

PUBLIC WORKS NOTES:

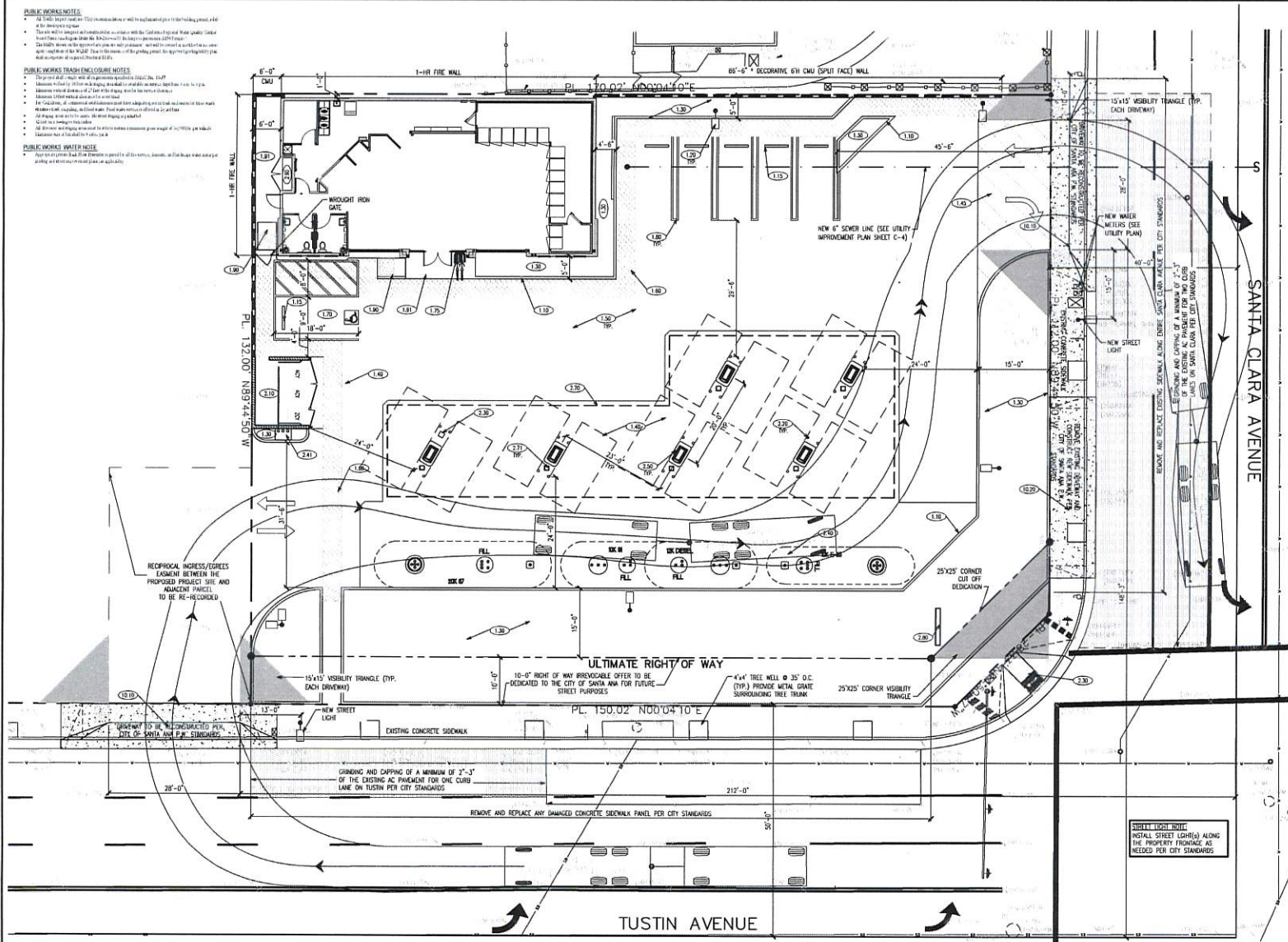
- 1. All utility lines shown on this plan are assumed to be in place and are not to be relocated.
- 2. All utility lines shown on this plan are assumed to be in place and are not to be relocated.
- 3. All utility lines shown on this plan are assumed to be in place and are not to be relocated.
- 4. All utility lines shown on this plan are assumed to be in place and are not to be relocated.
- 5. All utility lines shown on this plan are assumed to be in place and are not to be relocated.

PUBLIC WORKS TRASH ENCLOSURE NOTES:

- 1. Trash enclosure shall be constructed of 12" x 12" x 12" concrete blocks.
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PUBLIC WORKS WATER NOTES:

- 1. Water lines shall be constructed of 12" x 12" x 12" concrete blocks.
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VICINITY MAP

CONSTRUCTION NOTES

- 1.10 6" CONCRETE CURB
- 1.15 6"x6"x5' CONCRETE PARKING WHEEL BUMPER
- 1.20 20' LED AREA LIGHT WITH PHOTO-CELL AND TIME CLOCK SWITCHING PER "CALIFORNIA" AND TITLE 24 REQUIREMENTS. HOOD AND AWNINGS SO AS NOT TO CAUSE A HURDLE TO ADJACENT STREET TRAFFIC OR TO CAUSE AN OBSTRUCTION. THE AMOUNT OF LIGHT THAT SHALL BE PROVIDED SHALL BE PER THE PUBLIC WORKS STANDARDS AND GUIDELINES.
- 1.30 LANDSCAPING WITH AUTOMATIC IRRIGATION
- 1.40 6" CONCRETE DRIVE SLAB WITH #3 BARS @ 18" O.C. OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE.
- 1.45 COLORED CONCRETE WITH ONE SCHEME LINES
- 1.50 6" OVER 4" A.B. ASPHALT PAVING OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE.
- 1.60 ADA PATH OF TRAVEL (MIN. 48" WIDE AND SLOPE NOT TO EXCEED 2% EACH WAY) PROVIDE DECORATIVE PAVERS ALONG THE PATH
- 1.70 ADA PARKING SPACE WITH ALL RELATED STORAGE (SLOPE NOT TO EXCEED 2% E&S)
- 1.75 BICYCLE PARKING (MIN. 3) PER CAL GREEN CODE
- 1.80 8.5'X18' STANDARD PARKING SPACES
- 1.90 CONCRETE ADA RAMP (SLOPE 8.33%)
- 1.91 CONCRETE SIDEWALK (MIN. 48" WIDE WITH 2% CROSS SLOPE WHERE ADA PATH OF TRAVEL OCCURS)
- 2.10 TRUCK ENCLOSURE (FULLY COVERED ROOF) PER CITY OF SANTA ANA PUBLIC WORKS STANDARDS
- 2.20 6" CONCRETE FILLER STEEL GUARD POSTS
- 2.30 AIR/WATER UNIT
- 2.40 UNDER GROUND STORAGE TANKS (2) 20,000 GALLON AND (1) 30,000 GALLON UNDER REINFORCED CONCRETE SLAB
- 2.41 TANK VENT RISERS CAVISON CANISTER
- 2.50 CONCRETE ISLAND W/ (1) MULTI PRODUCT DISPENSER (6" MIN. & 6" MAX. HEIGHT)
- 2.55 FUELING CANOPY
- 2.71 FUELING CANOPY COLUMNS
- 2.80 B SIGNAGE
- 2.90 ELECTRICAL PANELS
- 10.10 NEW CONCRETE DRIVEWAY PER CITY OF SANTA ANA PUBLIC WORKS STANDARDS
- 10.20 NEW CONCRETE SIDEWALK PER CITY OF SANTA ANA PUBLIC WORKS STANDARDS
- 10.30 NEW CONCRETE ADA RAMP PER CITY OF SANTA ANA PUBLIC WORKS STANDARDS

