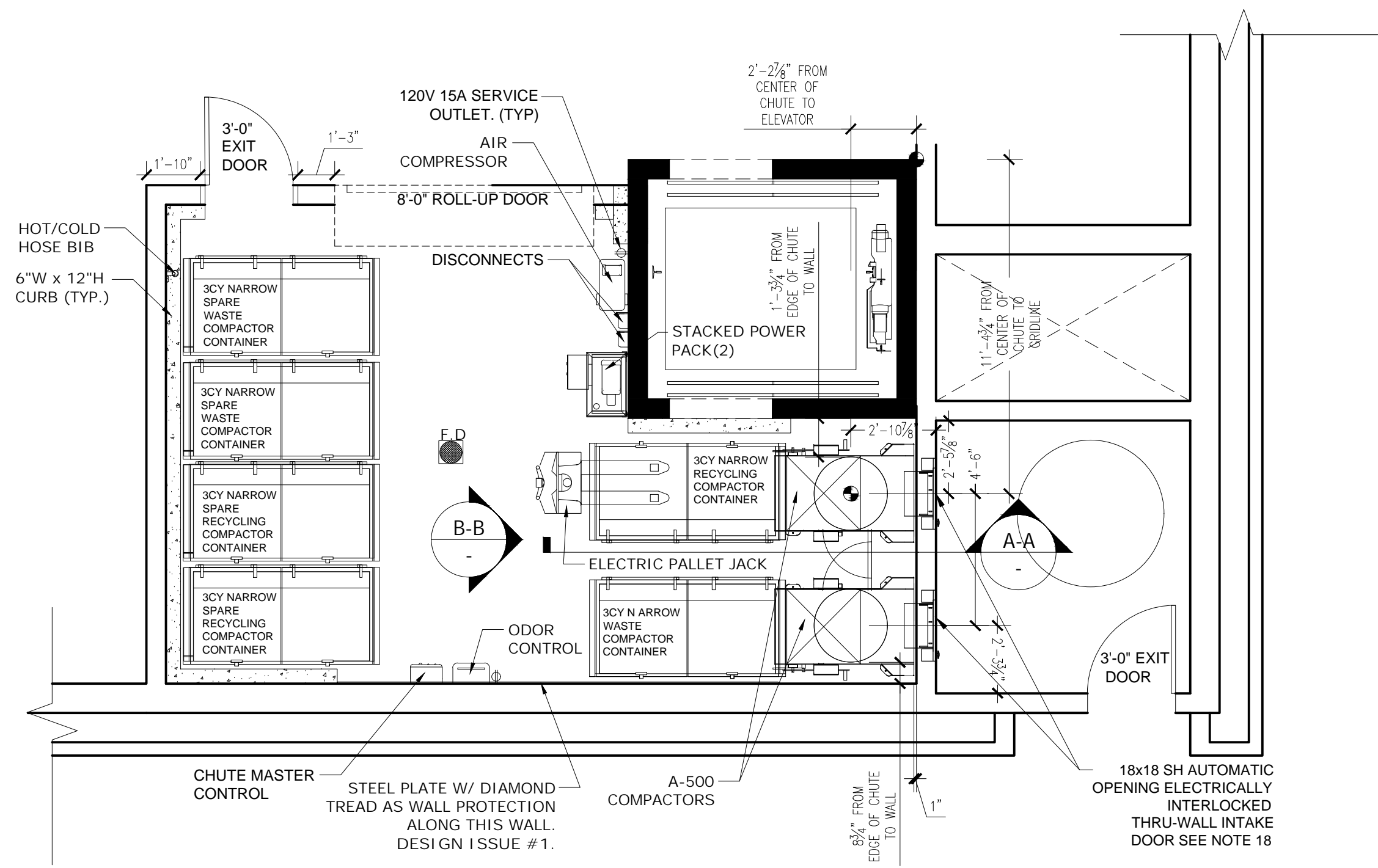
FRONT LOAD VEHICLE EXIT (POST-PICKUP BIN PLACEMENT)



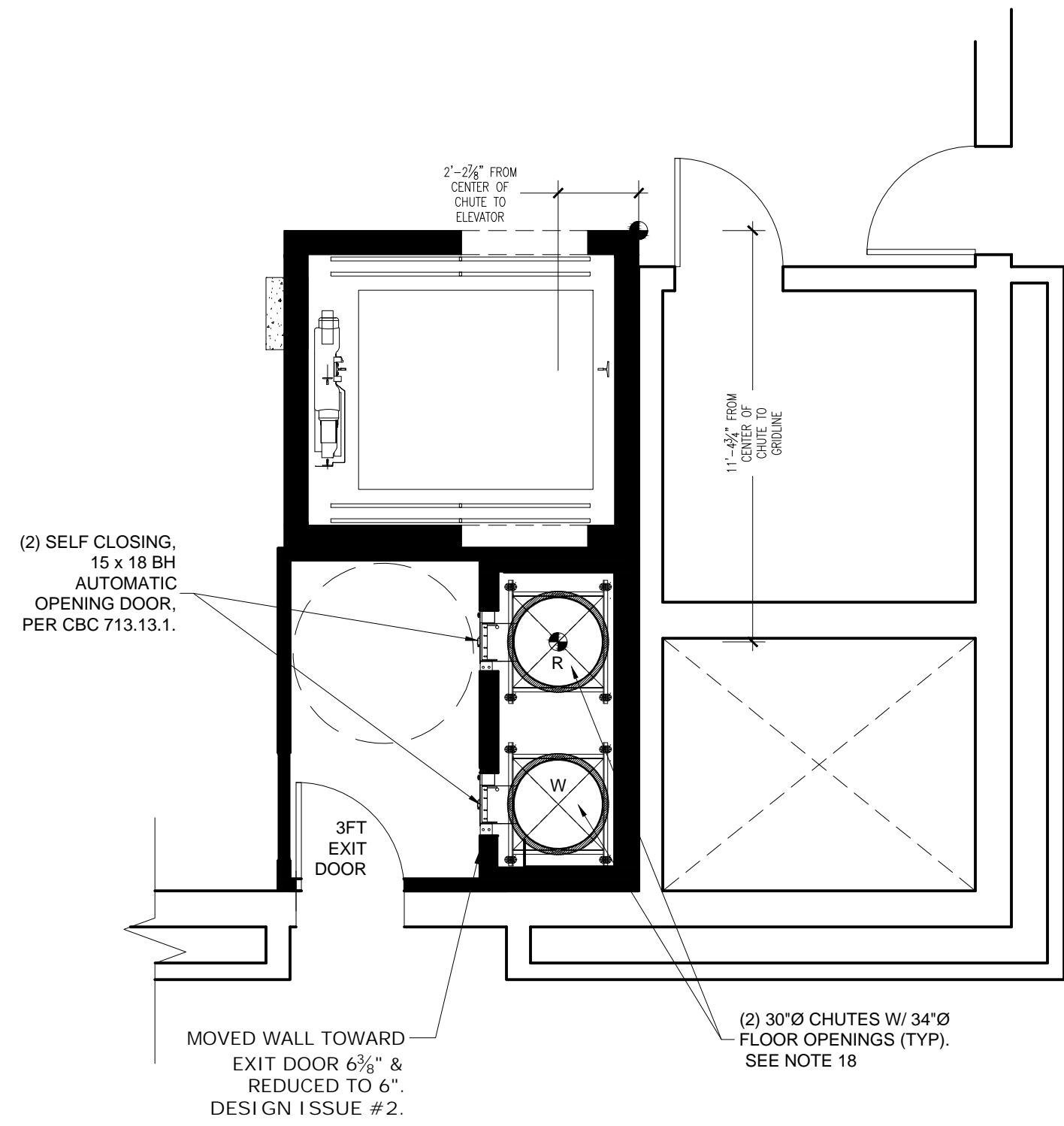
35ft SPU Front End Loader	
Overall Length	35.000ft
Overall Width	10.1ft
Overall Body Height	13.50ft
Min Body Ground Clearance	1.371ft
Max Track Width	8.000ft
Lock-to-lock time	6.00s
Empty Weight	35,840lbs
Gross Weight	58,000lbs
Service Clearance	24ft
Inner Wheel Base	15.33ft



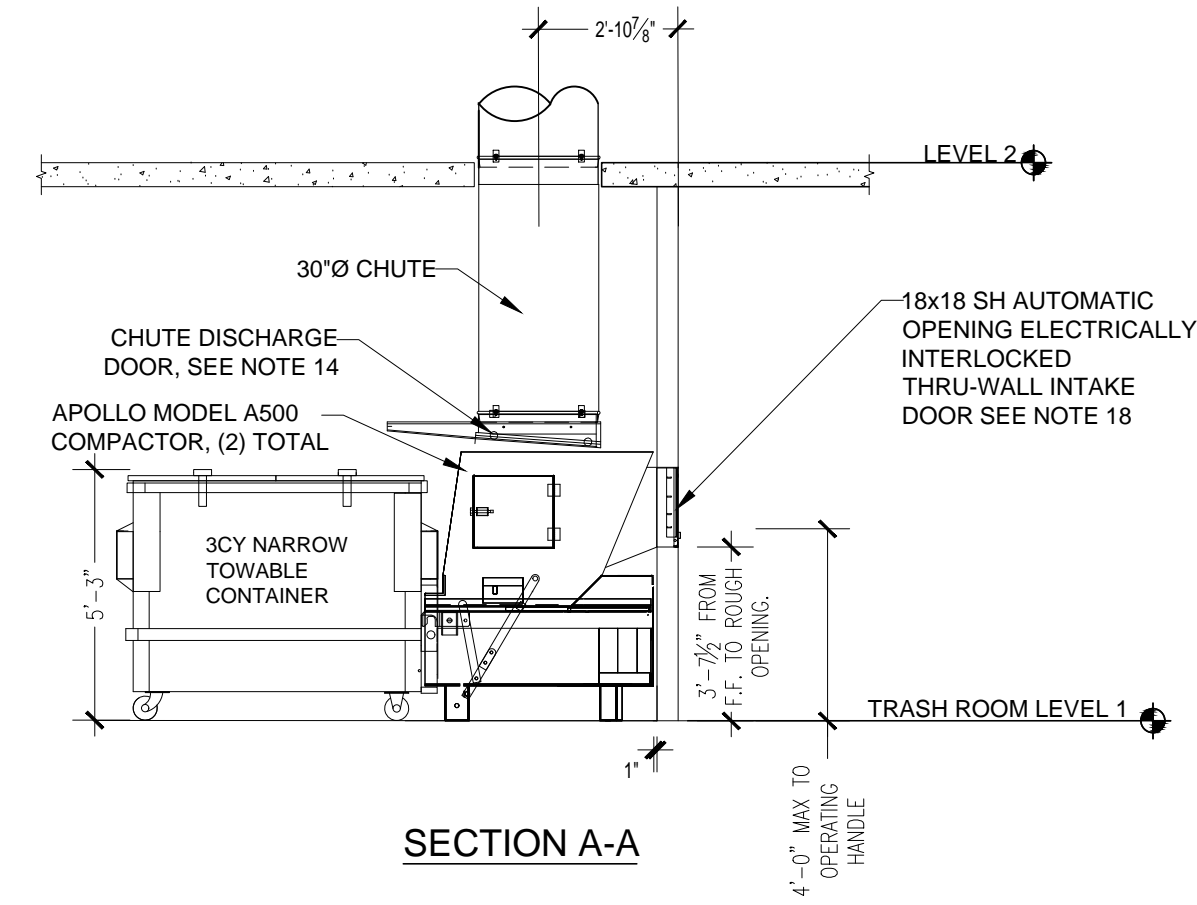




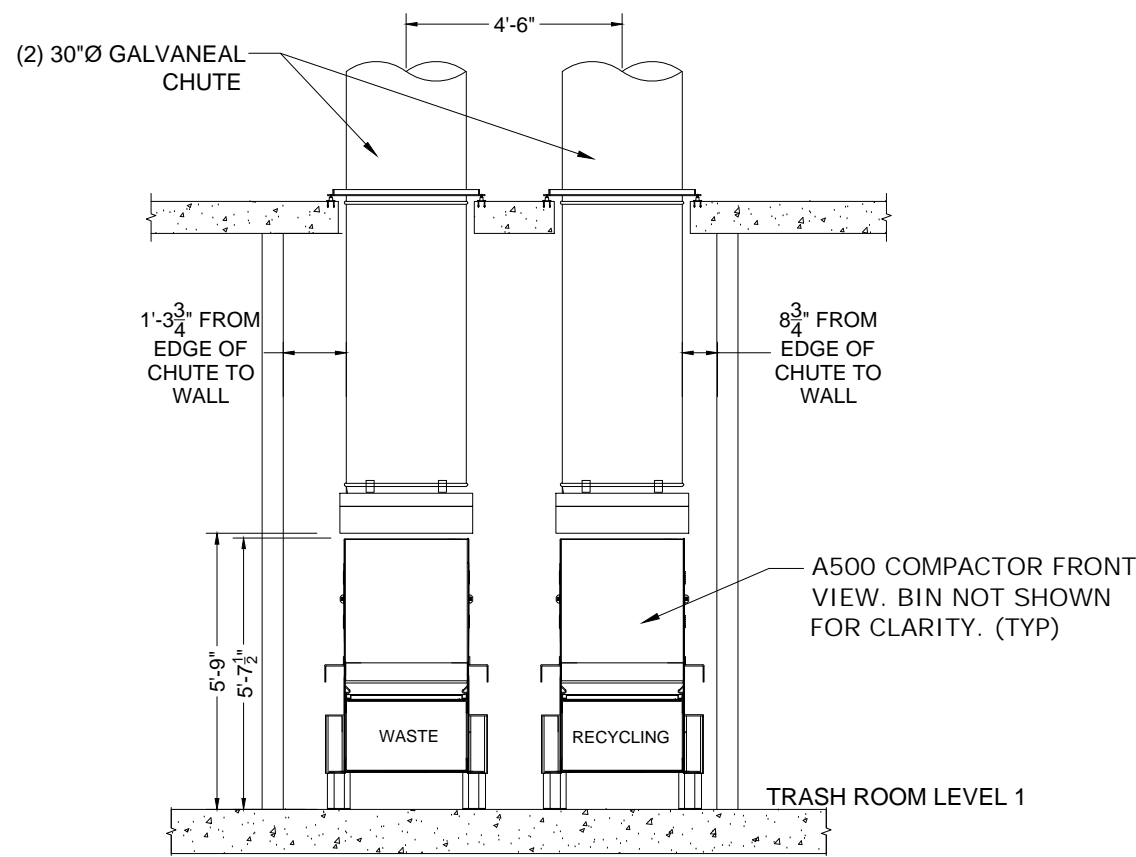
BUILDING A TRASH COLLECTION ROOM CORE 1



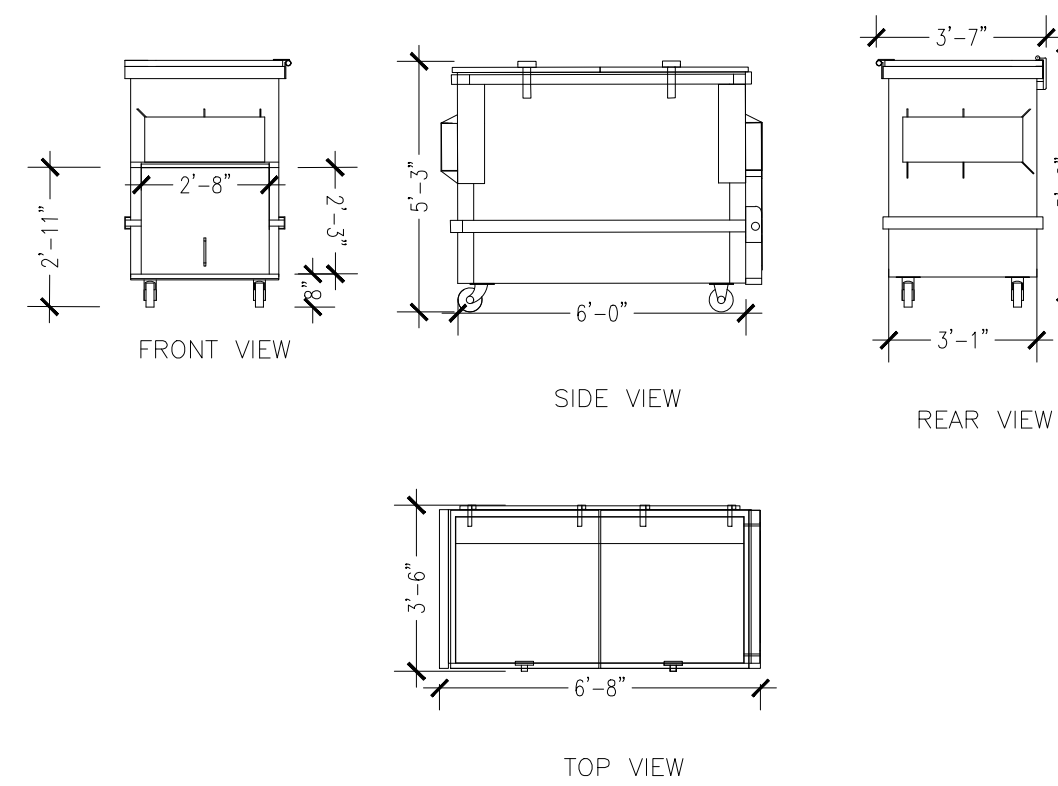
UPPER VESITBULE LEVELS 02-07 (TYP)



SECTION A-A



SECTION B-B



3CY NARROW CONTAINER DETAILS

SHEET NOTES:

RESIDENTIAL TRASH TERMINATION ROOM

- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
- FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: 12"x6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTORS/BISORTER OR POWER PACKS. INSTALL STEEL PLATE WITH DIAMOND TREAD BACKING ALONG WALL WHERE INDICATED FOR WALL PROTECTION.
- 8'-0" ROLL UP DOOR AND 3FT EXIT DOOR.
- ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
- (2) 30"Ø GRAVITY CHUTE WITH COMPACTORS FOR WASTE & RECYCLING. PROVIDE 3CY NARROW FL COMPACTOR CONTAINERS FOR WASTE & 3CY NARROW FL COMPACTOR CONTAINER FOR RECYCLING. CHUTES SHALL TERMINATE AT 5'-9" AFF.
- PP: COMPACTOR POWER PACKS SHALL BE STACKED & FLOOR-MOUNTED. (2) 5HP 3-PHASE, 208/230/460V. 30A DISCONNECTS 60" AFF.
- MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
- AC: 2HP CHUTE AIR COMPRESSOR SHALL BE FLOOR-MOUNTED. REQUIRES 120V 15A SERVICE OUTLETS.
- OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
- HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
- PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY; TURNING RADIUS: 45.5'. REQUIRES 120V 15A SERVICE OUTLETS.
- CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165" F FUSIBLE LINK.
- 5HP 3PHASE, 208/230/460V FOR THE POWER PACKS REQUIRED.