SITE DATA INFORMATION

DEVELOPER'S INFORMATION: ACCESSORS:

FIVE TUSTIN INC. CAROL MANDERS

14751 PACIFIC COAST HIGHWAY 208-341-06

SANTA MONICA, CA 90402

CONTACT: FARZAN GHODOSHAYAT

CONTRACT: COMMERCIAL

LOT AREA	SQ. FT.	ACRE	RATIO
CONVENIENCE STORE	22,240.0	0.5	-
OCCUPANCY	2,150.0	-	10%
CONSTRUCTION	2,150.0	-	10%
CANOPY AREA	2,880.0	-	13%
OCCUPANCY	2,880.0	-	13%
CONSTRUCTION	2,880.0	-	13%

RETAIL: 1/2000

TYPE	SIZE	REQUIRED	PROVIDED
ADA	16.5'X10'	1	1
REGULAR	8.5'X10'	10	5
FUELING	8.5'X10'	6	12
TOTAL		17	18

BUILDING INFORMATION / ANALYSIS			
CONVENIENCE STORE		FUELING CANOPY	
TOTAL AREA	2,150.0 sq. M	AREA	2, 0.0 sq. M
ALLO. ABLE AREA	9,000.0 sq. M	ALLO. ABLE AREA	9,000.0 sq. M
ALLO. ABLE HEIGHT	48'-0"	ALLO. ABLE HEIGHT	48'-0"
FIRE SPRINK. LED	NO	FIRE SPRINK. LED	NO
OCCUPANCY TYPE	M	OCCUPANCY TYPE	M
CONSTRUCTION TYPE	W8	CONSTRUCTION TYPE	W8
OCCUPANT LOAD	1,100.0 / 0.1	OCCUPANT LOAD	12 FUELING POSITIONS
MERCHANDISE AREA	1,050.0 / 300.4		
STORAGE/OFFICE/RESTROOM	1,050.0 / 300.4		

APPLICABLE CODES:

BUILDING CODE	2019 CBC
FIRE CODE	2019 FPC
PLUMBING CODE	2019 PFC
ELECTRICAL CODE	2019 EFC
MECHANICAL CODE	2019 MFC
ACCESSIBILITY CODE	2019 CADA
GREEN BLDG. CODE	2019 CALIFORNIA
MUNICIPAL CODE	SANTA ANA

REVISIONS

NO.	DATE	DESCRIPTION
1	04/01/21	ISSUED FOR PUBLIC COMMENTS
2	04/01/21	ISSUED FOR PUBLIC COMMENTS
3	04/01/21	ISSUED FOR PUBLIC COMMENTS
4	04/01/21	ISSUED FOR PUBLIC COMMENTS
5	04/01/21	ISSUED FOR PUBLIC COMMENTS

FARZ INC.

GAS AND MART

PROJECT: 2230 N. TUSTIN AVENUE
SANTA ANA, CA 92705

SITE PLAN

DATE ISSUED: 04/01/21

SCALE: 1/8" = 1'-0"

DRAWN BY: F. COHEN

CHECKED BY: F. COHEN

PROJECT NUMBER: 2100B

STORE NUMBER: FARZ INC.

SHEET: C.11

GENERAL GRADING NOTES:

1. ALL GRADING SHALL COMPLY WITH THE LATEST CODE CHAPTERS 18 AND 33, AND APPENDIX J AND THE SANTA ANA MUNICIPAL CODE. A CITY GRADING PERMIT IS REQUIRED FOR GRADING.
2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY ENGINEER, INSPECTOR, A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE STARTING GRADING WITH THE FOLLOWING PEOPLE PRESENT: GRADING CONTRACTOR, DESIGN CHART ENGINEER, GEOLOGICAL ENGINEER, GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHITECT AND PALEONTOLOGIST. THE REQUIRED INSPECTORS FOR GRADING WILL BE EXPIRIENCED AT THIS MEETING.
3. AN APPROVED COPY OF THE GRADING PLANS SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
4. THE DESIGN CHART ENGINEER SHALL BE AVAILABLE DURING THE GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN HIS FURNER.
5. THE GEOLOGICAL ENGINEER SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE GRADING. THE GRADING CONTRACTOR AND APPROVAL FROM THE GEOLOGICAL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. EACH TEST SHALL BE IDENTIFIED WITH THE METHOD OF OBTAINING THE IN-PLACE DENSITY, WHETHER SAND CONE OR DRIVE RAMP AND SHALL BE SO NOTED FOR EACH TEST. SUFFICIENT MASSAGE DENSITY CURVES BY THE FIELD TECHNICIAN.
6. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2:1 HORIZONTAL TO 1:1 VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
7. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 95% RELATIVE DENSITY. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO MINIMUM OF 95% RELATIVE DENSITY. MAXIMUM DENSITY SHALL BE DETERMINED BY UNIFORM BUILDING CODE STANDARD NO. 10-1 OR APPROVED EQUIVALENT, AND FIELD DENSITY BY UNIFORM CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
8. THE CONTRACTOR SHALL NOT CREATE ANY TRENCH OR EXCAVATION 5-FEET OR MORE WITHOUT THE NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.
9. ALL CUT SLOPED SHALL BE INTERSECTED BOTH DURING AND AFTER GRADING BY THE GEOLOGICAL ENGINEER TO DETERMINE IF ANY SLOPE STABILITY PROBLEMS EXIST. SHOULD EXISTENCE OF SUCH PROBLEMS BE IDENTIFIED, THE GEOLOGICAL ENGINEER, THE CONTRACTOR, ENGINEER, AND THE CITY ENGINEER SHALL RECOMMEND TREATMENT TO THE CITY ENGINEER FOR APPROVAL.
10. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES WHERE ACTIVE SITES AT LEAST TWICE DAILY.
11. THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
12. GRADING OPERATIONS, INCLUDING MAINTENANCE OF EQUIPMENT, WITHIN ONE-HALF (1/2) MILE OF HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 8:00 PM AND 7:00 AM, ON WEDNESDAYS, INCLUDING SATURDAY, OR ANY TIME ON SUNDAY OR A FEDERAL HOLIDAY. CITY OF SANTA ANA MUNICIPAL CODE SECTION 10-214.
13. THE PERMITTEE SHALL MAKE REASONABLE NOTICE TO THE OWNER OF ADJACENT LOTS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LOTLINE AND SUBSEQUENT SUPPORT OF THE ADJACENT PROPERTY. THE NOTICE SHALL STATE THE ANTICIPATED DEPTH OF EXCAVATION AND WHEN EXCAVATION COMMENCES. THE ADJACENT OWNER SHALL BE ADVISED AT LEAST 10 DAYS AND REASONABLE ACCESS TO THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
14. ALL EXISTING BARRIERS THROUGH THE SITE SHALL REMAIN OPEN TO HANDLE THE STORM WATER. HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
15. APPROVED EROSION PROTECTION DEVICES SHALL BE INSTALLED AND MAINTAINED DURING THE DRAIN SURVEY AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. PROPER EROSION CONTROL MEASURES MUST BE SHOWN ON THE PLANS.
16. CONSTRUCTION STOPS SHALL BE MAINTAINED IN SUCH A MANNER THAT AN ANTICIPATED STORM DOES NOT CARRY WATERS OR POLLUTANTS OFF THE SITES.

20. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ALL DAMAGE TO PUBLIC PROPERTIES THAT ARE CAUSED BY THE WORK ON-SITE. REPAIR MUST BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.
21. MINIMUM ASPHALT PAVEMENT THICKNESS SHALL BE:
 - 4" AC/2.5" AS - PARKING AREAS
 - 4" AC/2.5" AS - DRIVEWAYS (CONCRETE)
 - 4" AC/2.5" AS - DRIVEWAYS (CONCRETE)
 - 3" AC OVER 4" AS - PARKING AREAS (MULTI-FAMILY)
 - 3" AC OVER 4" AS - DRIVEWAYS (MULTI-FAMILY)
22. EXISTING VOLUMES:
 - CUT: 500 CUBIC YARDS
 - FILL: 350 CUBIC YARDS
 - NET: 150 CUBIC YARDS (EXPORT)
23. IF THE NET VOLUMES EXCEED 500 CUBIC YARDS, THE CONTRACTOR MUST SUBMIT A TRAIL TRACK ROUTE TO THE CITY FOR APPROVAL. HAIL ROUTE SHALL INCLUDE THE LOCATION OF BORROW AND/OR DISPOSAL SITE, ALL STREETS INCLUDED IN THE ROUTE, THE PROPOSED STAGING AREA AND THE MAXIMUM CROSS-SECTION OF THE TRUCKS WHEN LOADED.
24. SUBMIT AN 8' X 11" HAIL ROUTE MAP OF APPROPRIATE SCALE WHICH INDICATES THE LOCATION OF THE PROJECT SITE, SHOWING STREETS AND DIRECTION OF TRAILING UP TO AND INCLUDING THE END OF THE ROUTE.
25. PURSUANT TO ASSEMBLY BILL 3018, NO EXCAVATION PERMIT IS VALID UNLESS THE CONTRACTOR OBTAINS AND OBTAINS AN INQUIRY TO NUMBER FROM UNDERGROUND SERVICE ALERT (1-800-422-4133) AT LEAST TWO WORKING DAYS PRIOR TO COMMENCING EXCAVATION.
26. SEPARATE PERMITS MUST BE OBTAINED FROM THE CITY BUILDING AND SAFETY DIVISION FOR THE CONSTRUCTION OF RETAINING WALLS, LIGHT POLES, TRASH ENCLOSURES, ON-SITE PLUMBING AND ALL BUILDING STRUCTURES.
27. ALL FENCES ON PLANS SHOULD BE A MINIMUM OF 6' T.

GENERAL NOTES:

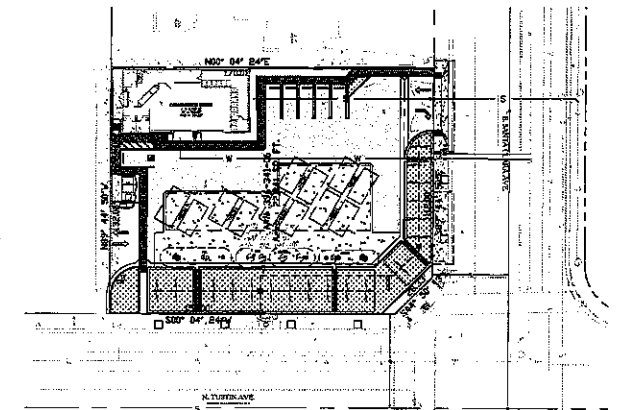
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS WRITTEN AND PROMULGATED BY THE LATEST EDITION OF THE CALIFORNIA CHAPTER OF THE APPLICABLE CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES (BY PUNCHING OR OTHER MEANS). THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (1-800-422-4133) 48 HOURS BEFORE ANY EXCAVATION.
2. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY OR STRUCTURE SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. NO CERTIFICATION IS MADE AS TO ACCURACY OR THOROUGHNESS OF THESE RECORDS. APPROVAL OF THIS PLAN BY THE CITY OF SANTA ANA DOES NOT CONSTITUTE AN ENDORSEMENT OR ENDORSEMENT OF ANY UNDERGROUND UTILITY OR STRUCTURE WITHIN THE LIMITS OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES (BY PUNCHING OR OTHER MEANS). THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (1-800-422-4133) 48 HOURS BEFORE ANY EXCAVATION.
3. THESE CONSTRUCTION DOCUMENTS WERE CREATED FROM TOPOGRAPHIC SURVEY CONDUCTED FOR THE SITE EXACT LOCATION OF ALL EXISTING ELEVATIONS MAY NEED TO BE MODIFIED AND SOME FIELD ADJUSTMENTS MAY BE NECESSARY. THE CONTRACTOR SHALL INCLUDE AS PART OF THE BID, TIME AND LABOR FOR ANY MODIFICATIONS NECESSARY TO IMPLEMENT THE INTENT OF THE DESIGN.
4. WATER QUALITY MANAGEMENT PLANS (WQMP) SUPERSEDES GRADING PLANS IN CASE OF DISCREPANCIES.

EROSION CONTROL NOTES:

1. ALL CONSTRUCTION, ALL CONSTRUCTION ON CITY-SIDE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO THE FOLLOWING: POLLUTION PREVENTION, EROSION CONTROL, AND BEST MANAGEMENT PRACTICES TO PREVENT DELIVERIES, MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEM.
2. THE FOLLOWING SHOULD BE ADHERED TO:
 1. MINOR, STORE AND DISPOSE OF MATERIALS PROPERLY.
 2. AVOID EXCAVATION AND GRADING ACTIVITIES DURING WET WEATHER.
 3. CONSTRUCT DRAINAGE DITCHES AND DRAINAGE SINKS ALONG WORKING SITES.
 4. COVER STOCK PILES AND EXCAVATED SOIL WITH RECLAIMED TARP OR PLASTIC SHEETING.
 5. DEVELOP AND IMPLEMENT EROSION CONTROL PLANS.
 6. CHECK AND REPAIR LEAKING EQUIPMENT AWAY FROM CONSTRUCTION SITE.
 7. DEMARK A LOCATION AWAY FROM STORM DRAINS FOR REFUELING.
 8. COVER AND SEAL CATCH BASINS WHENEVER WORKING IN THEM.
 9. USE WASH WATER WITH ALL CONCRETE SAMING OPERATIONS.
 10. NEVER WASH EXCESS MATERIAL FROM AGGREGATE, CONCRETE OR EQUIPMENT INTO A STREET.
 11. CATCH DROPS FROM PAPER WITH DRP PANS ASSORTED MATERIAL.
 12. CLEAN UP ALL SPILLS USING DRY METHODS.
3. EXISTING DISTURBED AREAS MUST HAVE EROSION PROTECTION BARRIERS PROPERLY INSTALLED. THESE BARRIERS MUST BE MAINTAINED, UNLESS OTHERWISE STATED AND SLOPES. THE ONLY RELIEF FROM THIS REQUIREMENT FOR SLOPES GREATER THAN 3:1 (UP TO 4:1) IS IF THE BARRIERS ARE PROPERLY MAINTAINED BE-BEING BARRIERS AS ALL DRAINAGE PANS.
4. ADEQUATE PERMITTER PROTECTION BARRIERS MUST BE INSTALLED AND MAINTAINED.
5. ADEQUATE SEDIMENT CONTROL BARRIERS MUST BE INSTALLED AND MAINTAINED.
6. ADEQUATE BARRIERS TO CONTROL OFF-SITE SEDIMENT INTRUSION MUST BE INSTALLED AND MAINTAINED.
7. A MINIMUM OF 10% OF THE MATERIAL REQUIRED TO INSTALL STANDBY BARRIERS IS NECESSARY TO COMPLETE THE EXPOSED PORTION OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT INTRUSION. MUST BE STORED ON SITE AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION WHEN FURTHER EXCAVATION OR EXISTING VESTIGIAL EXCAVATION BARRIERS AS DESCRIBED BELOW ARE NOT CONSIDERED TO BE "EXPOSED" FROM PURPOSES OF THIS REQUIREMENT.