CHUTE INTAKE VESTIBULES:

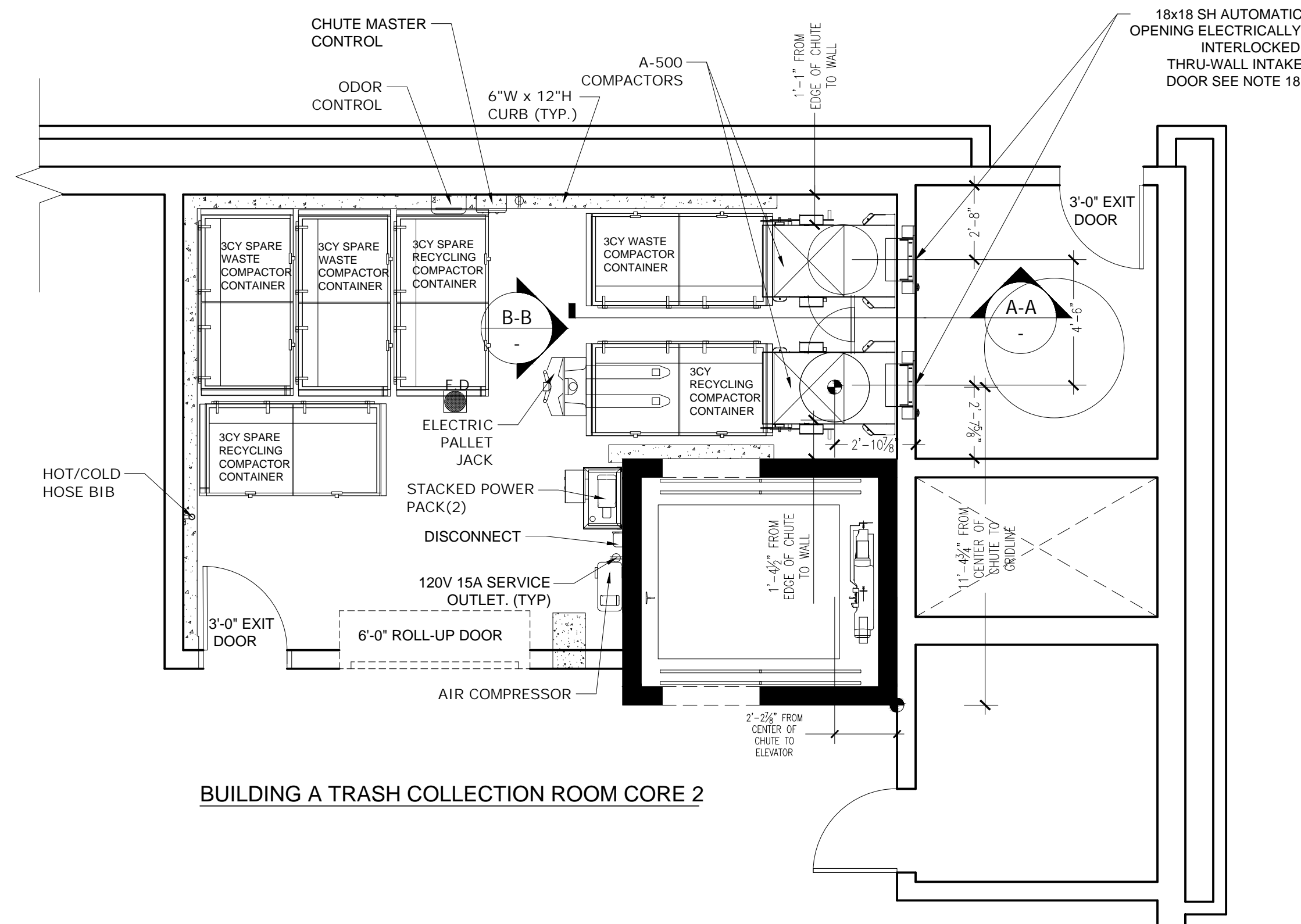
- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR; 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL 172.0.
- CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
- PROVIDE 18x18 SIDE HINGED, AUTOMATIC OPENING, ELECTRICALLY INTERLOCKED THRU-WALL INTAKE DOORS THAT DISPOSE INTO CONTAINERS PER CBC 713.13.1. SEE DETAILS 2/72.0.
- PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9/72.0 FOR ANCHORING AND MASON BRA-RED SOUND ISOLATION PAD ASSEMBLY. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

GENERAL NOTES:

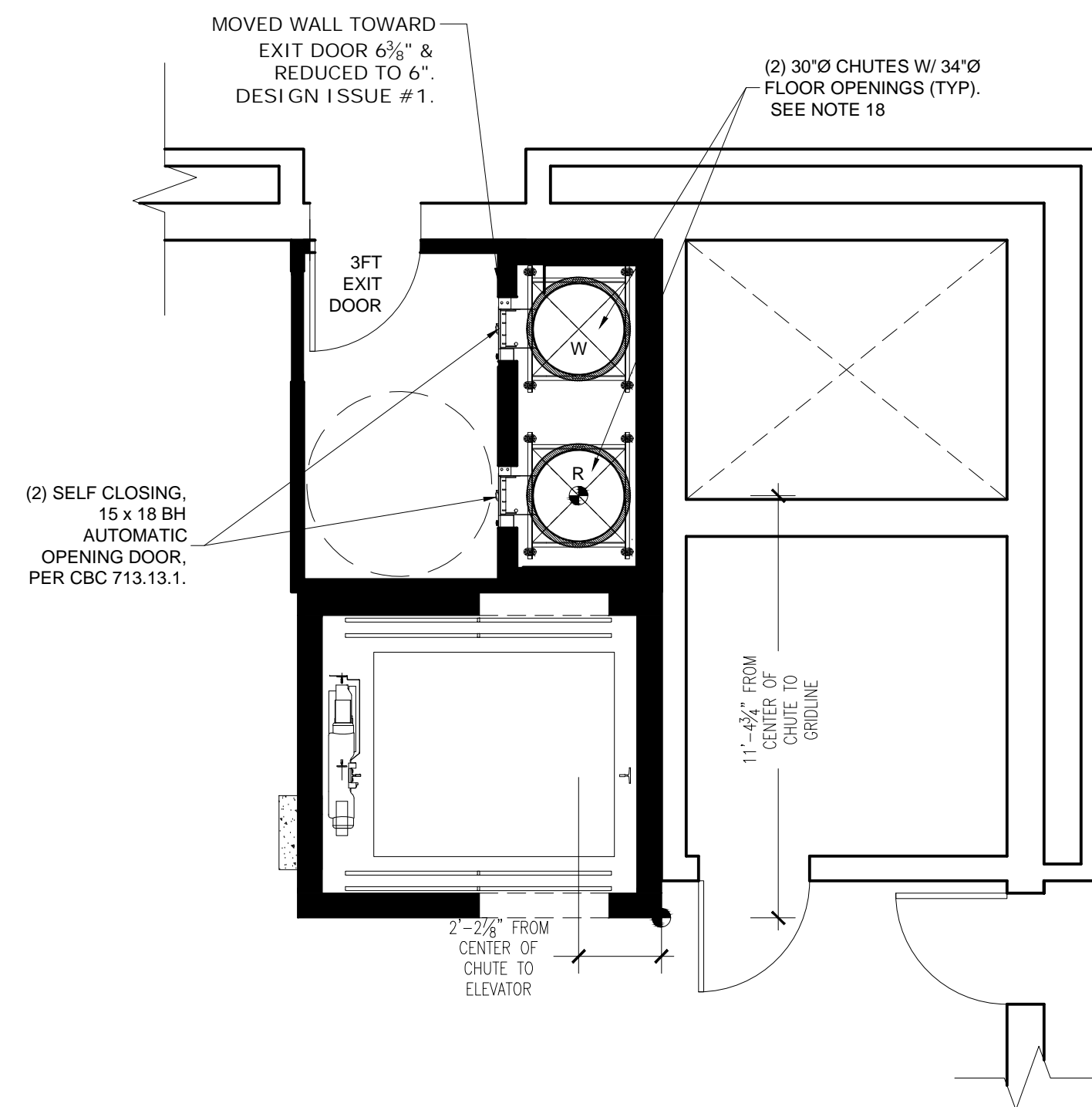
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DESIGN ISSUES:

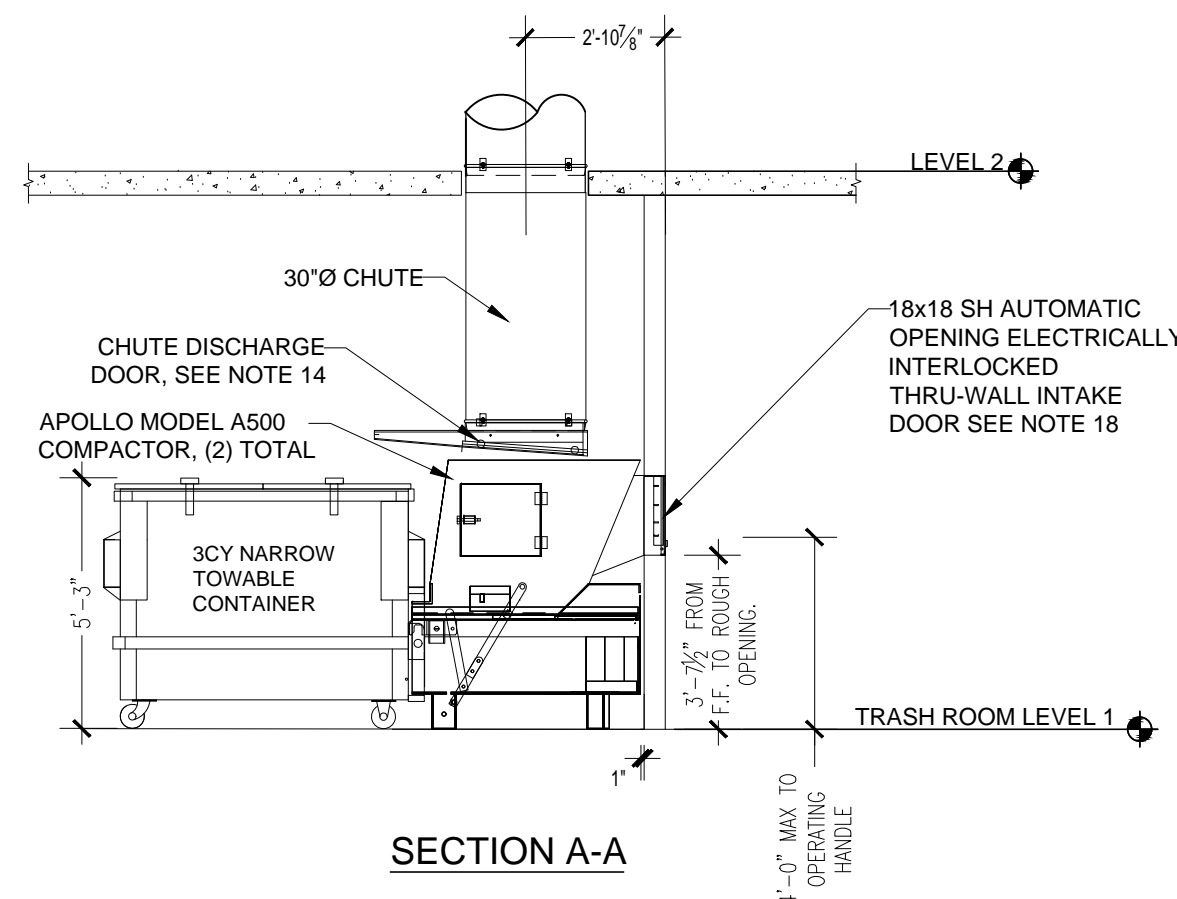
- SINCE COMPACTOR WILL GET CLOSE TO WALL AND NO ROOM TO MOVE IT AWAY, STEEL DIAMOND TREAD AS WALL PROTECTION WHERE INDICATED IN LIEU OF CURB.
- MOVED WALL ATTACHED TO INTAKE DOOR TOWARDS 3FT EXIT DOOR BY 6 3/8" IN ORDER TO MAKE ROOM FOR CHUTE FOOTINGS.



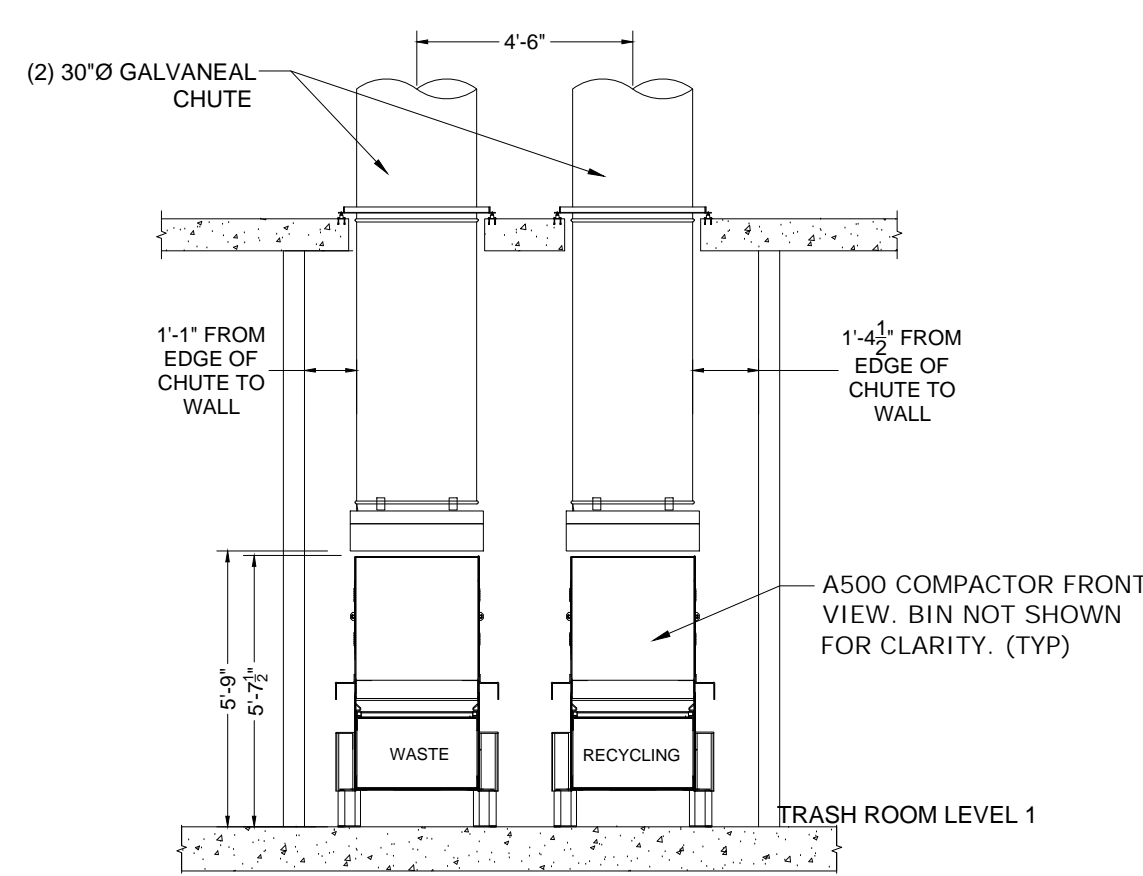
BUILDING A TRASH COLLECTION ROOM CORE 2



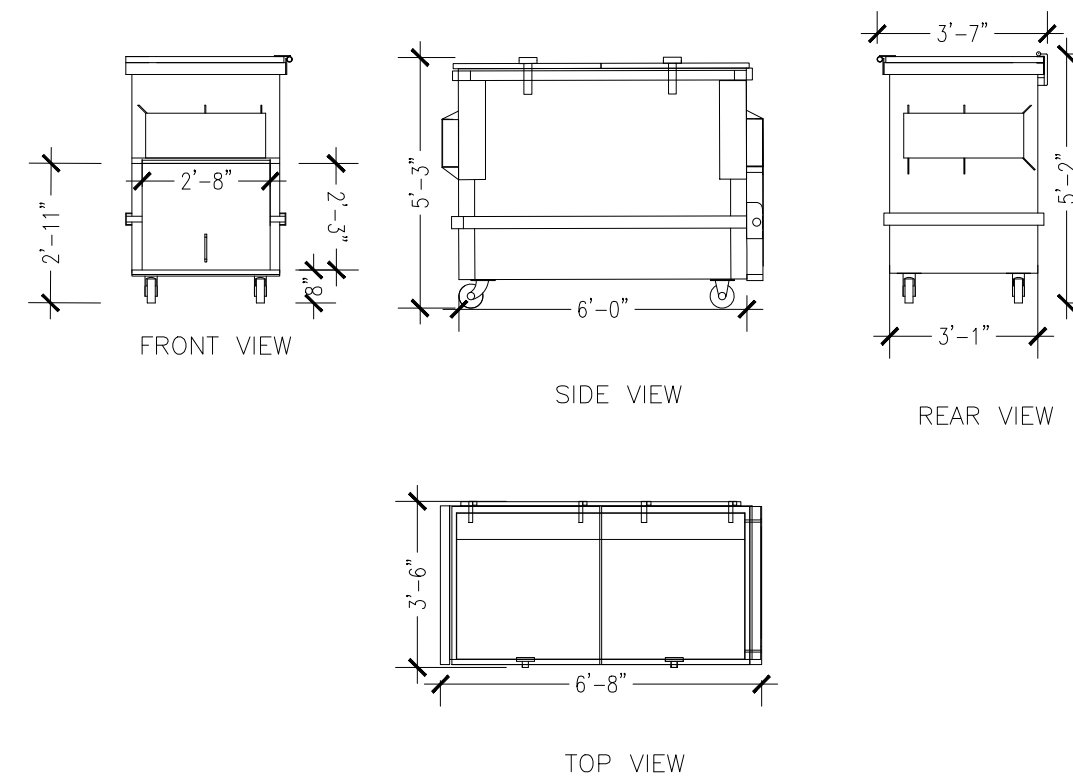
UPPER VESITBULE LEVELS 02-07 (TYP)