PRELIMINARY IMPROVEMENT PLANS TUSTIN SERVICE STATION

2230 N TUSTIN AVE., SANTA ANA, CA 92705



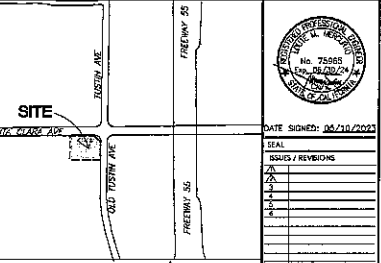
SITE PLAN
SCALE: 1"=30'

NOTICE TO CONTRACTORS:

1. ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS, AND THOSE SHOWN ON THE RECORDS EXAMINED, ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE OWNER, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT HERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSTANDERS HARMLESS FROM ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED OR INDICATED ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES (BY PUNCHING OR OTHER MEANS). THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (1-800-422-4133) 48 HOURS BEFORE ANY EXCAVATION.
2. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.
3. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "CALIFORNIA SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR, AND WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS."
4. THE CITY ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTOR'S AND SUBCONTRACTOR'S COMPLIANCE WITH THE "CALIFORNIA SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR OR WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS."
5. CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES (BY PUNCHING OR OTHER MEANS). THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (1-800-422-4133) 48 HOURS BEFORE ANY EXCAVATION.
6. THE ESTIMATED QUANTITIES HEREIN ARE ONLY FOR THE PURPOSE OF OBTAINING THE NECESSARY PERMITS AND THE BASIS OF THE BIDDING. THEY DO NOT GUARANTEE THE ACCURACY OF THE ESTIMATED QUANTITIES. THE CONTRACTOR SHALL PERFORM HIS OWN QUANTITY CHECKS BEFORE SUBMITTING A BID FOR ANY PORTION OF THE IMPROVEMENTS COVERED BY THESE PLANS.
7. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "CALIFORNIA SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS."

SHEET INDEX

- C-1 - TITLE SHEET, NOTES, ABBREVIATIONS & LEGENDS
- C-2 - NOTES, QUANTITIES & CROSS SECTIONS
- C-3 - PRECISE GRADING PLAN
- C-4 - BMP SITE PLAN & DETAILS
- C-5 - HORIZONTAL CONTROL, SIGNING & STRIPING PLAN
- C-6 - COMPOSITE WET UTILITY PLAN
- C-7 - EROSION CONTROL PLAN
- C-8 - DETAILS
- C-9 - DETAILS & STANDARD PLANS



VICINITY MAP
NOT TO SCALE

PROJECT INFORMATION:

SITE ADDRESS: 2230 N TUSTIN AVE, SANTA ANA, CA 92705
PROPERTY AREA: 0.51 ACRES (22,310 SQ FT)
DEVELOPED AREA: 0.51 ACRES
APN: 388-341-06
FEMA FIRM MAP: DE05002771
BUILDING AREA: 2,100 SQ FT

PROJECT OWNER:

PGC TUSTIN, INC.
14351 PACIFIC GARD HWY., SUITE 100, SANTA ANA, CA 92704
ATTN: FARZAN AHMADPOUR

CIVIL ENGINEER:

LAND DEVELOPMENT & ENGINEERING, INC.
2219 E. BRIDGEMAN BL., FULLERTON, CA 92831
(714) 933-1911
www.lde-engineering.com

UTILITY SURVEYS:

ELECTRIC: SOUTHERN CALIFORNIA Edison (800) 611-1911
www.sce.com
GAS: SOUTHERN CALIFORNIA GAS COMPANY (877) 238-0022
www.scegas.com
WATER: SANTA ANA MUNICIPAL UTILITY SERVICES (714) 647-5454
www.santana.org
PHONE: AT&T (866) 861-0075
www.att.com
THE WIRELESS CABLE (800) 882-4357
www.thewirelesscable.com
CABLE/FIBER: THE WIRELESS CABLE (800) 882-4357
www.thewirelesscable.com
TRASH/RECYCLING: WASTE MANAGEMENT (916) 842-1152
www.waste.com

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CONTINUED OF TUSTIN AVENUE, AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 24 PAGE 48, OF RECORDS OF SURVEY, RECORDS OF ORANGE COUNTY, SAID BEARING BEING NORTH 04° 04' EAST.

BENCHMARK:

DESIGNATION: SA-288-70 (NAVDS88 2010)
ELEVATION: 190.612'

DESCRIPTION: ALUMINUM DISK STAMPED SA-288-70 IN THE NORTHWESTERLY CORNER OF THE INTERSECTION OF TUSTIN AVENUE AND SANTA ANA AVENUE.

SOILS ENGINEER CERTIFICATION:

I HEREBY CERTIFY THAT THE DESIGN OF THESE GRADING PLANS COMPLIES WITH ALL REQUIREMENTS AND TO THE REQUIREMENTS CONTAINED IN THE APPROVED BILLS REPORT NO. J002022.

YES DATE



DATE SIGNED: 06/10/2020

DATE	REVISIONS
06/10/2020	1
06/10/2020	2
06/10/2020	3
06/10/2020	4
06/10/2020	5
06/10/2020	6
06/10/2020	7
06/10/2020	8
06/10/2020	9
06/10/2020	10

DATE: 06/10/2020

DRAWN BY: CAC

CHECKED BY: LM

DATE: 06/10/2020

DATE: 06/10/2020

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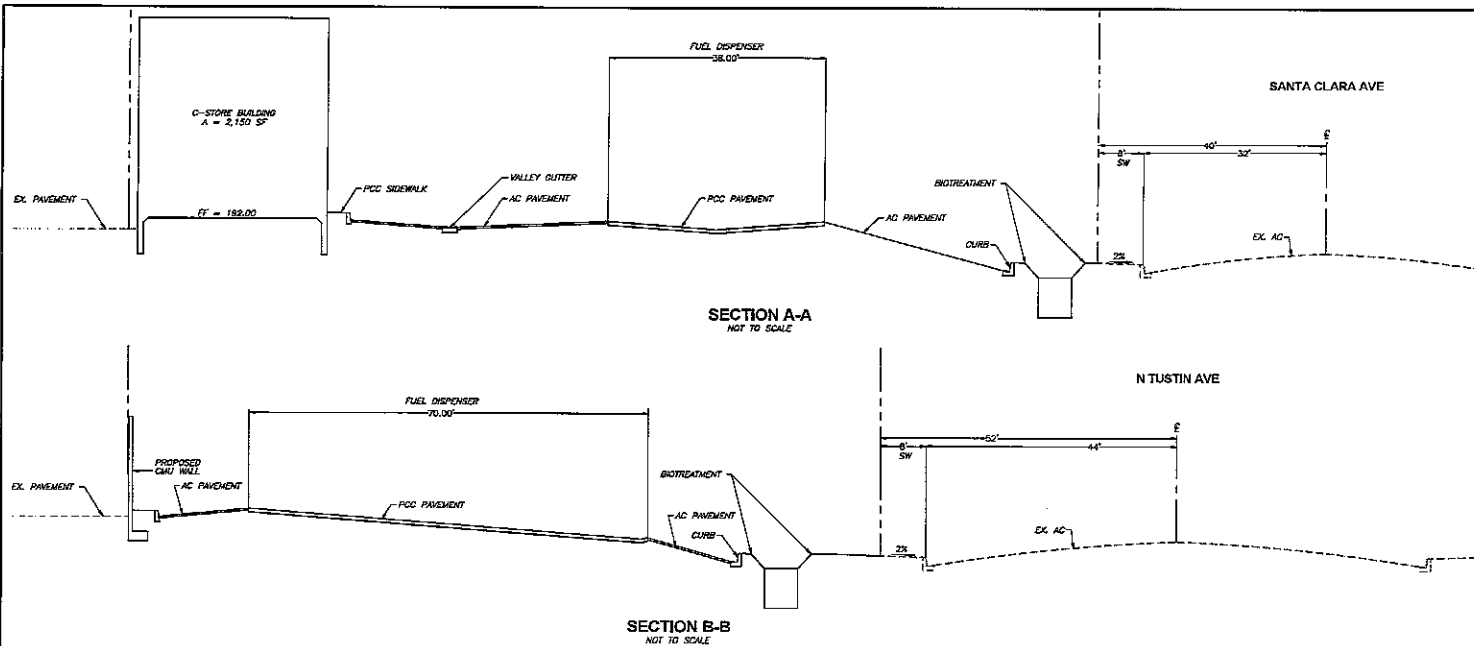
DATE: 06/10/2020

DATE: 06/10/2020



Know what's below.

Call before you dig.



GENERAL SPECIFICATIONS:

1. THE STAMPED SET OF PLAN SHALL BE ON THE JOB SITE AT ALL TIMES.
2. NO WORK SHALL BE STARTED IN OR ABOUT A GROING PROJECT WITHOUT FIRST NOTIFYING THE GROING INSPECTOR.
3. OWNER SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMP TO CONTROL DUST CAUSED BY GROING AND CONSTRUCTION. OWNER SHALL AT ALL TIMES PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
4. WEEDING EQUIPMENT SHALL BE KEPT IN GOOD OPERATING CONDITION AND MAINTAINED AS REQUIRED BY LAW.
5. THE FILL MATERIAL IN EACH BRIDGELING SHALL BE KEPT LOW ENOUGH TO PREVENT SPALLS AND SHALL BE SUFFICIENTLY MET DOWN TO PREVENT DUST.
6. NO PERSON SHALL, WHEN HAULING ANY EARTH, SAND, GRAVEL, ROCK, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE, CAUSE, ALLOW OR PERMIT SUCH MATERIAL TO DRIP, BE DEPOSITED, OR FALL FROM THE BODY, TRAIL, OR WHEELS OF ANY VEHICLE SO USED UPON ANY PUBLIC STREET OR ALLEY WITHOUT IMMEDIATELY AND PERMANENTLY REMOVING THE SAME.
7. NO PERSON SHALL, WHEN DISCHARGING, COMPACTING, HAULING OR MOVING EARTH, SAND, GRAVEL, ROCK, STONE, DEBRIS, OR ANY OTHER SUBSTANCE, CAUSE, ALLOW OR PERMIT SUCH MATERIAL TO DRIP, BE DEPOSITED, OR FALL FROM THE BODY, TRAIL, OR WHEELS OF ANY VEHICLE SO USED UPON ANY PUBLIC STREET OR ALLEY WITHOUT IMMEDIATELY AND PERMANENTLY REMOVING THE SAME.
8. LOOSE MATERIAL SHALL NOT EXCEED 3" IN DEPTH ON A GRADED SURFACE.
9. ALL DEBRIS AND REMOVED MATERIAL SHALL BE REMOVED FROM THE SITE.
10. ALL LOOSE MATERIAL SHALL BE REMOVED OR COMPACTED PER APPROVED PLAN.
11. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GROING OPERATIONS.
12. TEMPORARY EROSION CONTROL SHALL BE INSTALLED BETWEEN NOVEMBER 1ST AND APRIL 15TH.
13. THE CONTRACTOR SHALL DESIGN AND PAY FOR ALL REQUIRED ON-SITE AND OFF-SITE PERMITS BEFORE BEGINNING WORK.
14. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS PRIOR TO BEGINNING THE WORK.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS OF THE JOB SITE PRIOR TO THE START OF CONSTRUCTION AND THE ARCHITECT/ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
16. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR LOCATION OF ALL IMPROVEMENTS AND ADDITIONAL DETAIL REFERENCES NOT SHOWN ON THE GROING PLAN.
17. EARTHWORK OPERATIONS SHALL BE COORDINATED WITH THE STRUCTURAL SUPPORT OF FOUNDATIONS, SLABS, WALLS, BUILDING AND OTHER STRUCTURES PRIOR TO THE START OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND/OR REPAIR AT HIS EXPENSE ALL PROPERTY DAMAGED DURING CONSTRUCTION AND IT SHALL BE CORRECTED PRIOR TO FINAL APPROVAL OF THE BUILDING CONSTRUCTION.
18. NO ROCKS OR LUMPS WITH GREATER THAN 3 INCH DIAMETER SHALL BE PLACED IN THE FILL UNLESS SUCH PLACEMENT IS APPROVED BY THE JUDGE ENGINEER AND THE GROING INSPECTOR.
19. ALL GROING DEEDS MUST HAVE BOUNDARY SHALLES, BEAMS AND OTHER DAMAGE DOWNS IN PLACE AT THE BOUNDARY GROING STAGE.
20. ALL JOIN LINES SHALL BE TO EXISTING DIMENSION

21. ALL LINE AND GRADE SAVING FOR THE PROJECT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR OR A REGISTERED ENGINEER OF THE STATE OF CALIFORNIA WHO IS PERMITTED BY LAW TO PRACTICE LAND SURVEYING.
22. FINISH GROING SURFACES SHALL BE SET AT 25 FOOT INTERVALS FOR ALL CONCRETE OUTLETS FLATNESS THAN 15 ALL OUTLETS SHALL BE FLOED TESTED AND NO FLOODING WILL BE ALLOWED.
23. PACE AT ROUGH GROING SHALL HAVE A MINIMUM SLOPE OF 1%; FUTURE BUILDING FACES SHALL HAVE A MINIMUM SLOPE OF 1% DIRECTED AWAY FROM THE STREET.
24. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE CALIFORNIA BUILDING CODE, CALIFORNIA, CITY OF SANTA ANA MUNICIPAL CODE, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND STANDARDS AS IDENTIFIED ON THE DRAWINGS.
25. ANY CONFLICT IN THESE DRAWINGS, STANDARDS REFERED HEREIN, PROJECT REQUIREMENTS, AND/OR OTHER REFERENCED DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE JUDGE ENGINEER. IF CONFLICT OCCURS, THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
26. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THEIR WORK AND THE IMPACT OF THEIR WORK TO THE JOB SITE AND NEIGHBORHOOD, INCLUDING BUT NOT LIMITED TO SAFETY OF ALL PERSONS AND PROPERTY FOR BOTH MORNING AND NON-MORNING HOURS.
27. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS, RETENTION OF DRAWINGS, AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON DRAWINGS. APPROVED "SOAK" INTERIORS MAY BE USED WITH LICENSED CIVIL ENGINEER OR ARCHITECT OF RECORD WRITTEN APPROVAL.
28. STORMWATER GRADE SHALL BE MAINTAINED BETWEEN SPOT ELEVATIONS AND CONTIGUOUS UNLESS OTHERWISE NOTED.
29. CIVIL ENGINEER SHALL BE PROVIDED WITH A MINIMUM OF 6 WORKING DAYS TO RESPOND TO REQUEST FOR INFORMATION (RFI).
30. BEFORE THE START OF CONSTRUCTION CONTRACTOR SHALL VERIFY TOPOGRAPHIC SURVEY AND PLANS DISCREPANCIES SHALL BE BROUGHT TO CIVIL ENGINEER OF RECORD AND OWNER PRIOR TO ANY WORK.