SECTION A-A



SECTION B-B

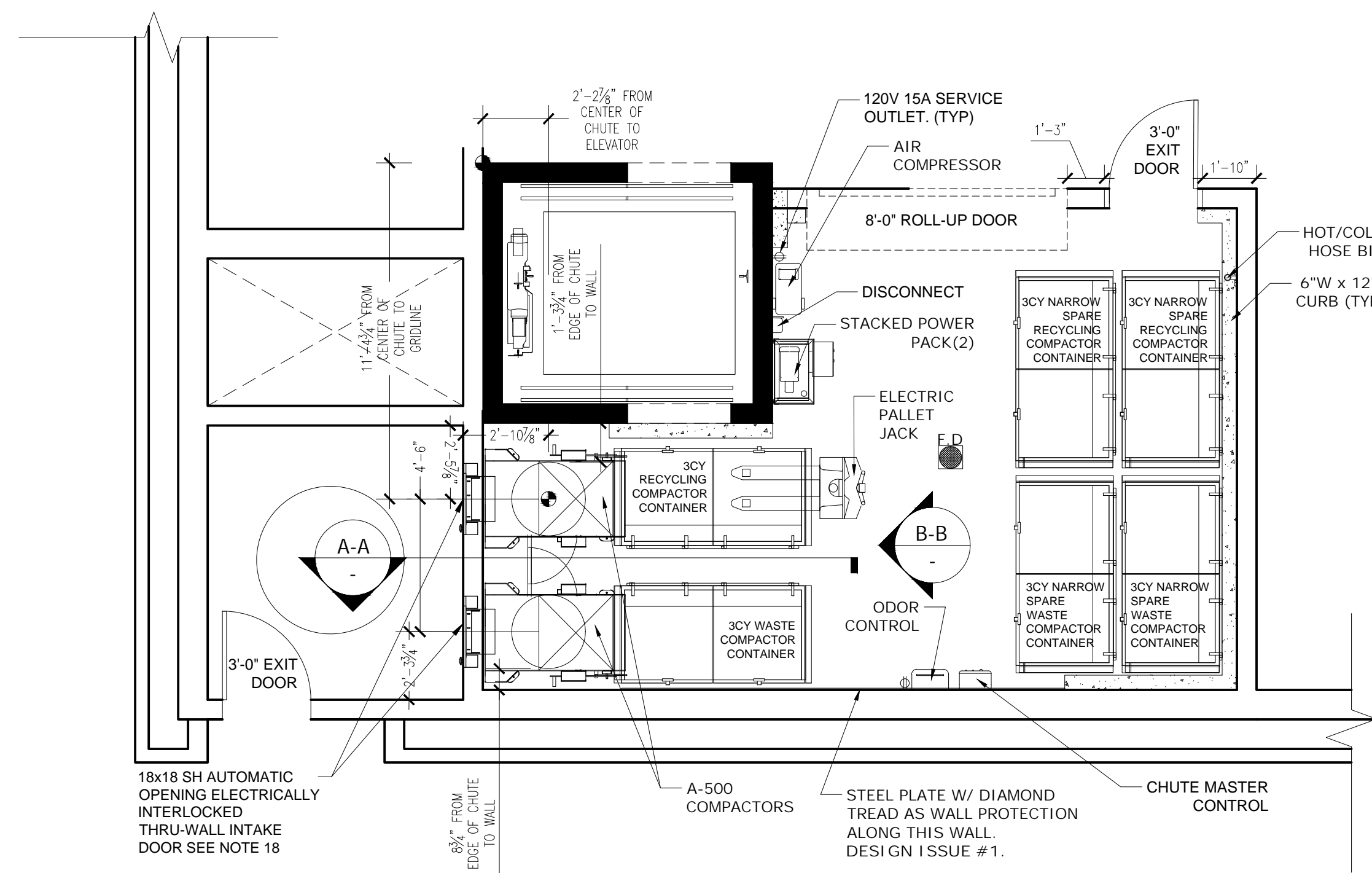


3CY NARROW CONTAINER DETAILS

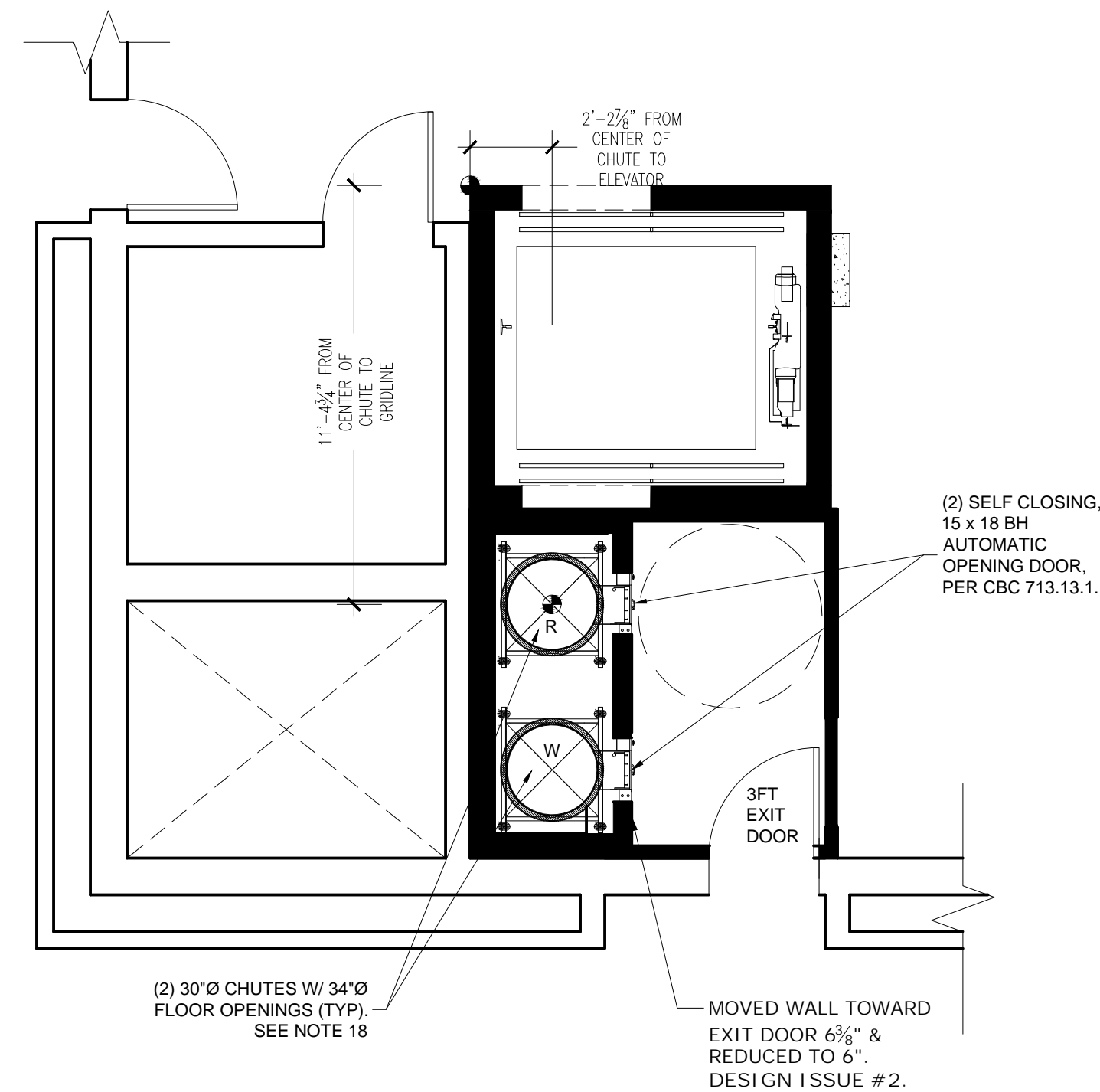
- SHEET NOTES:**
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- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
 - FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING, FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
 - INSTALL WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTORS/BISORTER OR POWER PACKS. INSTALL STEEL PLATE WITH DIAMOND TREAD BACKING ALONG WALL WHERE INDICATED FOR WALL PROTECTION.
 - 6'-0" ROLL UP DOOR AND 3FT EXIT DOOR.
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
 - (2) 30"Ø GRAVITY CHUTE WITH COMPACTORS FOR WASTE & RECYCLING. PROVIDE 3CY NARROW FL COMPACTOR CONTAINERS FOR WASTE & 3CY NARROW FL COMPACTOR CONTAINER FOR RECYCLING. CHUTES SHALL TERMINATE AT 5'-9" AFF.
 - PP: COMPACTOR POWER PACKS SHALL BE STACKED & FLOOR-MOUNTED. (2) 5HP 3-PHASE, 208/230/460V. 30A DISCONNECTS 60" AFF.
 - MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
 - AC: 2HP CHUTE AIR COMPRESSOR SHALL BE FLOOR-MOUNTED. REQUIRES 120V 15A SERVICE OUTLETS.
 - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
 - HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
 - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY; TURNING RADIUS: 45.5". REQUIRES 120V 15A SERVICE OUTLETS.
 - CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165" F FUSIBLE LINK.
 - 5HP 3PHASE, 208/230/460V FOR THE POWER PACKS REQUIRED.
- CHUTE INTAKE VESTIBULES:**
- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR; 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL 1T2.0.
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 - PROVIDE 18X18 SIDE HINGED, AUTOMATIC OPENING, ELECTRICALLY INTERLOCKED THRU-WALL INTAKE DOORS THAT DISPOSE INTO CONTAINERS PER CBC 713.13.1. SEE DETAILS 2/T2.0.
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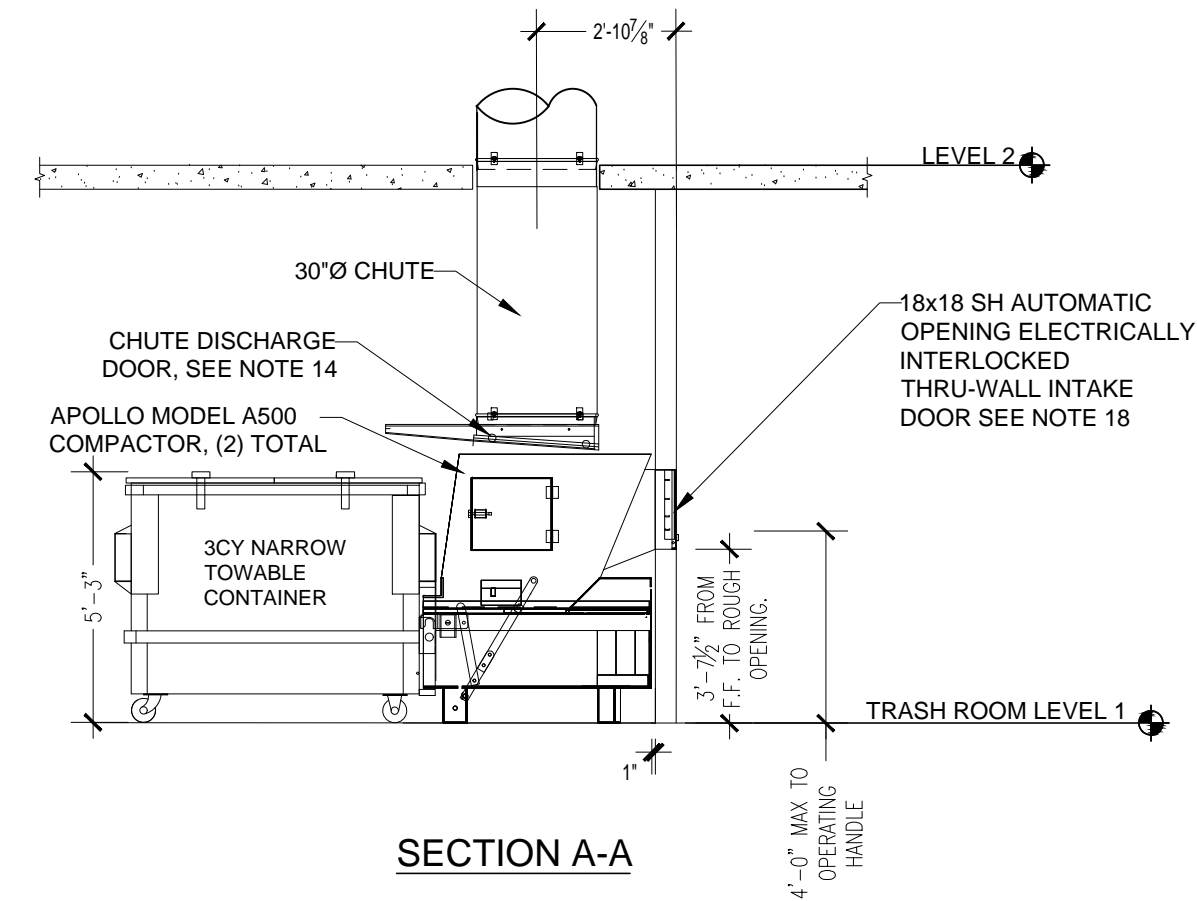
- DESIGN ISSUES:**
- MOVED WALL ATTACHED TO INTAKE DOOR TOWARDS 3FT EXIT DOOR BY 6½" IN ORDER TO MAKE ROOM FOR CHUTE FOOTINGS.



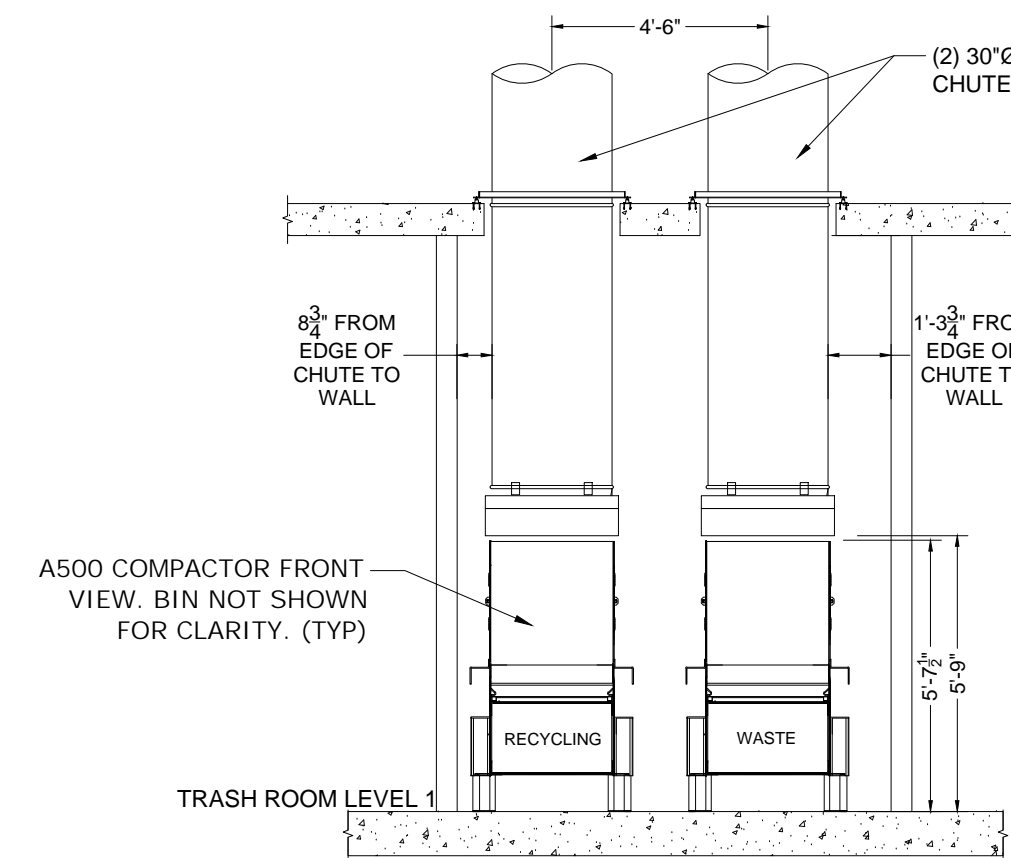
BUILDING B TRASH COLLECTION ROOM CORE 1



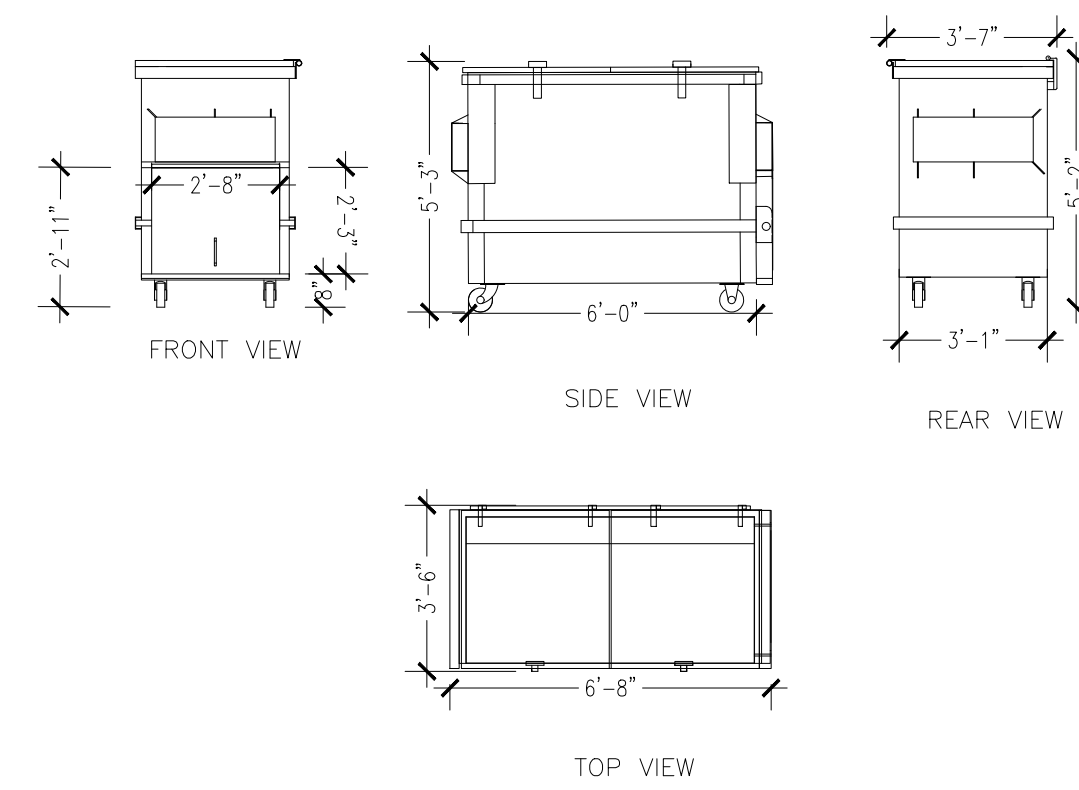
UPPER VESITBULE LEVELS 02-07 (TYP)



SECTION A-A



SECTION B-B



3CY NARROW CONTAINER DETAILS

SHEET NOTES:

RESIDENTIAL TRASH TERMINATION ROOM

1. TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
2. FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
4. INSTALL WALL PROTECTION: 12'Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTORS/BISORTER OR POWER PACKS. INSTALL STEEL PLATE WITH DIAMOND TREAD BACKING ALONG WALL WHERE INDICATED FOR WALL PROTECTION.
5. 8'-0" ROLL UP DOOR AND 3FT EXIT DOOR.
6. ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
7. (2) 30"Ø GRAVITY CHUTE WITH COMPACTORS FOR WASTE & RECYCLING. PROVIDE 3CY FL COMPACTOR CONTAINERS FOR WASTE & 3CY FL COMPACTOR CONTAINER FOR RECYCLING. CHUTES SHALL TERMINATE AT 5'-9" AFF.
8. PP: COMPACTOR POWER PACKS SHALL BE STACKED & FLOOR-MOUNTED, (2) 5HP 3-PHASE, 208/230/460V, 30A DISCONNECTS 60" AFF.
9. MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
10. AC: 2HP CHUTE AIR COMPRESSOR SHALL BE FLOOR-MOUNTED. REQUIRES 120V 15A SERVICE OUTLETS.
11. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
12. HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
13. PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY; TURNING RADIUS: 45.5". REQUIRES 120V 15A SERVICE OUTLETS.
14. CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165" F FUSIBLE LINK.
15. 5HP 3PHASE, 208/230/460V FOR THE POWER PACKS REQUIRED.

CHUTE INTAKE VESTIBULES:

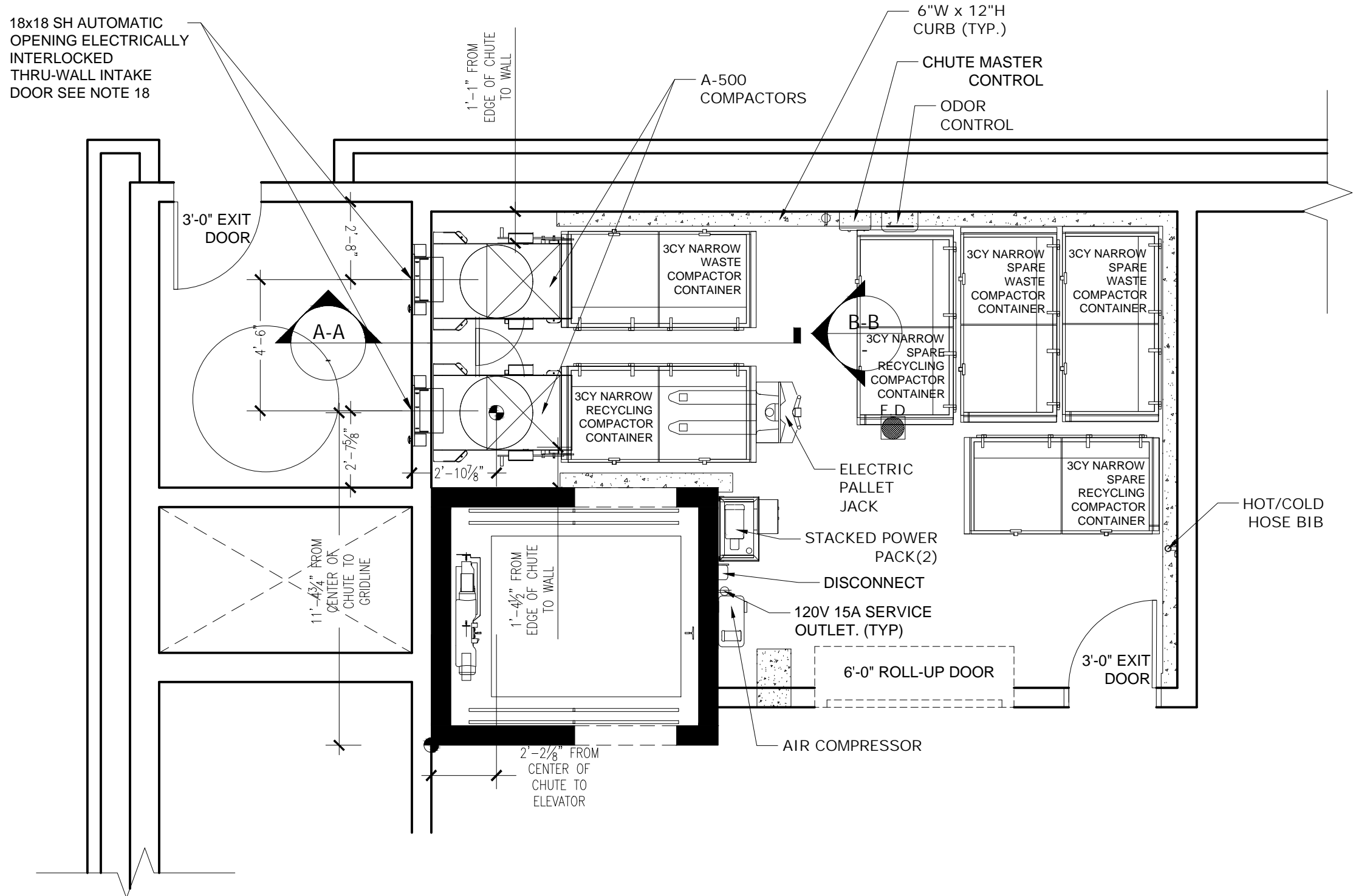
16. CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR: 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL 1T2.0.
17. CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
18. PROVIDE 18X18 SIDE HINGED, AUTOMATIC OPENING, ELECTRICALLY INTERLOCKED THRU-WALL INTAKE DOORS THAT DISPOSE INTO CONTAINERS PER CBC 713.13.1. SEE DETAILS 2/T2.0.
19. PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9/T2.0 FOR ANCHORING AND MASON BRA-RED SOUND ISOLATION PAD ASSEMBLY. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

GENERAL NOTES:

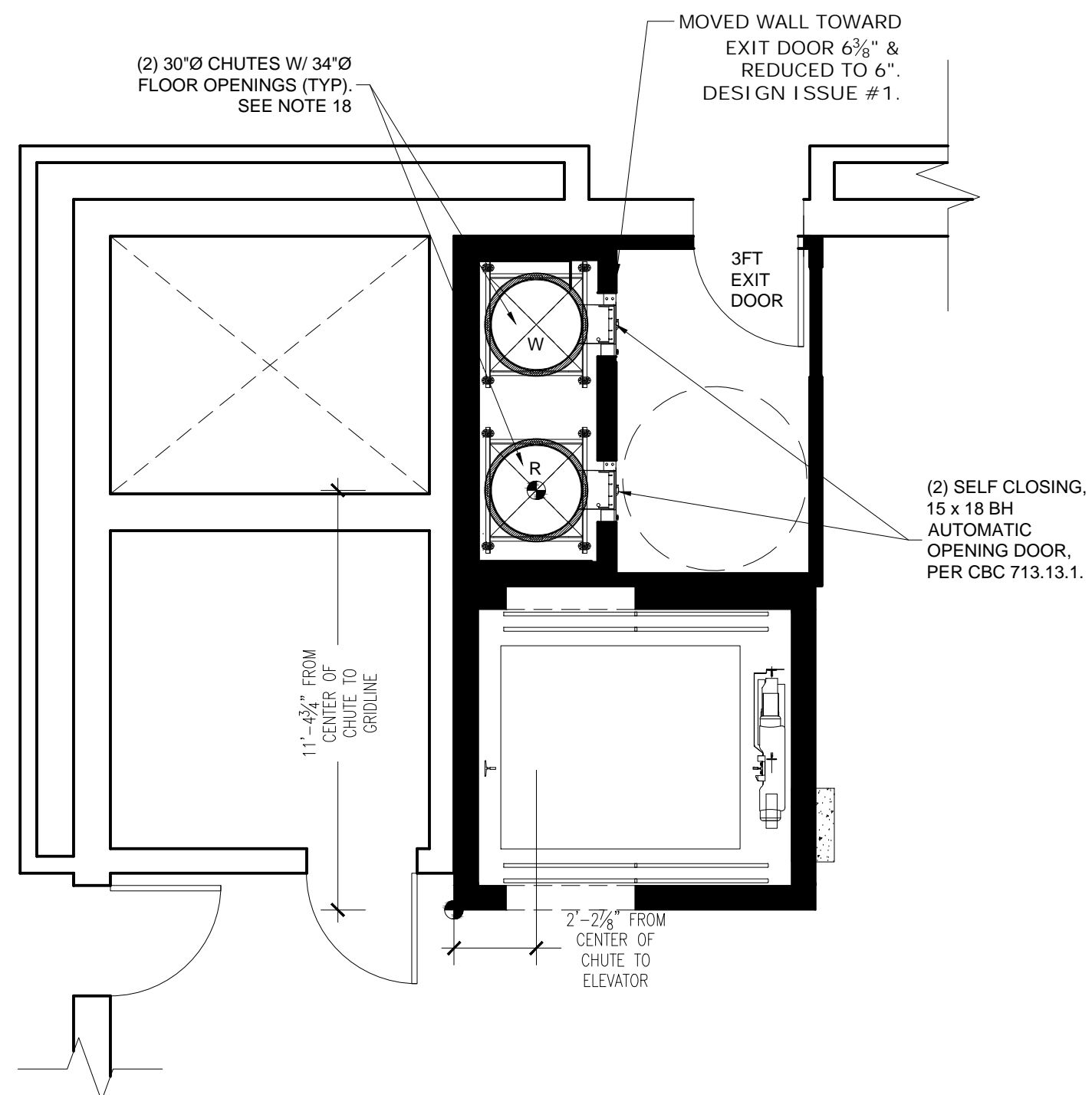
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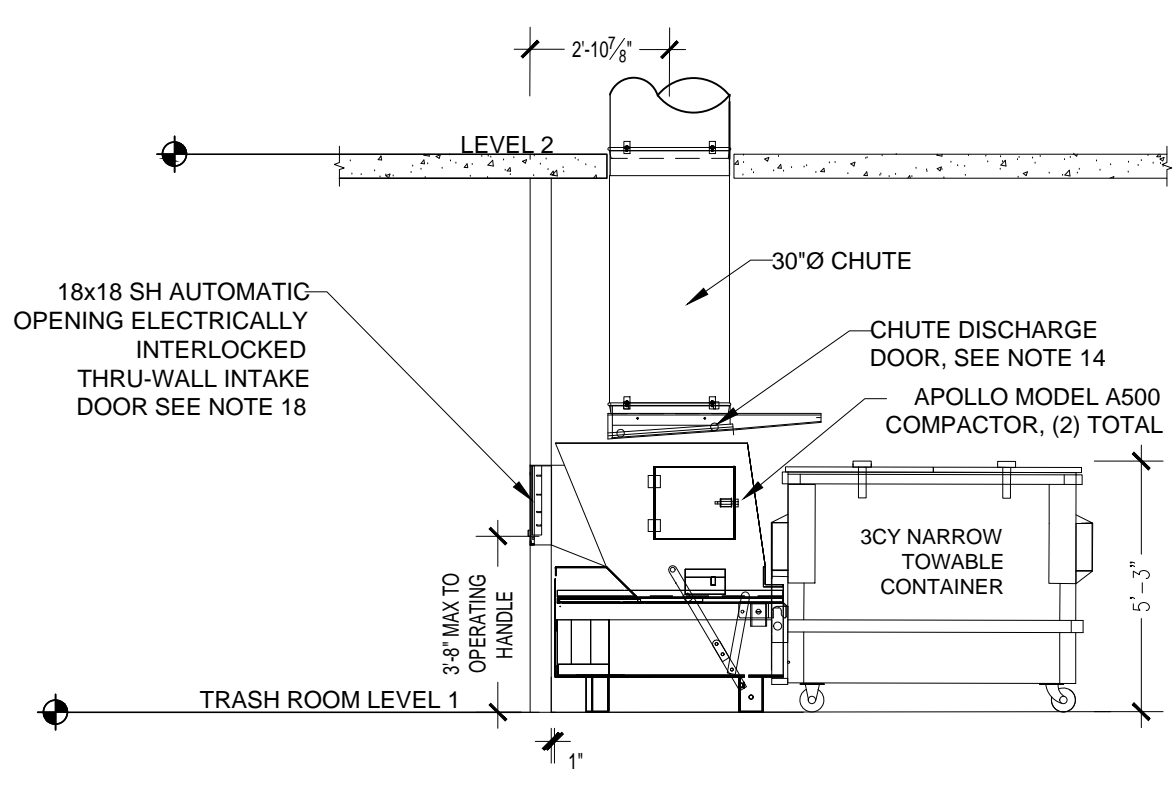
1. SINCE COMPACTOR WILL GET CLOSE TO WALL AND NO ROOM TO MOVE IT AWAY, STEEL DIAMOND TREAD AS WALL PROTECTION WHERE INDICATED IN LIEU OF CURB.
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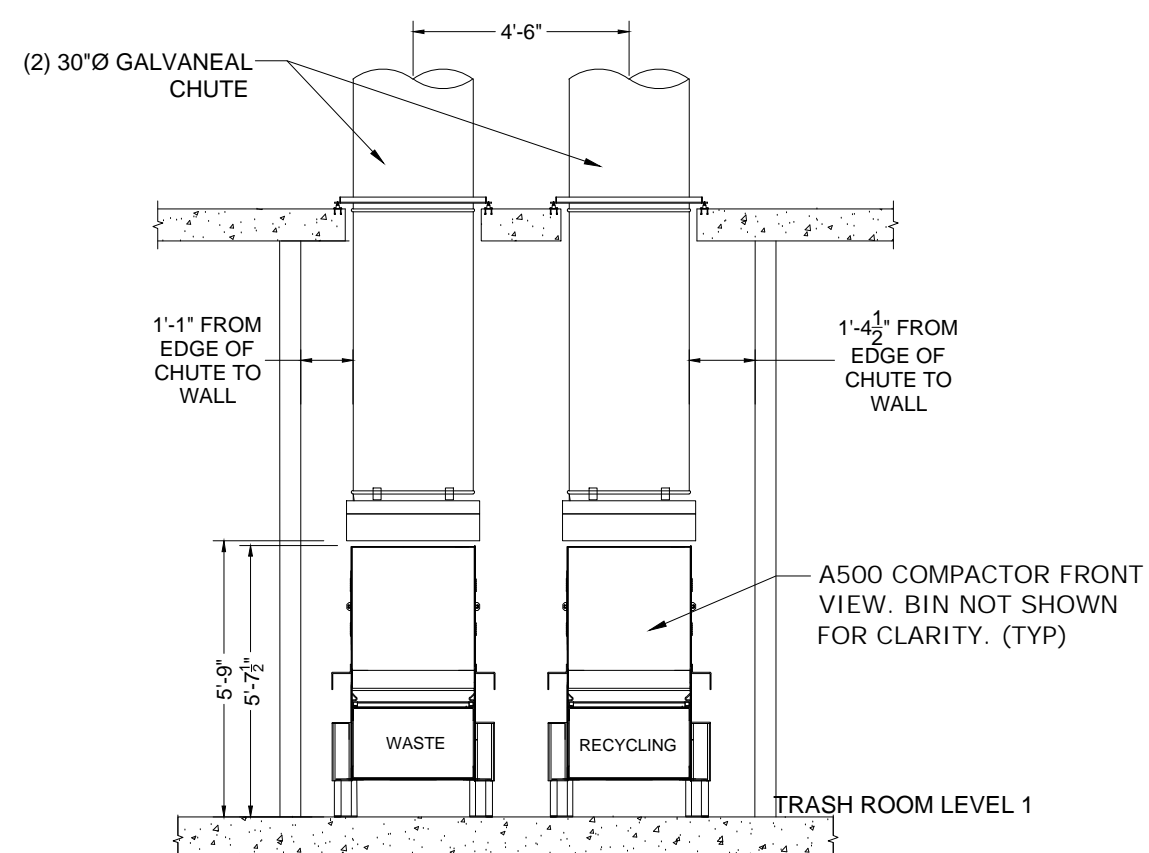
BUILDING B TRASH COLLECTION ROOM CORE 2



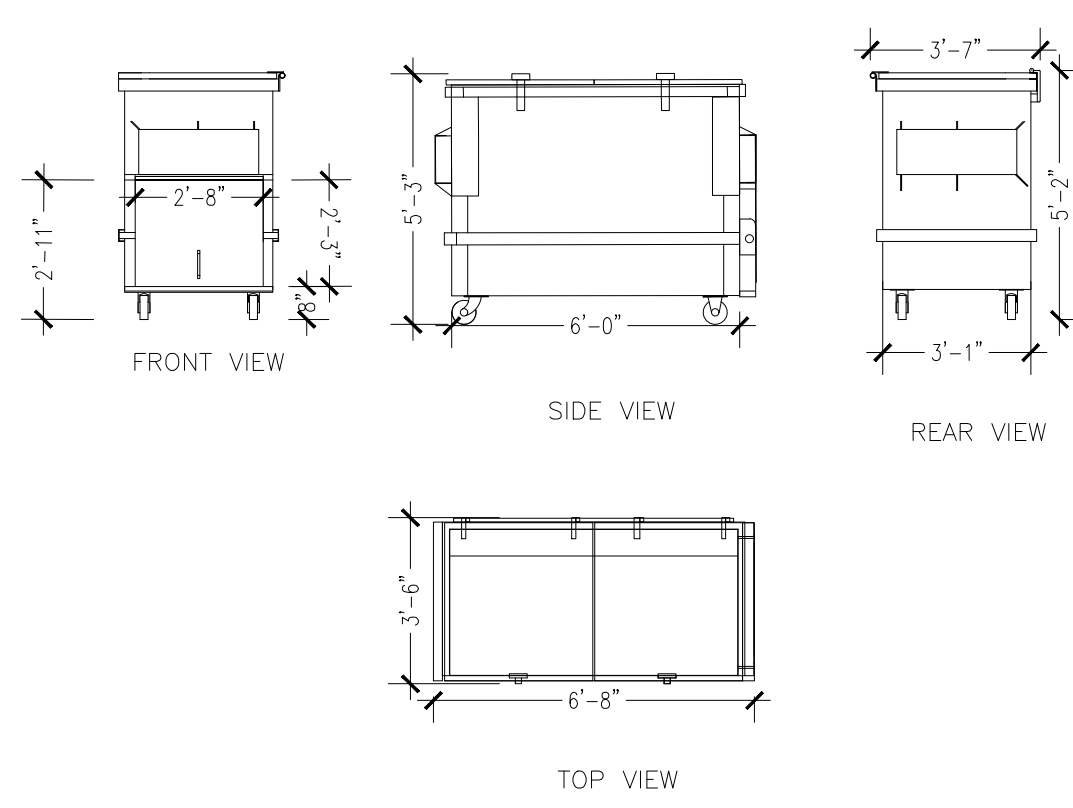
UPPER VESITBULE LEVELS 02-07 (TYP)



SECTION A-A



SECTION B-B

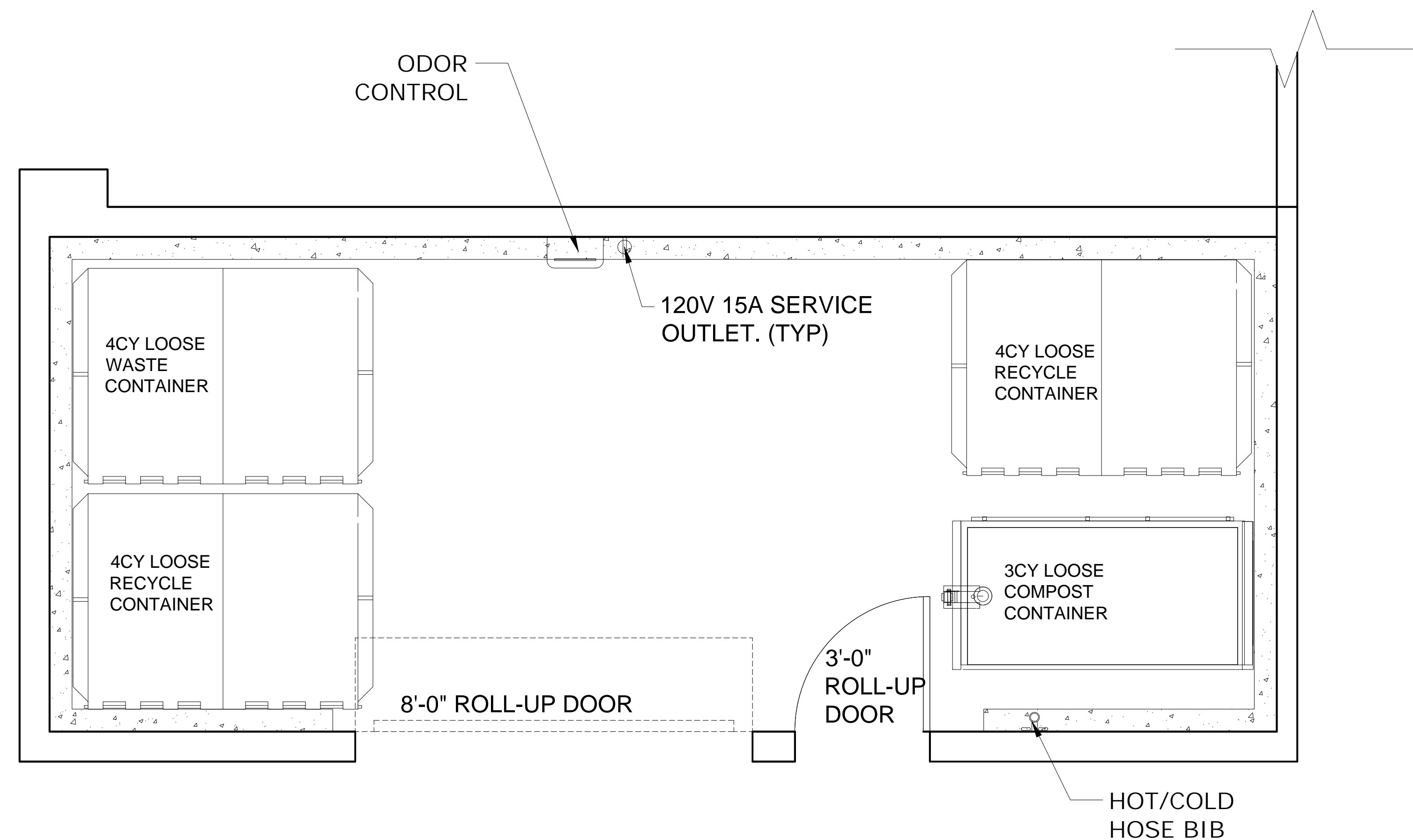


3CY NARROW CONTAINER DETAILS

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 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
 - INSTALL WALL PROTECTION 12"x6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS. DO NOT INSTALL THE CURB AROUND THE COMPACTORS/BISORTER OR POWER PACKS. INSTALL STEEL PLATE WITH DIAMOND TREAD BACKING ALONG WALL WHERE INDICATED FOR WALL PROTECTION.
 - 6'-0" ROLL UP DOOR AND 3FT EXIT DOOR.
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
 - (2) 30"Ø GRAVITY CHUTE WITH COMPACTORS FOR WASTE & RECYCLING. PROVIDE 3CY NARROW FL COMPACTOR CONTAINERS FOR WASTE & 3CY FL NARROW COMPACTOR CONTAINER FOR RECYCLING. CHUTES SHALL TERMINATE AT 5'-9" AFF.
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 - MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A DEDICATED SERVICE.
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- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR; 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. POWER TO INTAKE DOORS SUPPLIED BY MCP. SEE DETAIL 1T2.0.
 - CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
 - PROVIDE 18X18 SIDE HINGED, AUTOMATIC OPENING, ELECTRICALLY INTERLOCKED THRU-WALL INTAKE DOORS THAT DISPOSE INTO CONTAINERS PER CBC 713.13.1. SEE DETAILS 2/T2.0.
 - PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9/T2.0 FOR ANCHORING AND MASON BR-RED SOUND ISOLATION PAD ASSEMBLY. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

- GENERAL NOTES:**
- ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
 - OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

- DESIGN ISSUES:**
- MOVED WALL ATTACHED TO INTAKE DOOR TOWARDS 3FT EXIT DOOR BY 6 3/8" IN ORDER TO MAKE ROOM FOR CHUTE FOOTINGS.



BUILDING A RETAIL TRASH COLLECTION ROOM

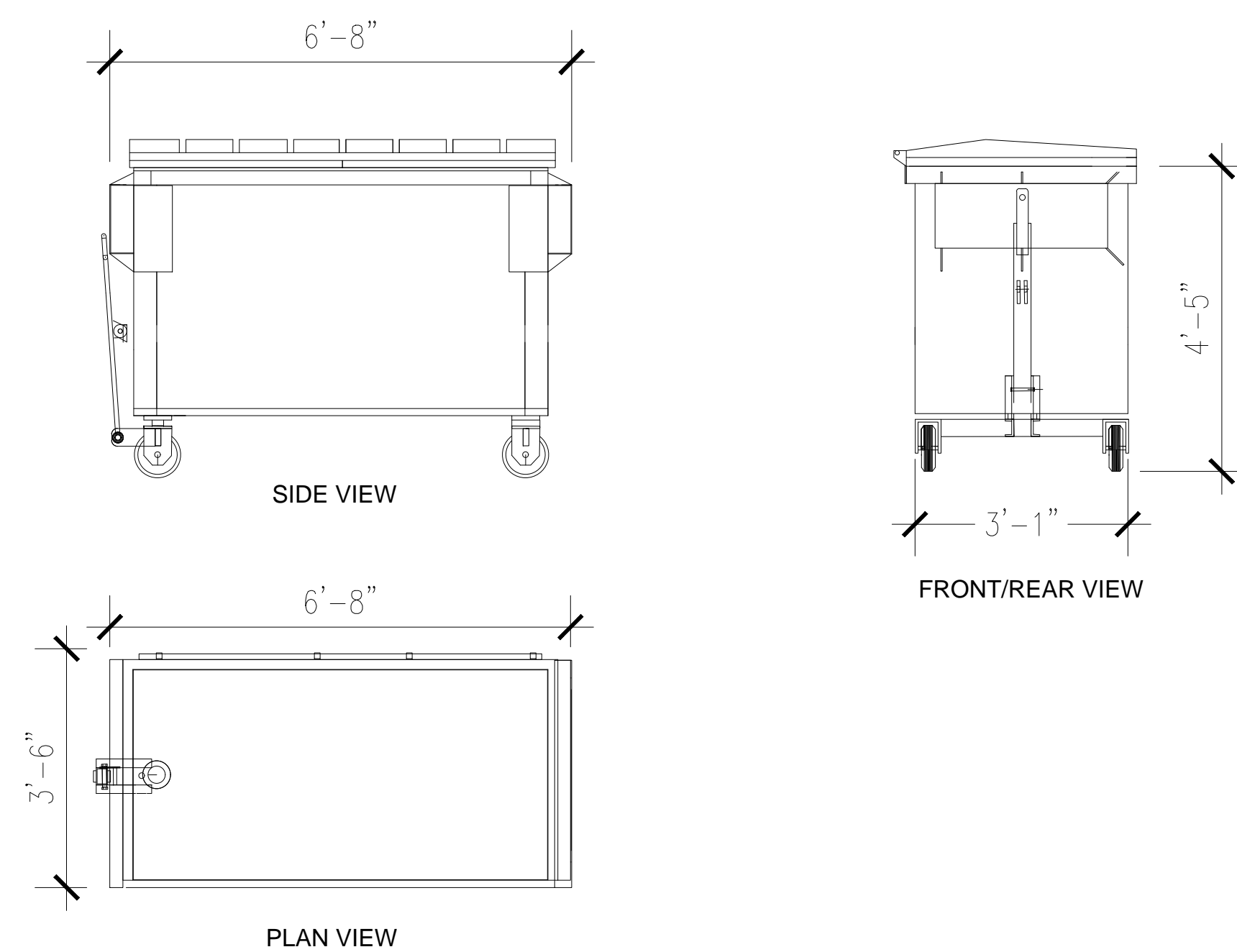
SHEET NOTES:

CENTRAL TRASH COLLECTION AREA

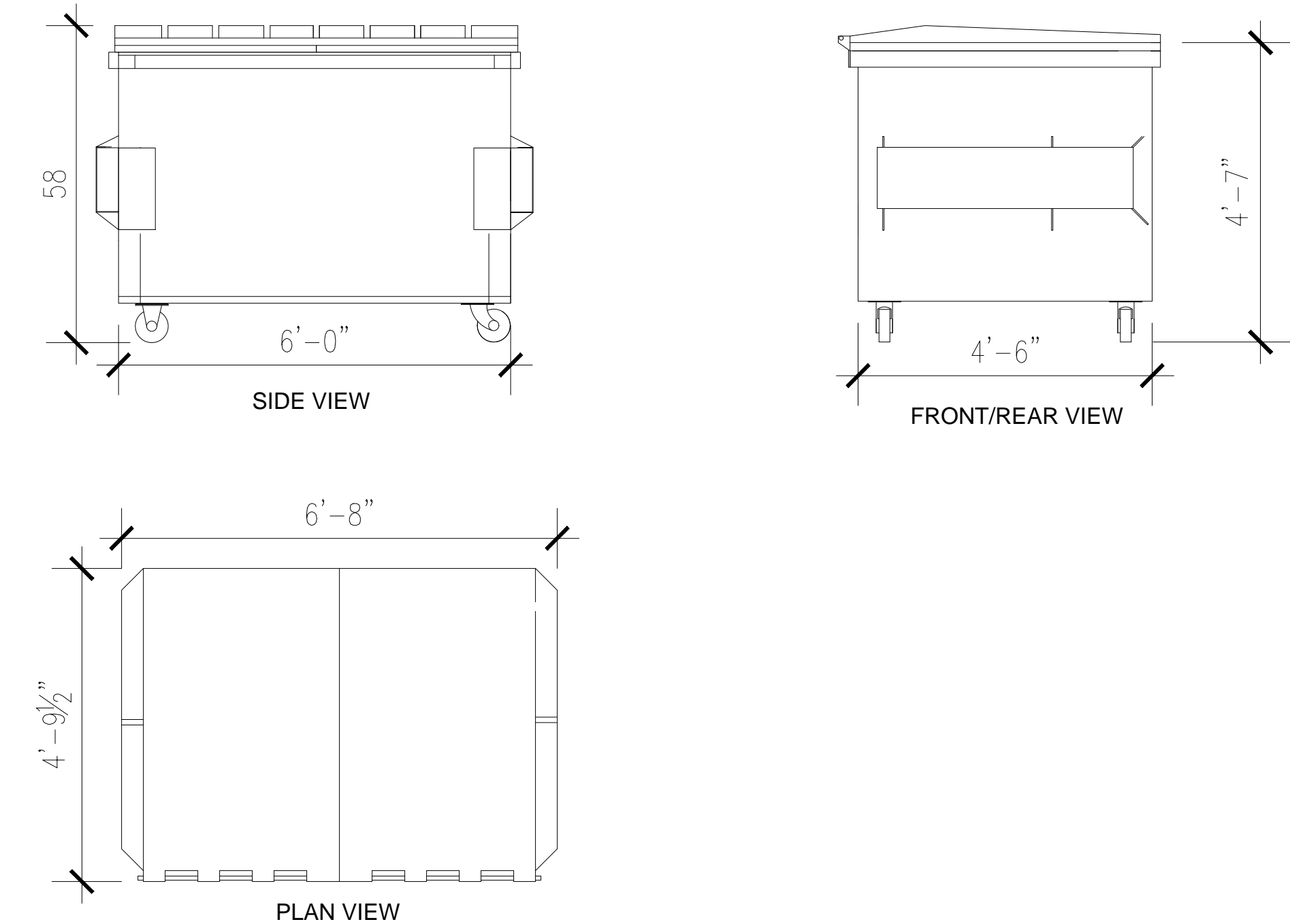
1. CENTRAL TRASH COLLECTION AREA IS 2HR FIRE-RATED - RESTRICTED ACCESS.
2. FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
4. INSTALL WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS.
5. 4CY CONTAINER FOR WASTE & RECYCLING. 3CY CONTAINER FOR COMPOST.
6. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
7. HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.

GENERAL NOTES:

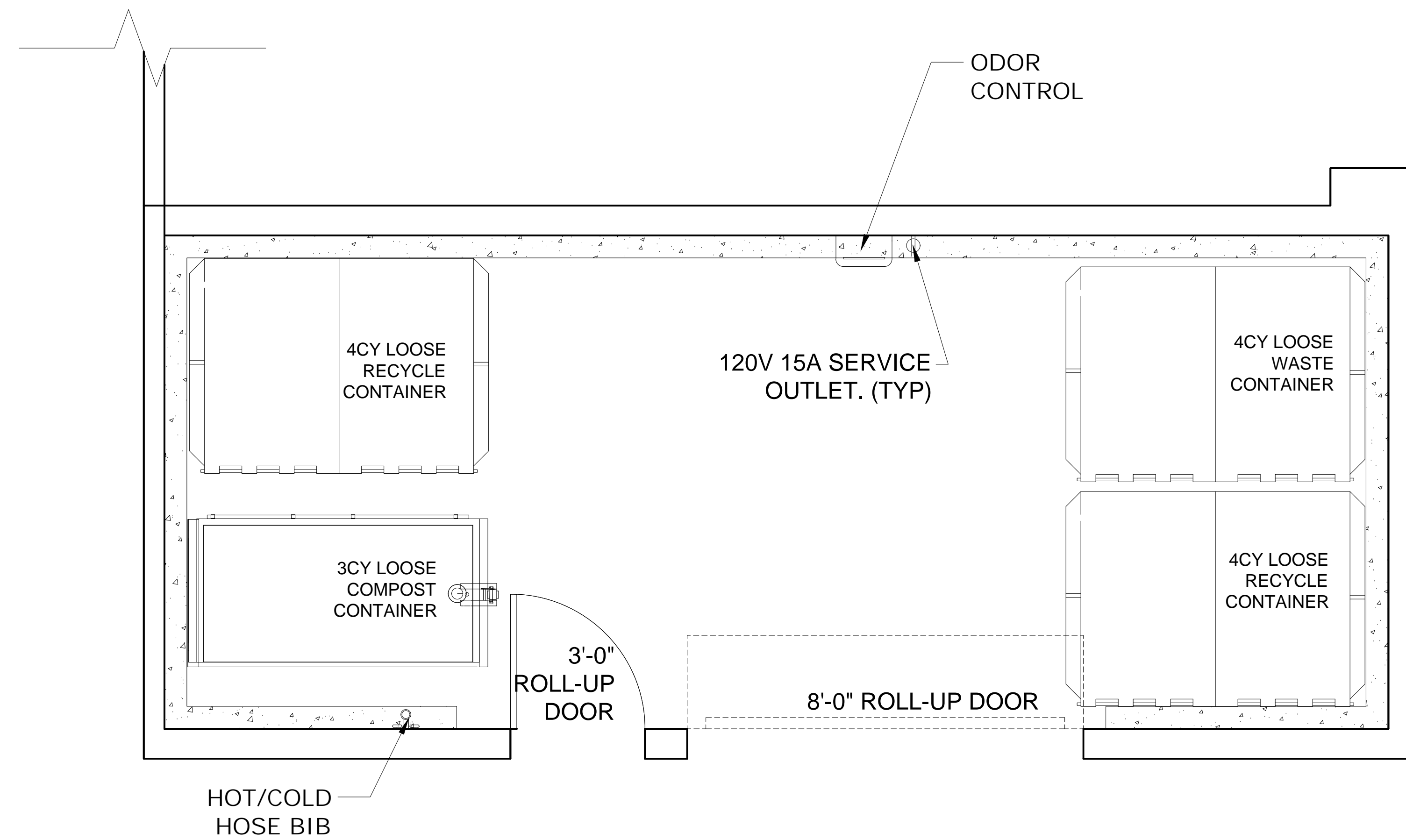
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3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.



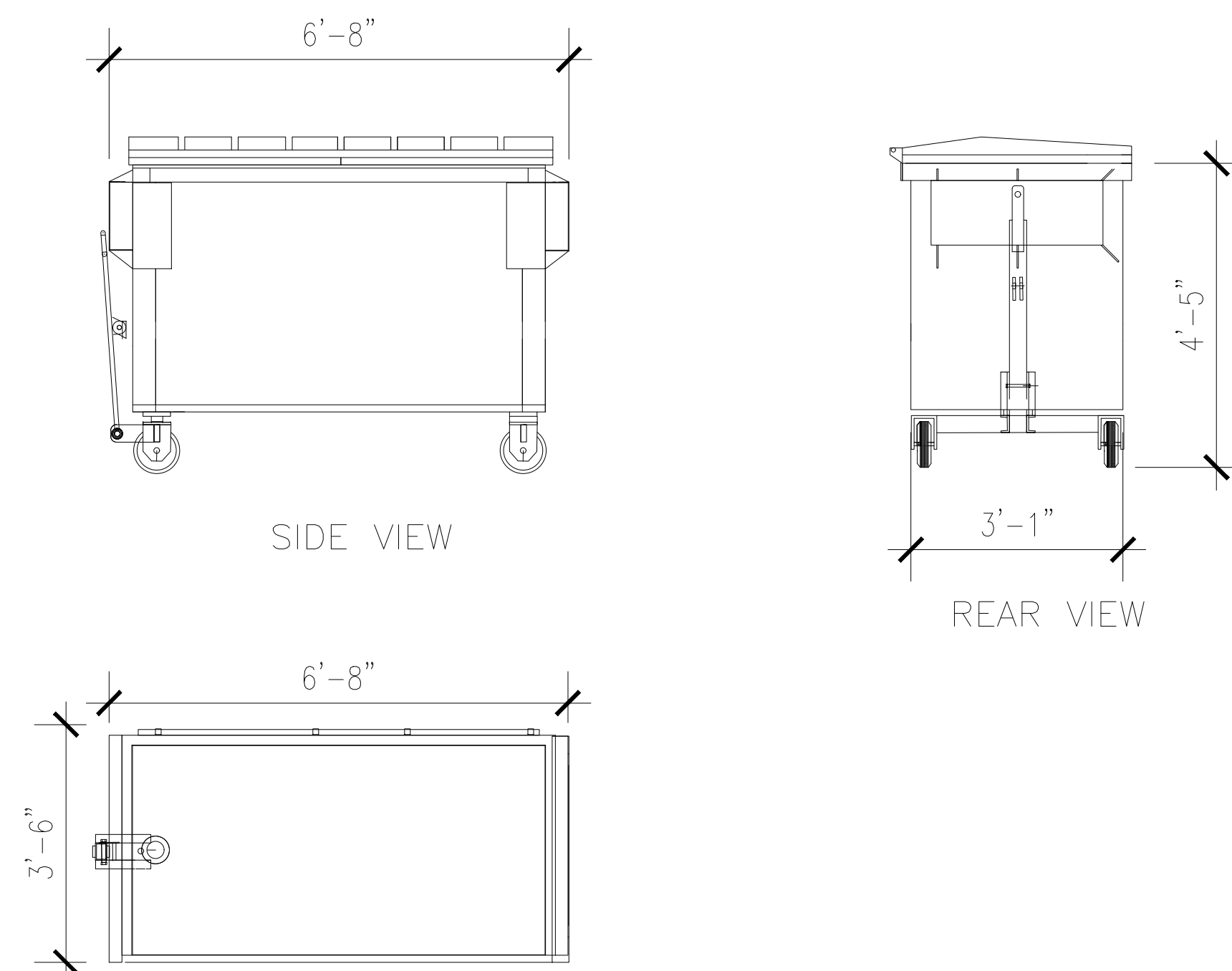
3CY LOOSE CONTAINER DETAILS



4CY LOOSE CONTAINER DETAILS



BUILDING B RETAIL TRASH COLLECTION ROOM



BUILDING A RETAIL TRASH COLLECTION ROOM

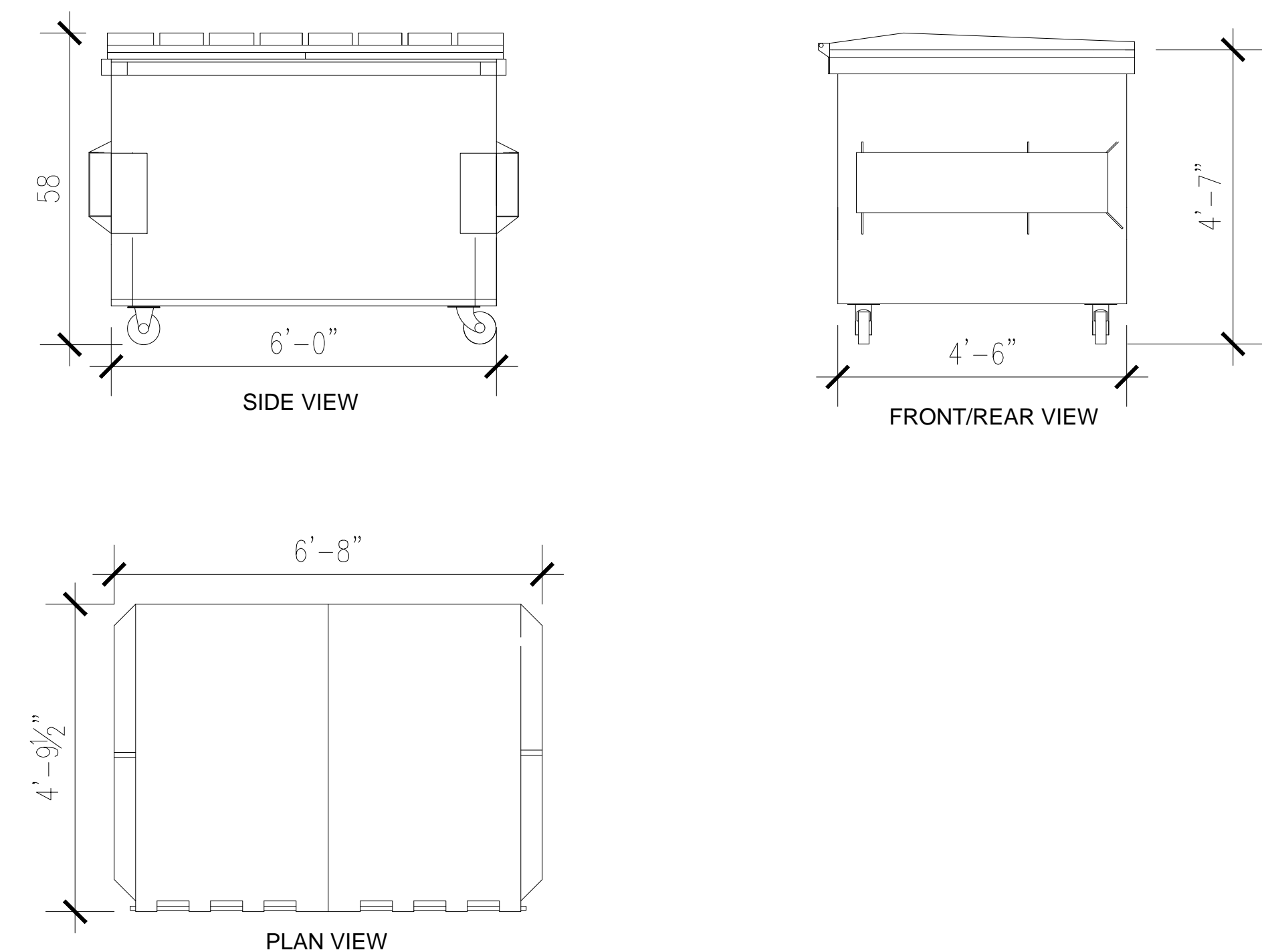
SHEET NOTES:

CENTRAL TRASH COLLECTION AREA

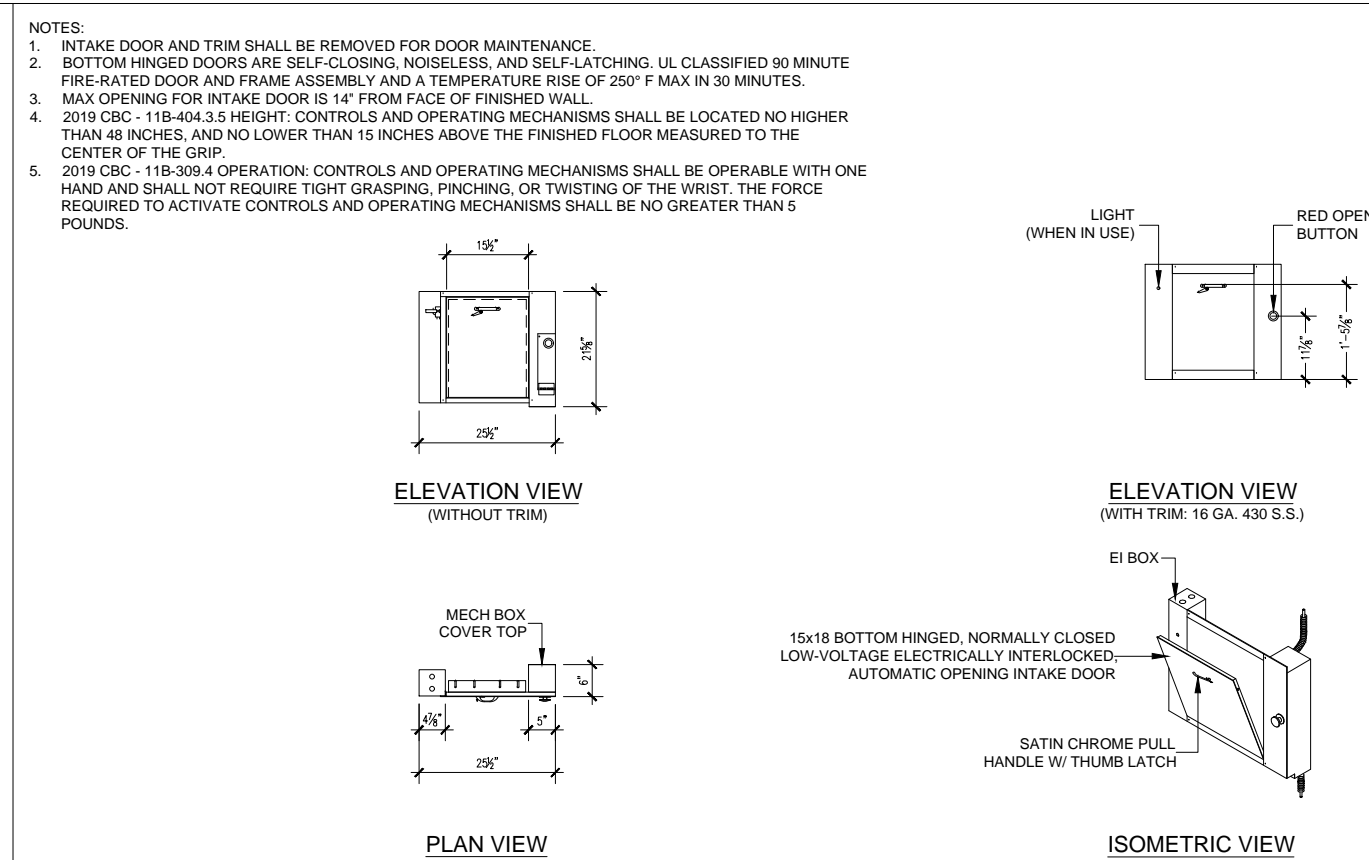
1. CENTRAL TRASH COLLECTION AREA IS 2HR FIRE-RATED - RESTRICTED ACCESS.
2. FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
4. INSTALL WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS.
5. 4CY CONTAINER FOR WASTE & RECYCLING, 3CY CONTAINER FOR COMPOST.
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3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