EARTHWORK NOTES:

1. QUANTITIES SHOWN ON SHEET C-1 ARE FOR PERMIT FEE, EROSION CONTROL PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING OR CONTRACT PURPOSES.
2. CONTRACTOR IS REQUIRED TO VERIFY ALL QUANTITIES PRIOR TO COMMENCEMENT OF WORK.
3. NO BUILDING HAS BEEN TAKEN INTO ACCOUNT ON THIS SHEET. ASSUMED 7% SLOPE OF FILL CUT.
4. VALUES SHOWN DO NOT ADDRESS OVERSIGHT, OR SUBSEQUENT REQUIRED IN OUTSIDE PURPOSE TO THE CURRENT REQUIREMENTS OF THE CITY OF LOS ANGELES.
5. SITE SPOOLS SUCH AS FOUNDATIONS, RETAINING WALLS, STAFF TRENCHING, ETC. ARE NOT ACCOUNTED FOR IN THE WORK VOLUMES.
6. THE EARTHWORK SUMMARY IS PROVIDED AS A COURTESY AND CONFORMANCE TO THE OWNERS, AND IS FOR BIDDING AND PLAN CHECK PURPOSES ONLY. THE TANGIBLE FIGURES SHOWN ARE APPROXIMATE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS AND FINISH GRADE ELEVATIONS (DATA). THE CALCULATOR MAKES NO PROVISIONS FOR DRIPPING OR SUBORDINATION FOR THIS REASON AND BECAUSE OF VARIABLES SUCH AS CONSTRUCTION, THE VOLUME OF FILL MOVED IN THE FIELD WILL IN ALL UNLESS OTHERWISE NOTED TO SOME EXTENT FROM THE CALCULATED VOLUME. THE EARTHWORK SUMMARY DOES NOT REDUCE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE FOR FINALLY THE QUANTITY OF EARTH-MOVING THAT WILL BE REQUIRED TO GRADE THIS PROJECT.



DATE SIGNED: 06/10/2023

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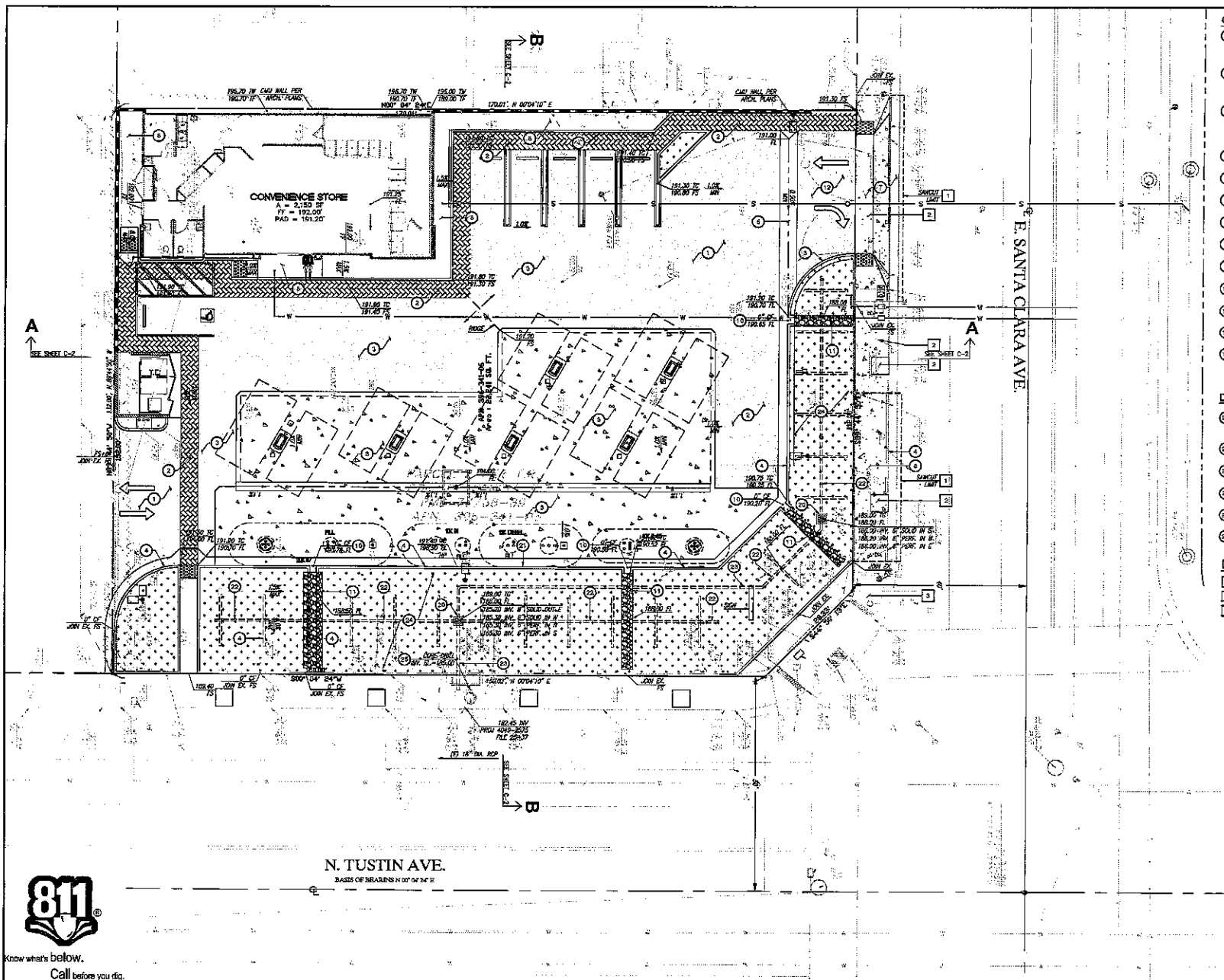
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GRADING CONSTRUCTION NOTES:

1. CONSTRUCT 4" AC OVER 8" CLASS 2 AGGREGATE BASE OVER 12" COMPACTED SUBGRADE COMPACTED TO 95% RELATIVE DENSITY PER ASTM D1557 PER DETAILS 1 & 3 ON SHEET C-8.
2. CONSTRUCT 3" AC OVER 8" CLASS 2 AGGREGATE BASE OVER 12" COMPACTED SUBGRADE COMPACTED TO 95% RELATIVE DENSITY PER ASTM D1557 PER DETAIL 1 ON SHEET C-8.
3. CONSTRUCT 6" PCC OVER 8" CLASS 2 AGGREGATE BASE OVER 12" COMPACTED SUBGRADE COMPACTED TO 95% RELATIVE DENSITY PER ASTM D1557 PER DETAILS 2 & 3 ON SHEET C-8.
4. CONSTRUCT 6" OF A-2-6 CURB AND GUTTER PER CITY STD. 1101 ON SHEET C-8.
5. CONSTRUCT 6" OF CURB PER SPPWC STD. 120-2 ON SHEET C-8.
6. CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL 4 ON SHEET C-8.
7. CONSTRUCT 25" WIDE DRIVEWAY APPROACH CASE 1 PER CITY STD. 1112 ON SHEET C-8.
8. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER CITY STD. 1104 ON SHEET C-8.
9. CONSTRUCT 18" WIDE STEP OUT CONCRETE PER DETAIL 21 ON SHEET C-8.
10. CONSTRUCT 18" WIDE CURB OPENING PER DETAIL 18 & 19 ON SHEET C-8.
11. FURNISH AND INSTALL 3"-8" CLEAN STONE RIPRAP.
12. FURNISH AND INSTALL CONCRETE PAVERS PER ARCHITECT PLANS.
13. FURNISH AND INSTALL 750 GALS. HOLDING TANK PER MANUFACTURER'S SPECIFICATIONS. SEE DETAILS ON SHEET C-9.