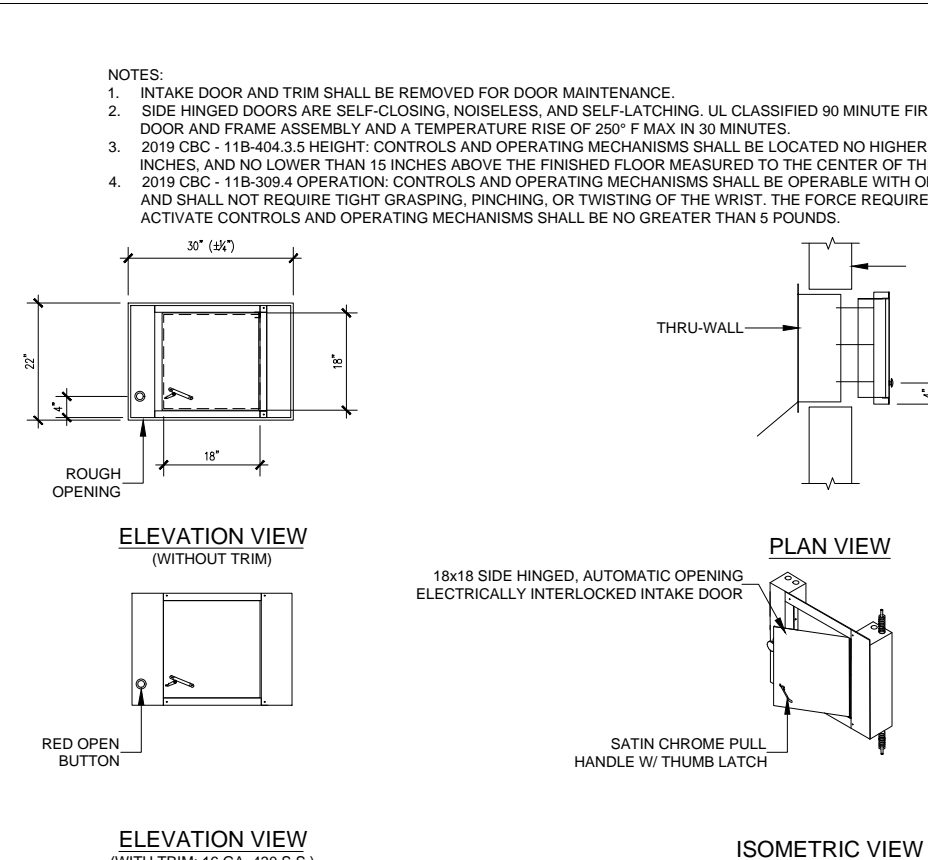


4CY LOOSE CONTAINER DETAILS



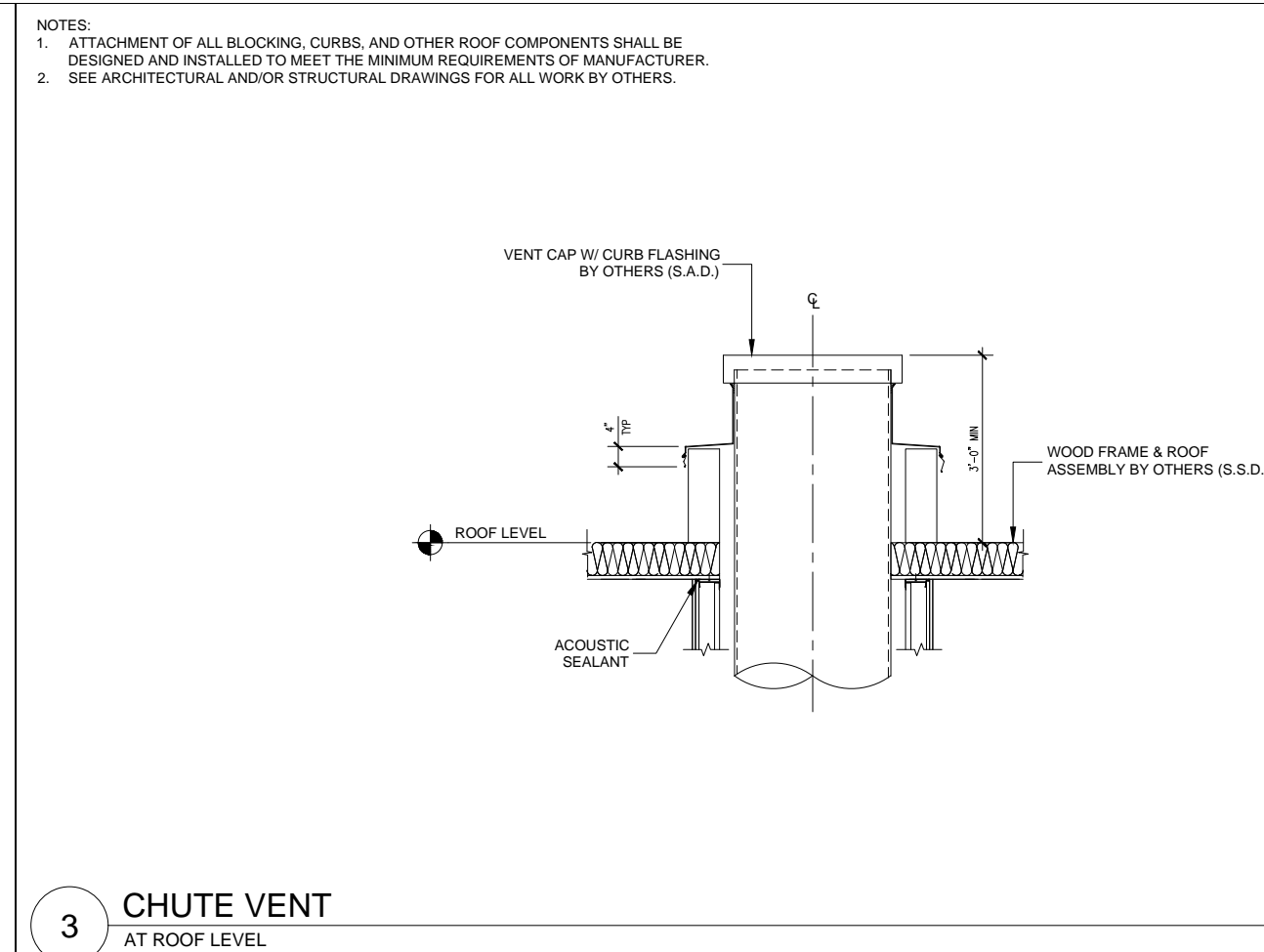
1 CHUTE INTAKE DOOR
GROUND & 8-21 FLOORS

SCALE: $\frac{3}{8}" = 1'-0"$



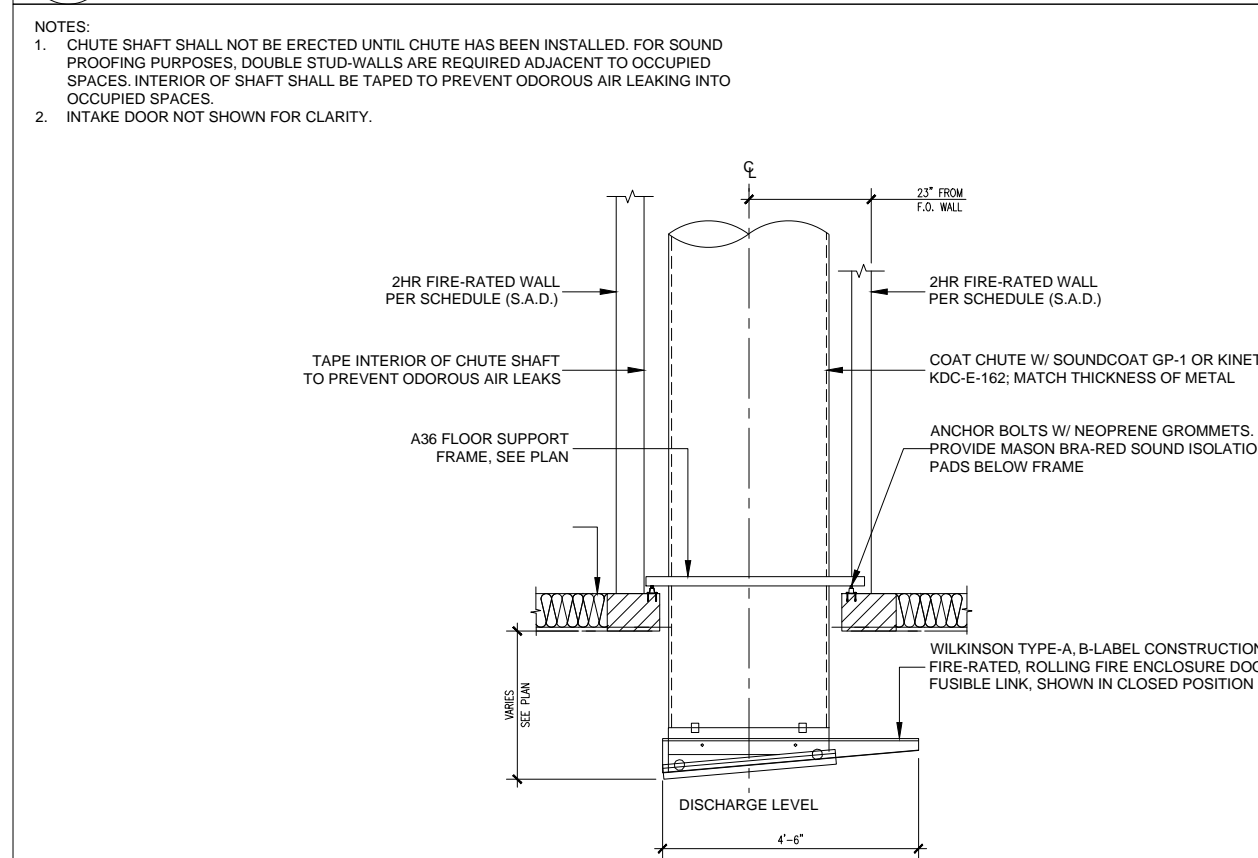
2 THRU-WALL INTAKE DOOR
FLOOR 1

SCALE: $\frac{1}{2}'' = 1'-0''$



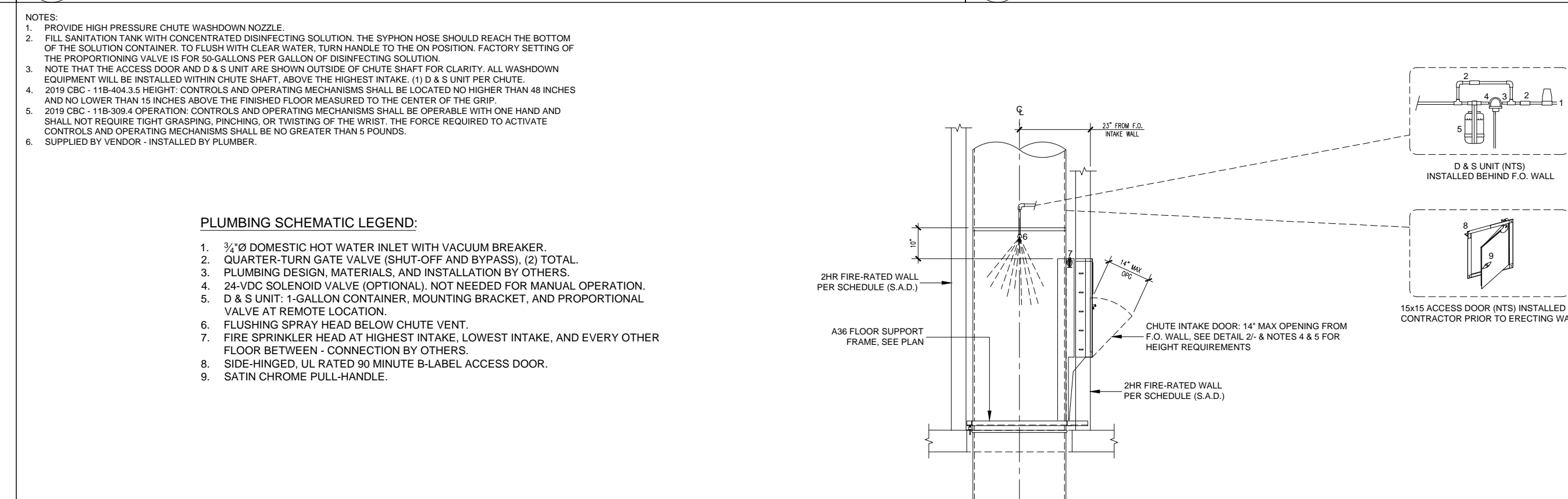
3 CHUTE VENT
AT ROOF LEVEL

SCALE: $\frac{3}{8}'' = 1'-0''$



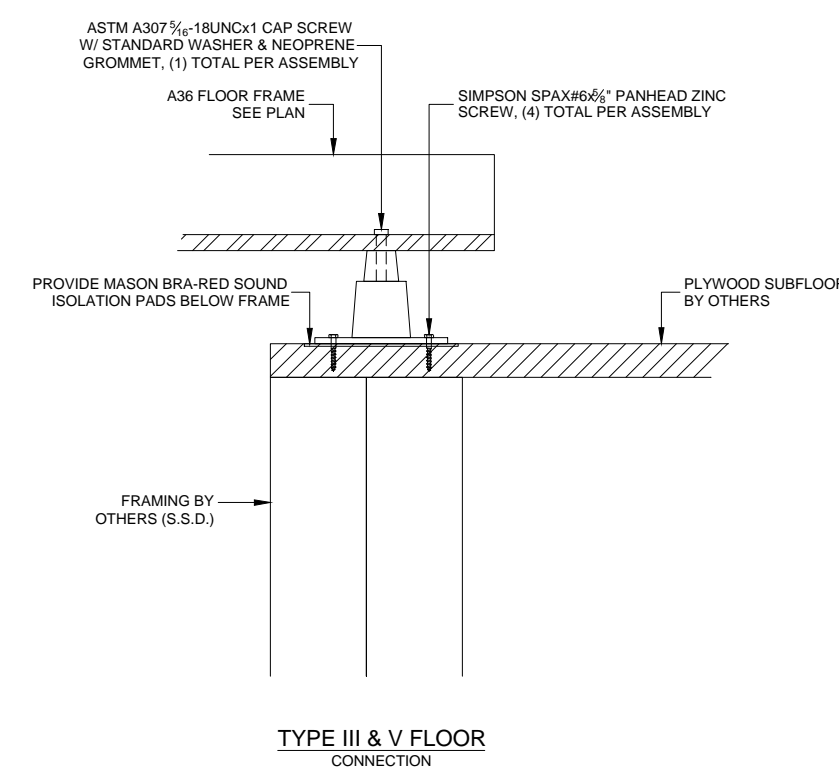
5 CHUTE AIR AND SOUND ISOLATION

SCALE: $\frac{3}{8}'' = 1'-0''$



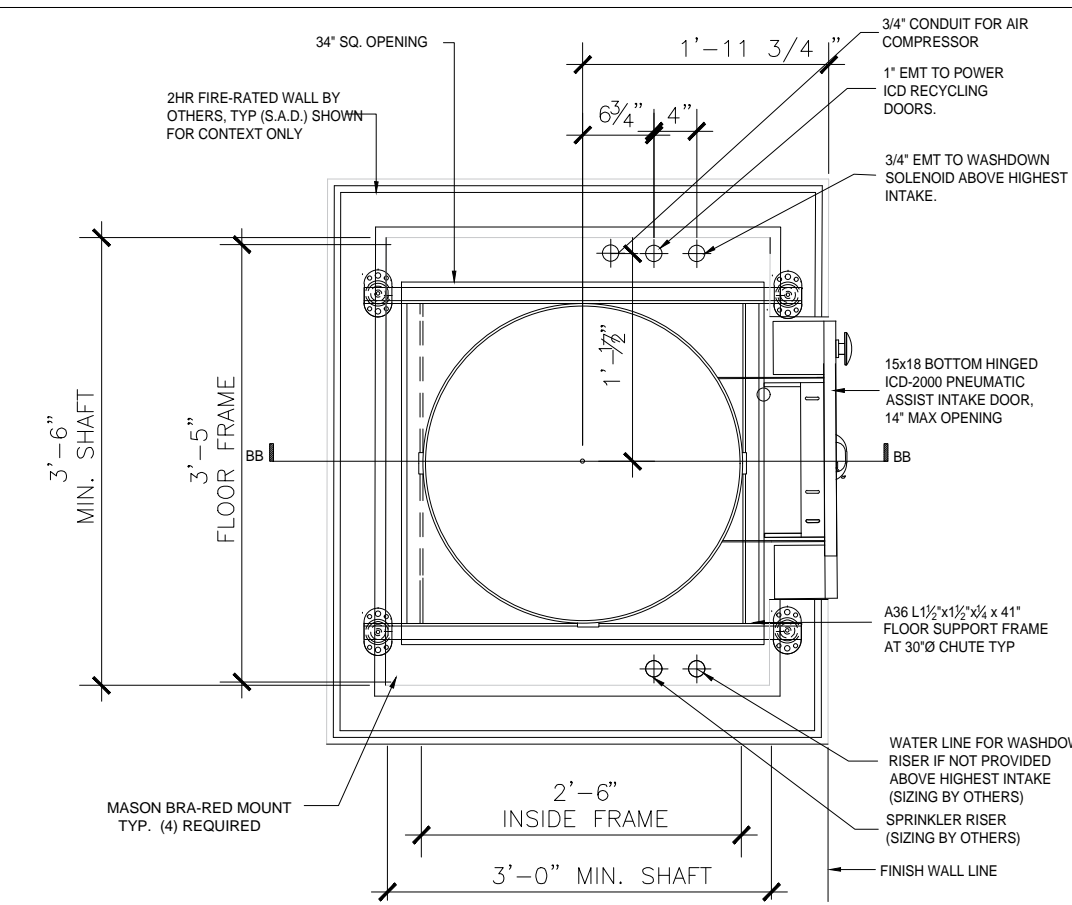
6 FIRE SPRINKLER DETAILS AND CHUTE SANITATION UNIT