DRAINAGE CONSTRUCTION NOTES:

14. FURNISH AND INSTALL 18" X 18" PRECAST CONCRETE CATCH BASIN PER MANUFACTURER'S SPECIFICATIONS & DETAILS ON SHEET C-9.
15. FURNISH AND INSTALL 6" SOLID HDPE DRAIN PIPE.
16. FURNISH AND INSTALL 6" PERFORATED HDPE DRAIN PIPE.
17. FURNISH AND INSTALL 6" SOLID HDPE OVERFLOW DRAIN PIPE.
18. CONSTRUCT ROTATMENT BASIN PER DETAILS ON SHEET C-4.
19. CONNECT TO EXISTING AREA DRAIN CASE 1 PER SPPWC STD. 335-2 SHOWN ON SHEET C-8.

DISPOSITION NOTES:

1. SAWCUT.
2. REMOVE & DISPOSE OF OFFSITE.
3. PROTECT IN PLACE.



DATE SIGNED: 06/10/2022

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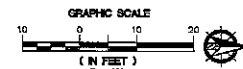
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N. TUSTIN AVE.

BASES OF BEARING N 0° 0' 0" E



TUSTIN SERVICE STATION
2228 N. TUSTIN AVE., SANTA ANA, CA 92705

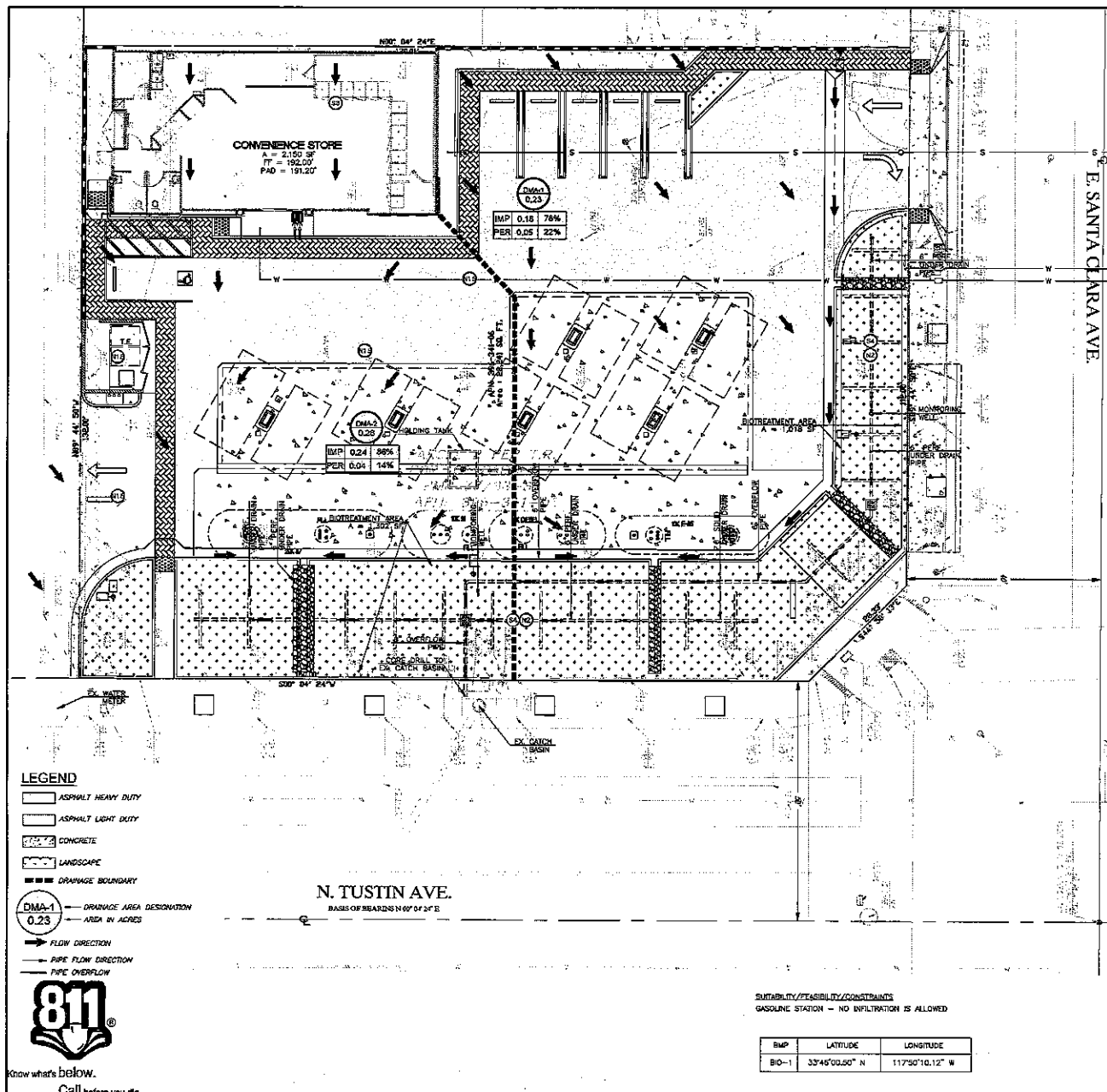
PRECISE GRADING PLAN

D.P. NO.: 2021-29

SHEET NO.

C-3

3 OF 9 SHEET



BEST MANAGEMENT PRACTICES:

SOURCE CONTROL

- (S1) STORM DRAIN SYSTEM STANDARD (SD-13) SEE DETAIL HEREIN.
- (S2) TRASH ENCLOSURES (SD-32)
- (S3) EFFICIENT IRRIGATION SYSTEM & LANDSCAPE DESIGN, WATER CONSERVATION, SMART CONTROLLERS

NON-STRUCTURAL CONTROL

- (N1) STREET SWEEPING PRIVATE STREETS & PARKING LOTS

TREATMENT CONTROL

- (T2) BIO-RETENTION WITH UNDERDRAINS

WATER QUALITY DESIGN CAPTURE VOLUME (WCDCV)

DRAINAGE MANAGEMENT AREA (DMA) 1: A = 0.23 ac
 $WCDCV = C \times A \times 43,560 \text{ sf/ac} \times 1/12 \text{ ft/in}$
 $C = (0.75 \times \text{imp} + 0.15) \text{ imp} = 0.75$
 $= (0.75) \times 0.75 + 0.15$
 $= 0.74$
 $d = 0.80 \text{ in.}$

$WCDCV = 0.74 \times 0.80 \times 0.23 \text{ ac} = 43,560/12$
 $= 495 \text{ cu. ft.}$