SCALE: $\frac{3}{8}" = 1'-0"$



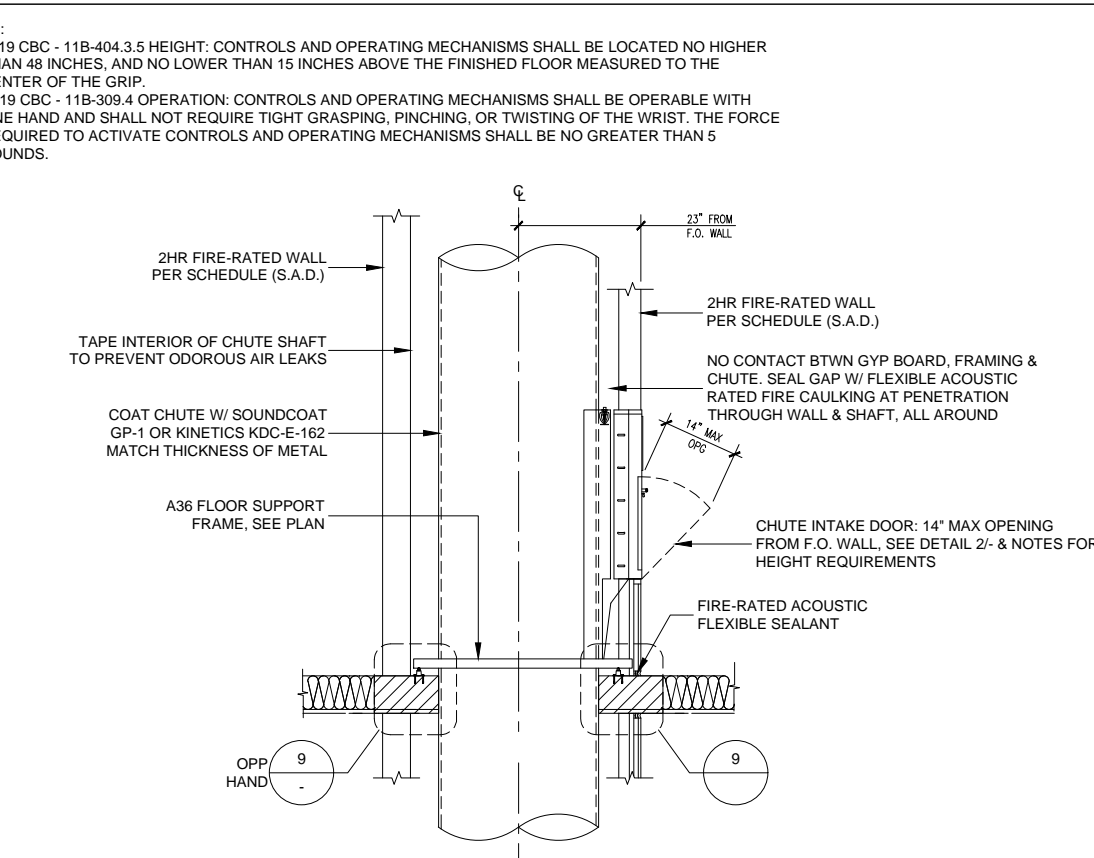
8 FLOOR FRAME ANCHORING

SCALE: $4\frac{1}{2}" = 1'-0"$



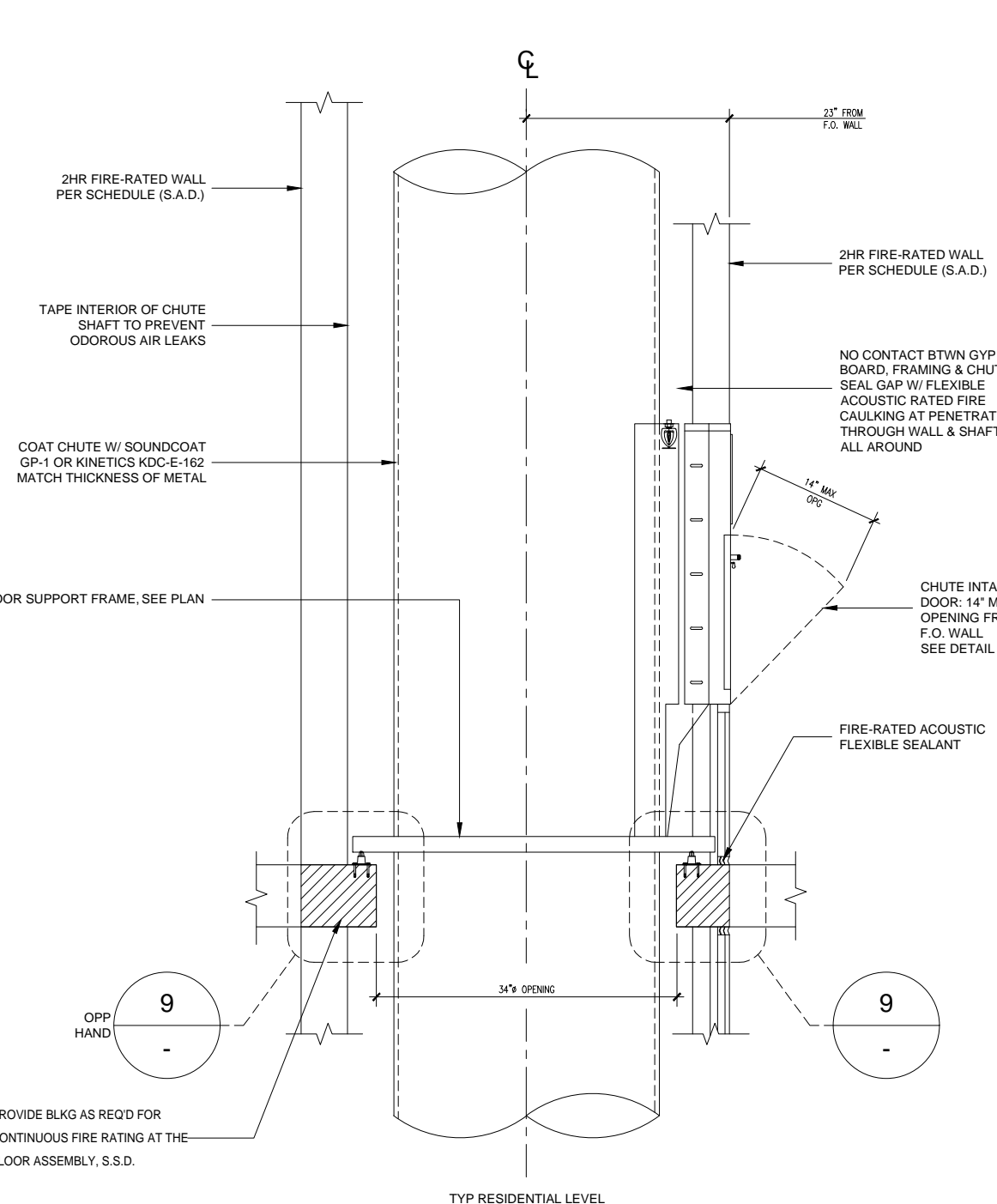
9 WOOD FRAME CONSTRUCTION FOR 30" CHUTE

SCALE: 9" = 1'-0"



CHUTE SHAFT AT INTAKE

SCALE: $\frac{3}{8}" = 1'-0"$



2-HR SHAFT SECTION BB AT CENTER WITH SQUARE OPENING
TIMBER CONSTRUCTION

SCALE: 9" = 1'-0"

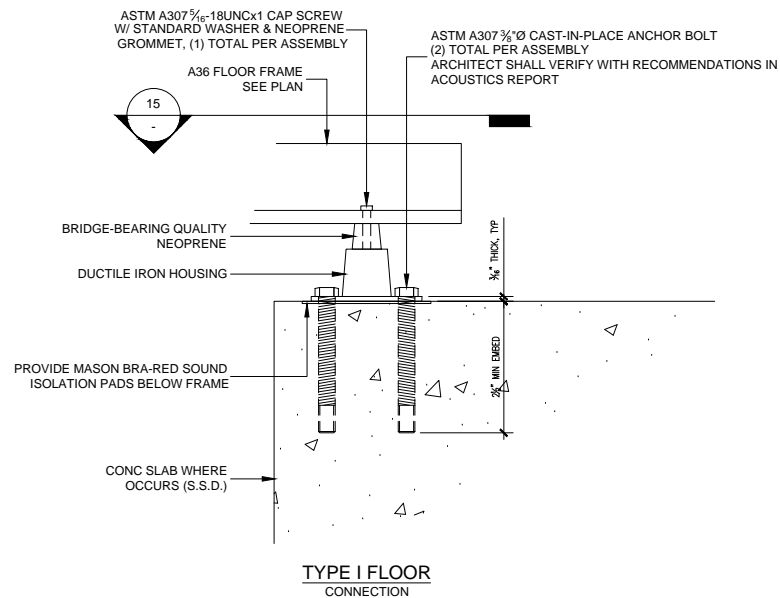
SHEET NOTES: 1'-0" CHUTE DETAILS

1. CHUTE MATERIAL: GALVANIZED OR GALVANEAL 16G STEEL.
2. ALL WALL ASSEMBLIES ENCASE THE CHUTE SHAFT SHALL BE 2HR FIRE-RATED.
3. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS TO VERIFY ALL INFORMATION NOT RELATED TO ATMS SCOPE OF WORK PER AGREEMENT.
4. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB AND SHALL BE PROVIDED BY MANUFACTURER.

GENERAL NOTES:

1. ANY DESIGNING OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
2. ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

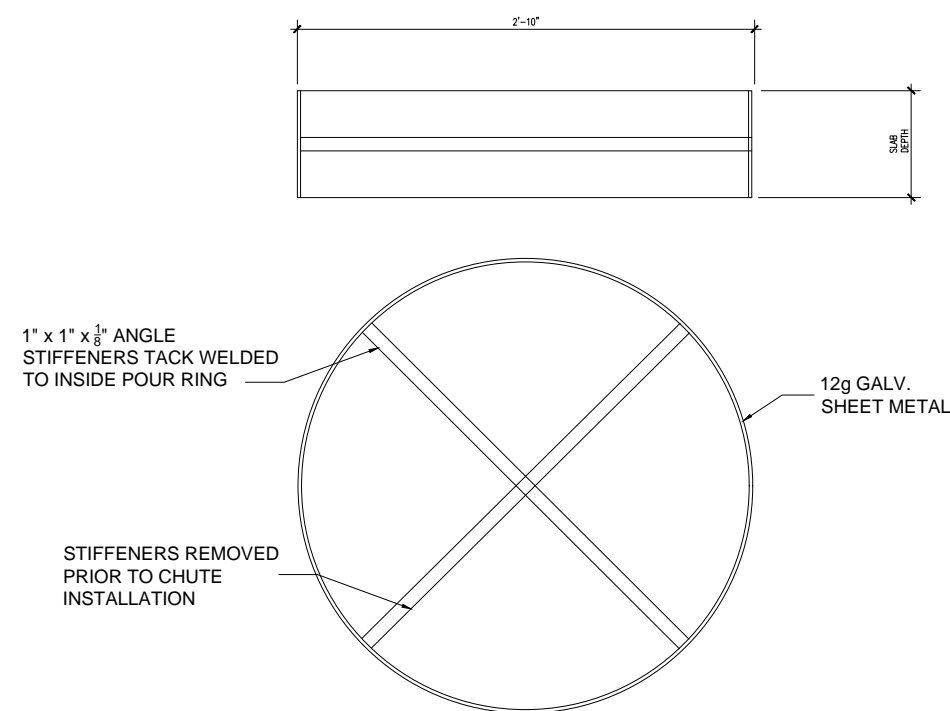
NOTES:
1. REFER TO MANUFACTURER SPECIFICATIONS FOR ALL OTHER INFORMATION NOT LISTED.



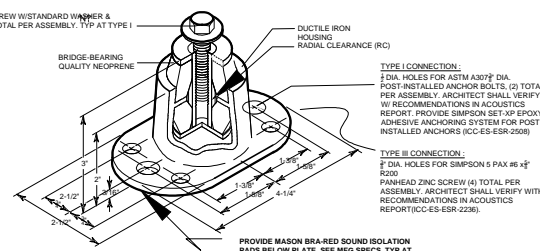
9 FLOOR SUPPORT FRAME ANCHORING
SECTION VIEWS

SCALE: 6\"/>

NOTES:
1. SEE DETAIL 11: FOR CHUTE INTAKE DOOR INFORMATION.
2. SEE DETAIL 8: FOR ADDITIONAL FLOOR SUPPORT FRAME ANCHORING INFORMATION.
3. ANCHOR FLOOR SUPPORT FRAME AT ONE END AS SHOWN. OTHER SIDE OF FRAME TO REST ON TOP OF FLOOR AT INTAKE WALL. SEE PLAN FOR LAYOUT OF CHUTE SHAFT.



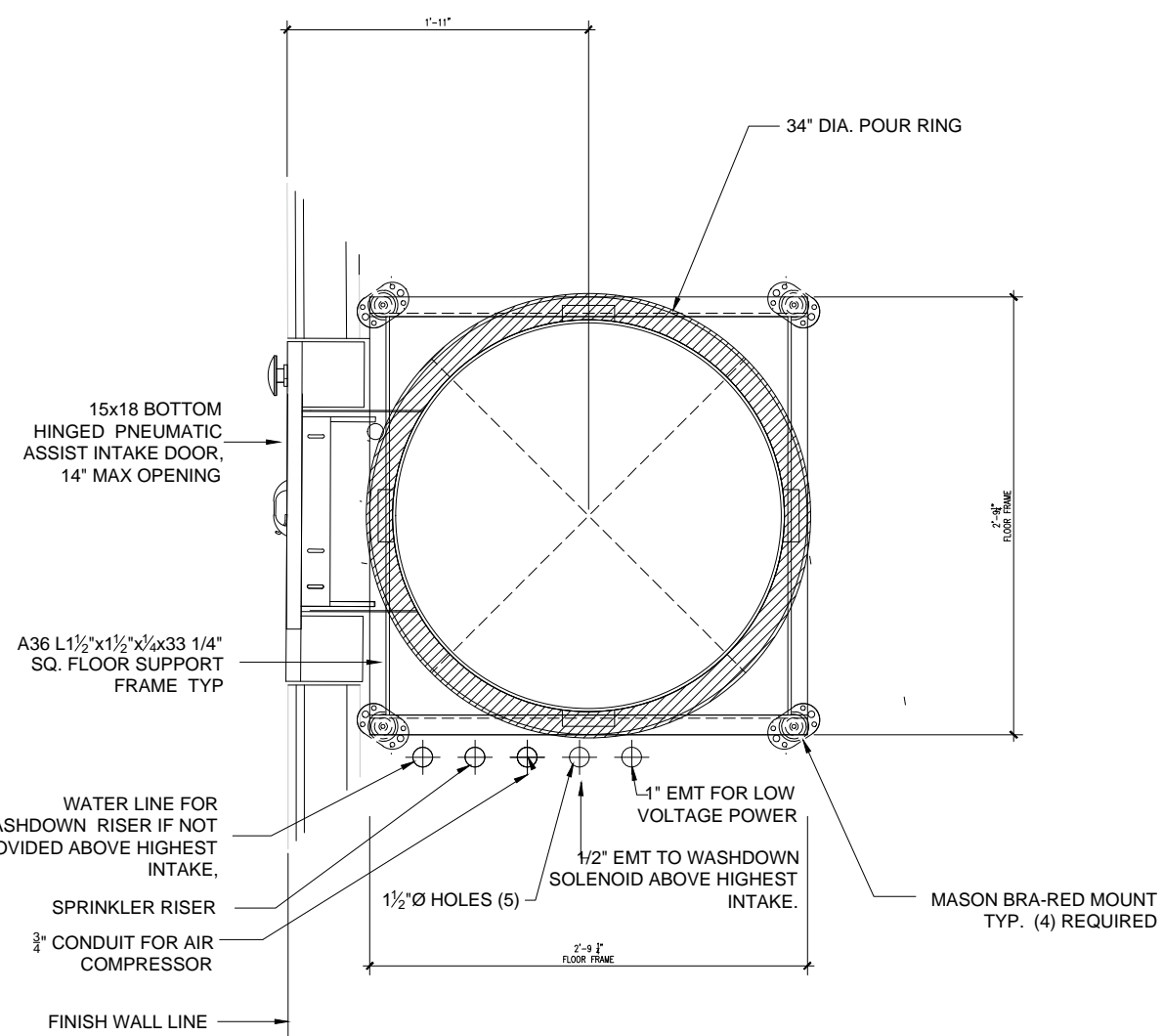
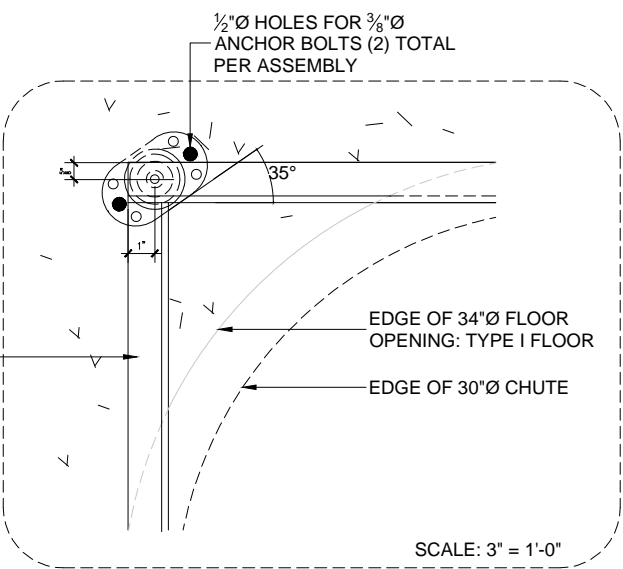
NOTES:
1. ALL HARDWARE PLATED
2. REFER TO MANUFACTURERS SPECIFICATIONS FOR ALL OTHER INFORMATION NOT INCLUDED

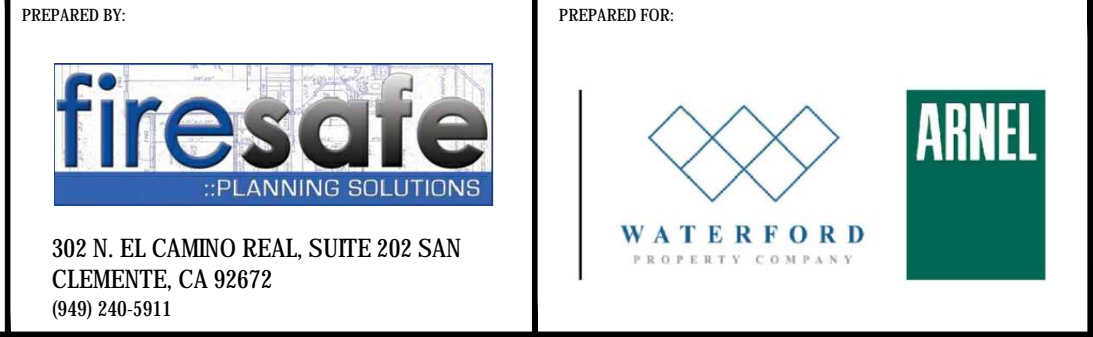
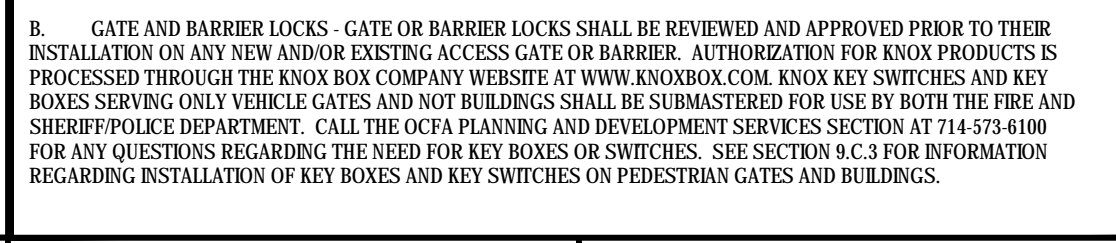
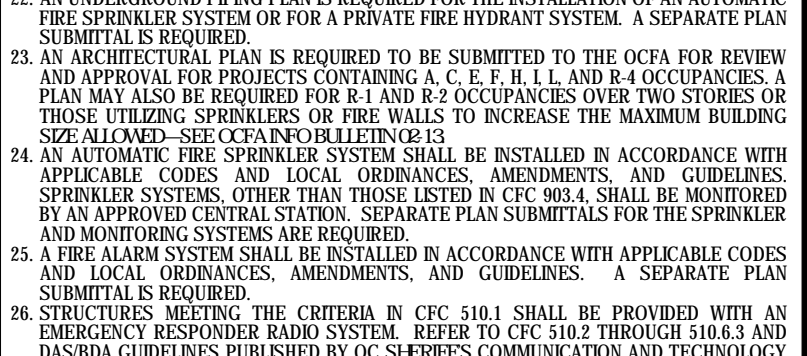
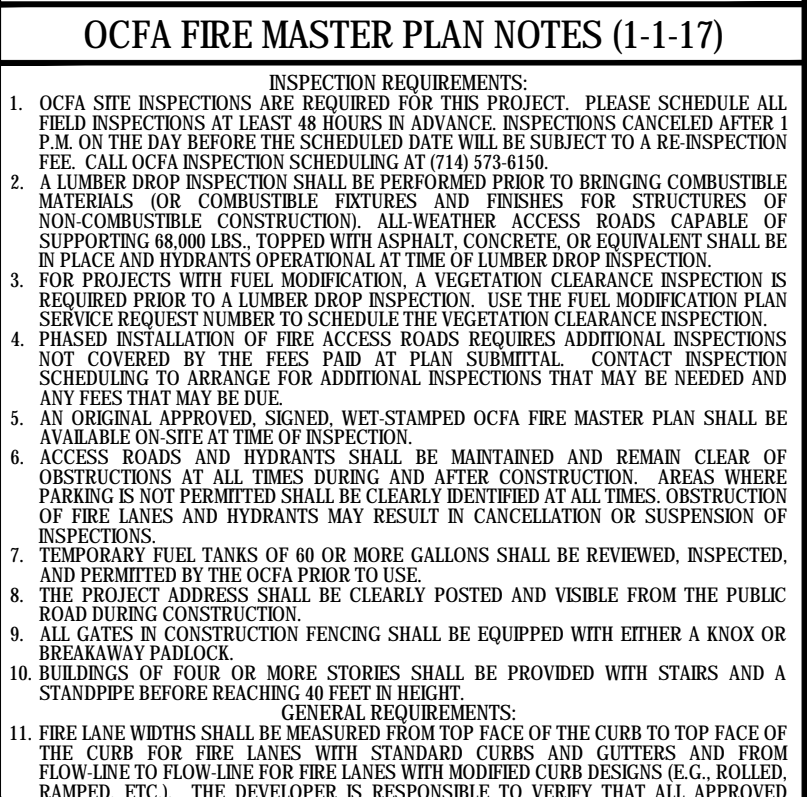
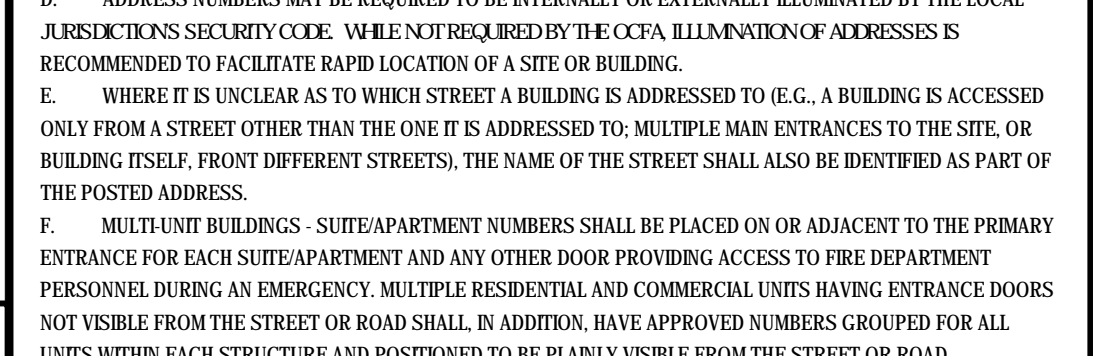
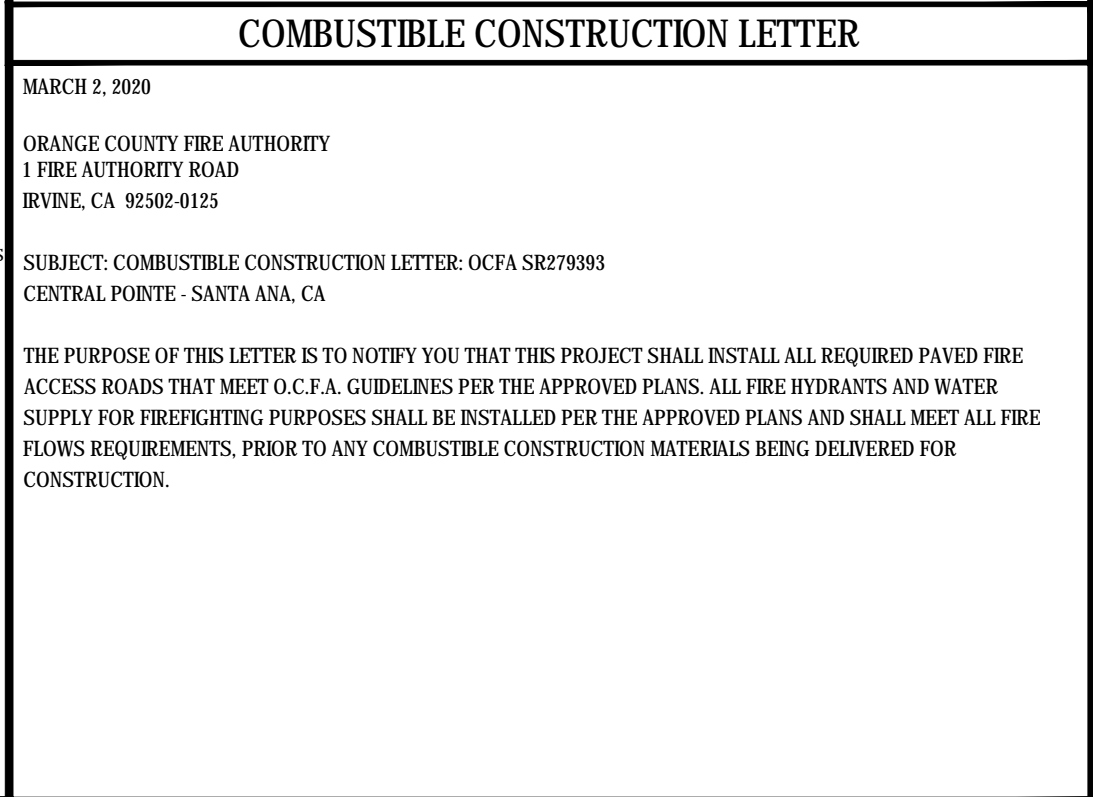
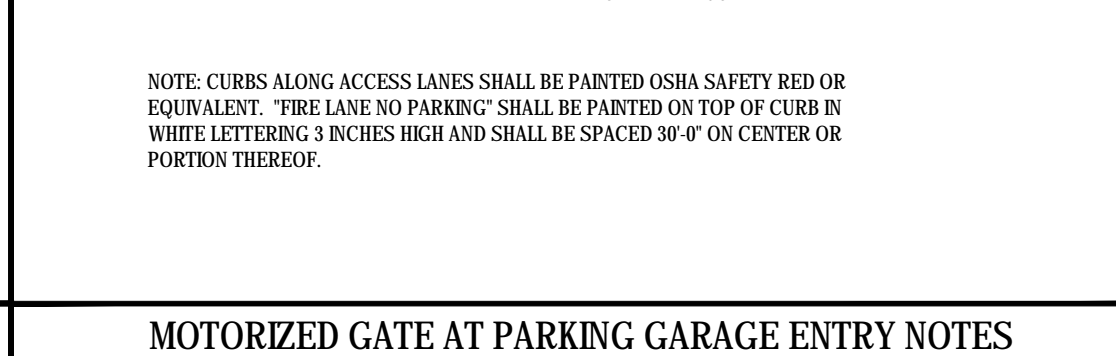
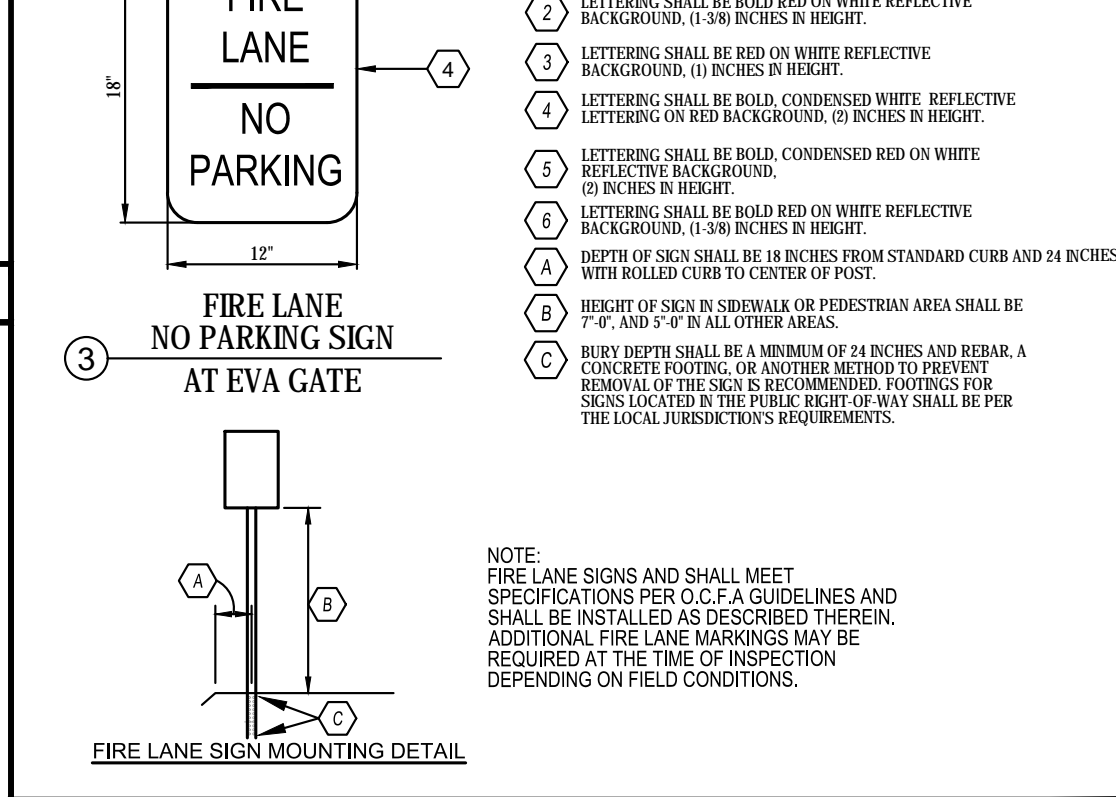
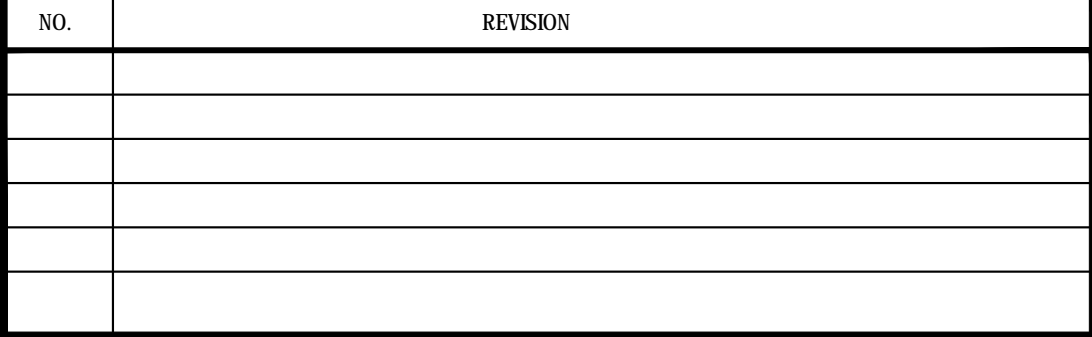


MASON BRA-RED MOUNT

12 FLOOR SUPPORT FRAME ANCHORING
PLAN VIEWS

SCALE: 1/2\"/>





CONCEPTUAL
FIRE MASTER PLAN
CENTRAL POINTE
SANTA ANA, CA
OCFA SR279393

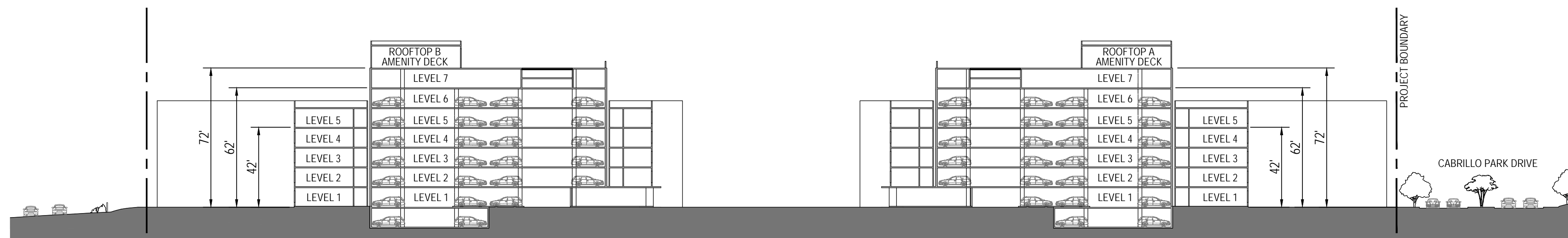
SANTA ANA, CA
OCFA SR279393

BUILDING SECTION VIEW A-A

SCALE: 1"=40'

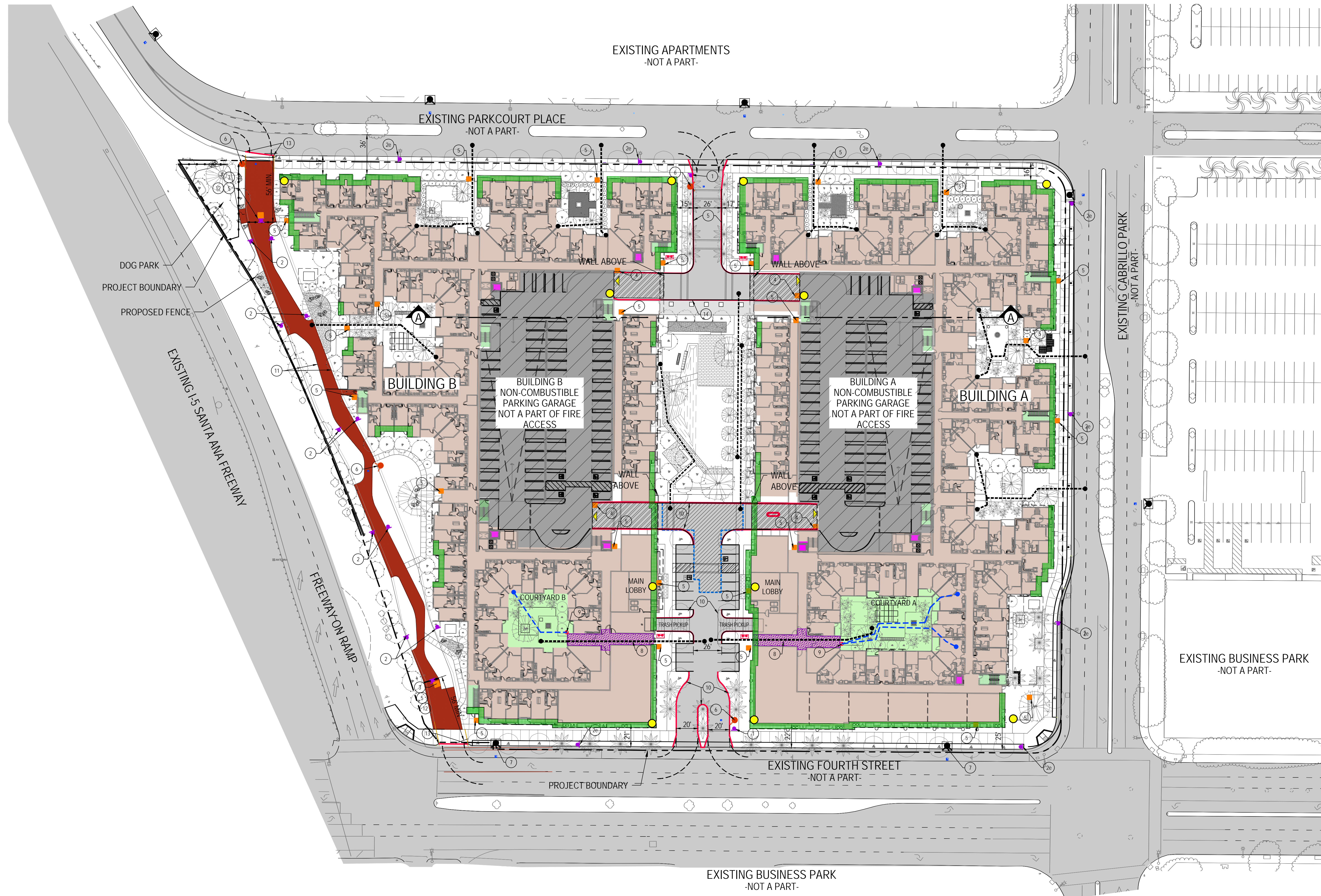
LEGEND

NOTE: BUILDING SECTION PROVIDED BY KTG ARCHITECTS FOR REFERENCE ONLY.




CONCEPTUAL FIRE MASTER PLAN


SCALE: 1"=40'



- PROPOSED FIRE LANE SIGNAGE AS INDICATED ON PLAN AND DETAILS SHEET F-1


 EXISTING FIRE HYDRANT WITH BLUE MARKER

 PROPOSED PUBLIC FIRE HYDRANT WITH BLUE REFLECTIVE FIRE HYDRANT MARKER. MARKER SHALL BE PLACED 6" FROM CENTERLINE OF STREET

 INDICATES APPROXIMATE LOCATION OF SUB-KEYED KNOX BOX WITH 3-SETS OF ENTRY DOOR/GATE KEYS OR SUBKEYED KNOX KEY SWITCH. SEE PLAN FOR DESIGNATION.


 PAINT CURB RED WITH 'NO PARKING FIRE LANE' STENCIL AT 30' O.C. PER OCFA GUIDELINE B-09 AND DETAILS SHT. F-1

 150' HOSE PULL DISTANCE - MAXIMUM


 6" MIN. BUILDING ADDRESSING (SEE ARCHITECTURAL PLAN FOR FINAL DESIGN AND LOCATIONS)

 INDICATES ELECTRIC GATE ENTRY TO PARKING GARAGE


 DOUBLE DETECTOR CHECK SHOWN FOR REFERENCE ONLY. FINAL DESIGN AND LOCATION PER PRECISE FIRE MASTER PLAN.


 AERIAL TRUCK LADDER ACCESS TO BUILDING (BETWEEN 20' - 40' FROM ACCESS ROAD)

 BUILDING FOOTPRINT

 OPEN TO SKY COURTYARD


 STAIRS

 GURNEY SIZED ELEVATOR

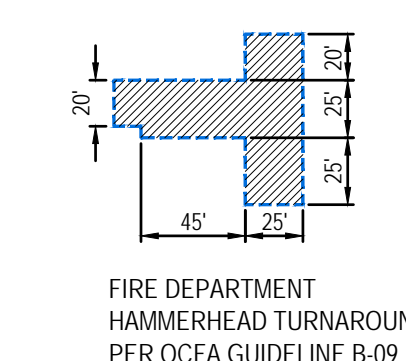
 INDICATES ALL-WEATHER ENGINEERED PAVED ALTERNATIVE SURFACE THAT SHALL MEET OCFA GUIDELINE B-09 68,000 LB. VEHICULAR WEIGHT REQUIREMENT.

 PAVED DRIVE - NOT A PART OF FIRE ACCESS

 NON-COMBUSTIBLE TYPE I-A PARKING GARAGE - NOT A PART OF FIRE ACCESS

 PROPOSED ROAD WITH ALL-WEATHER PAVED SURFACE MEETING OCFA GUIDELINE B-09 TO SUPPORT VEHICULAR LOADS OF 68,000 LBS WITH A ROAD BASE OVER SOIL COMPACTED TO A LEAST 90%

 EXISTING PAVED DRIVE - NOT A PART OF THIS REVIEW



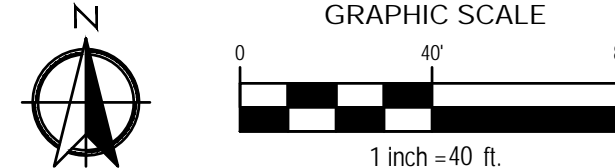
INDICATES O.C.F.A
REQUIRED TURNING RADII:
20' WIDE PATH WITH 17'
INSIDE AND 38' OUTSIDE

CONSTRUCTION NOTES

- ① INSTALL FIRE LANE ENTRANCE SIGN PER OCFA GUIDELINE B-09 AND DETAIL HEREON.
- ② INSTALL 'FIRE LANE - NO PARKING' SIGN PER OCFA GUIDELINE B-09 AND DETAIL HEREON.
- ② EXISTING 'NO STOPPING AT ANYTIME' SIGN, NOT A PART OF THIS SUBMITTAL.
- ③ INSTALL 'FIRE LANE NO PARKING' SIGN ON BOTH SIDES OF EVA GATE ENTRANCES PER OCFA GUIDELINE B-09 AND DETAIL SHT. F-1.
- ④ INSTALL KNOX SUB-KEYED KEY SWITCH PER OCFA GUIDELINE B-09.
- ⑤ INSTALL SUB-KEYED KNOX BOX PER OCFA GUIDELINE B-09.
- ⑥ INSTALL PUBLIC FIRE HYDRANT AND BLUE FIRE HYDRANT MARKER. MARKER SHALL BE PLACED 6' FROM CENTERLINE OF STREET.
- ⑦ RELOCATE EXISTING PUBLIC FIRE HYDRANT AS INDICATED ON THIS PLAN.
FINAL DESIGN PER PRECISE FIRE MASTER PLAN.
- ⑧ INSTALL FIREFIGHTER ACCESS TUNNEL PER OCFA GUIDELINE B-09 REQUIREMENTS. SEE DETAIL SHT. F-1.
- ⑨ INSTALL WET STAND PIPES WITHIN OPEN TO THE SKY COURTYARD. SHALL MEET 2017 OCFA GUIDELINE B-09 REQUIREMENTS. ALL WET STAND PIPE OUTLETS SHALL BE IN LOCATIONS THAT FACILITATE THE USE (NO MORE THAN 18' FROM) FROM BEING UNOBSTRUCTED BY BUILDING OR ANY OTHER AMENITIES. STAND PIPES MAY BE FREE STANDING OR MOUNTED ON THE BUILDING.
- ⑩ PAINT CURB RED WITH NO PARKING FIRE LANE STENCIL AT 30' O.C. PER OCFA GUIDELINE B-09 AND DETAILS SHT. F-1.
- ⑪ INSTALL ALL-WEATHER ALTERNATIVE PAVED SURFACE. SHALL MEET OCFA GUIDELINE B-09 TO SUPPORT VEHICULAR LOADS OF 68,000 LBS. FINAL DESIGN PER PRECISE FIRE MASTER PLAN.
- ⑫ INSTALL MANUAL ACCESS GATE PROVIDING 20' WIDE ACCESS AND 13' K' BOX WITH VERTICAL CLEARANCE FOR FIRE DEPARTMENT ACCESS. SHALL WEATHER RESISTANT SUB. KEYED KNOX BOX AT EVA GATE ACCESS POINTS PER OCFA GUIDELINE B-09. FINAL DESIGN PER PRECISE FIRE MASTER PLAN.
- ⑬ INSTALL DRIVABLE ROLLED CURB FOR FIRE DEPARTMENT ACCESS. SHALL MEET OCFA GUIDELINE B-08 REQUIREMENTS TO SUPPORT VEHICULAR LOADS OF 68,000 LBS. CURB SHALL BE PAINTED RED PER DETAIL SHT. F-1. FINAL DESIGN PER PRECISE FIRE MASTER PLAN.

NO.	REVISION

DRAWING SCALE



LANDSCAPE ARCHITECT:

**MJS LANDSCAPE
ARCHITECTURE**
507 30TH STREET
NEWPORT BEACH, CA 92663
P: (949) 675-9964

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PREPARED FOR:	
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ARNE

	TITLE:
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CONCEPTUAL
FIRE MASTER PLAN
CENTRAL POINTE
SANTA ANA, CA
OCFA SR279393

ORANGE COUNTY FIRE AUTHORITY

DATE:

07/20/2020

F-2

CCFA SR279393 - CENTRAL POINTE - FIRE MASTER PLAN