DRAINAGE MANAGEMENT AREA (DMA) 2: A = 0.28 ac
 $WCDCV = C \times A \times 43,560 \text{ sf/ac} \times 1/12 \text{ ft/in}$
 $C = (0.75 \times \text{imp} + 0.15) \text{ imp} = 0.86$
 $= (0.75) \times 0.86 + 0.15$
 $= 0.80$
 $d = 0.80 \text{ in.}$

$WCDCV = 0.80 \times 0.80 \times 0.28 \text{ ac} = 43,560/12$
 $= 561 \text{ cu. ft.}$

TOTAL $WCDCV = 495 + 561 = 1,146 \text{ cu. ft.}$

BIOD INFILTRATING AREA = 1,148 SF

PROVID INFILTRATING AREA = 2,320 SF

BIOD INF. AREA < PROVID INF. AREA, THEREFORE OK

RUNOFF VOLUMES

Table 2: Estimated Storm Runoff Volumes - TPA-65

Pre-Development Condition			
Tributary Area	DMA-1	DMA-2	Totals
Acres (ac)	0.23	0.28	0.51
24-hr Precipitation Depth (inches) P ₂₄	0.34	0.34	0.34
Weighted C _W (T ₂₄ -65 Curve)	62	62	62
2 year Pre-Development Volume V ₂ (cu ft)	0.01	0.01	0.02

Post-Development Condition			
Tributary Area	DMA-1	DMA-2	Totals
Acres (ac)	0.23	0.28	0.51
24-hr Precipitation Depth (inches) P ₂₄	0.34	0.34	0.34
Weighted C _W (T ₂₄ -65 Curve)	62	62	62
2 year Post-Development Volume V ₂ (cu ft)	0.02	0.02	0.04

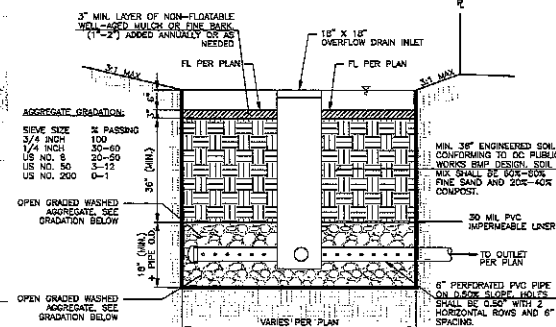
Increase in Volume = $(0.04 - 0.02) \times 43,560$
 $= 1,307 \text{ cu. ft.} > 1,146 \text{ cu. ft. (DCV)}$

Basic Retention Area (BIA) = Holding Volume / (40% decrease)
 $= 1,307 \text{ cu. ft.} / (0.34 \times 0.60)$
 $= 1,307 \text{ sq. ft.}$

BIA Required = 1,307 sq. ft. (See 4)

BIA Provided = 2,320 sq. ft.

Therefore, 2,320 sq. ft. volume is retained onsite.



TYPICAL BIORETENTION WITH UNDERDRAIN DETAIL

NTS

GRAPHIC SCALE

10 0 10 20
 (IN FEET)
 1" = 10'



DATE SIGNED: 05/10/2023

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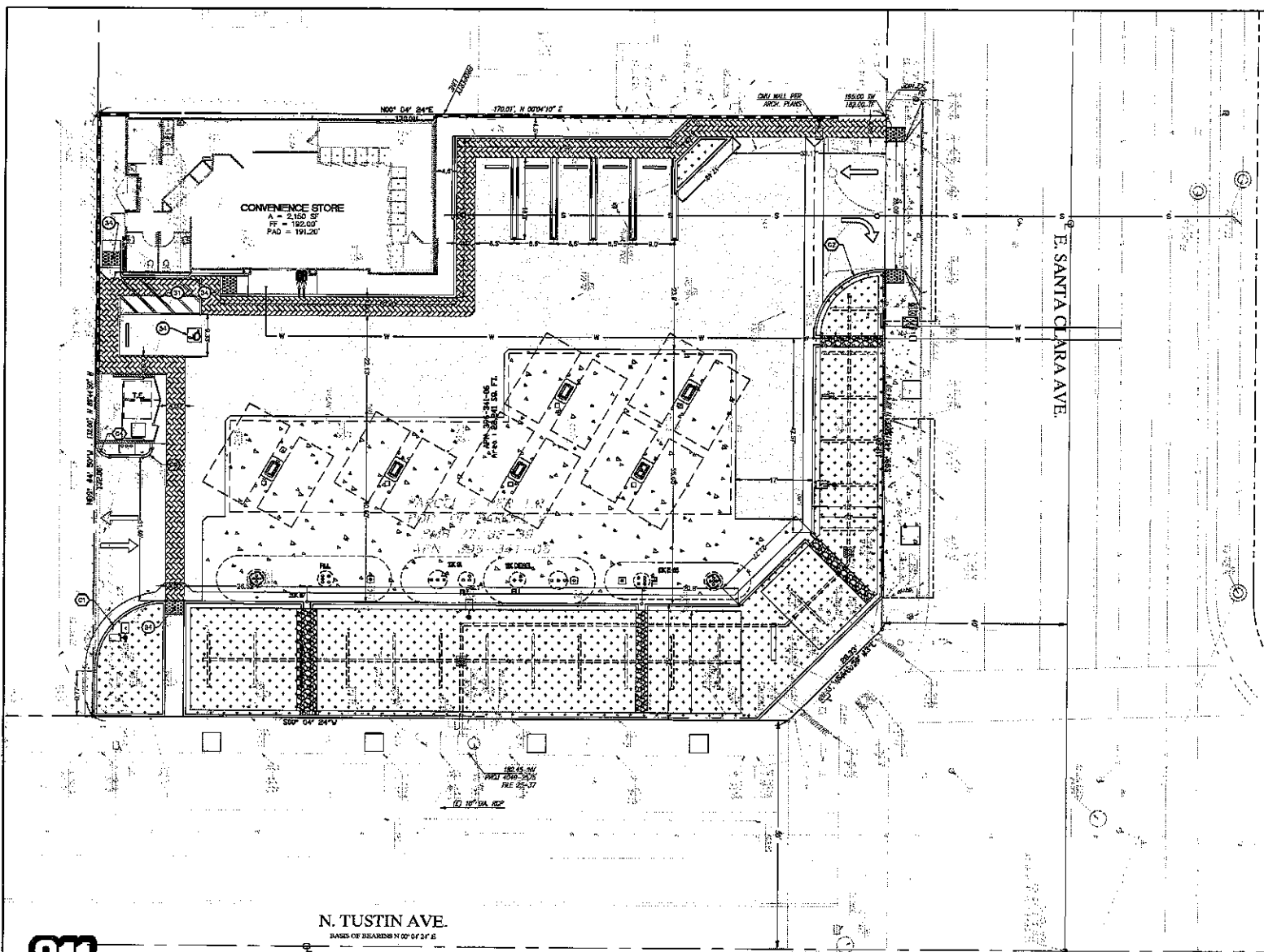
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HORIZONTAL CONTROL, SIGNING & STRIPING NOTES:

- 1. FURNISH AND STRIPE 4" WIDE PARKING STALLS PER DETAIL 9 ON SHEET C-5.
- 2. FURNISH AND STRIPE HANDICAP LOGO PER DETAIL 10 ON SHEET C-5.
- 3. FURNISH AND STRIPE 4" WIDE BLUE BORDER & STRIPES @ 3' O.C.
- 4. FURNISH AND STRIPE 4" WIDE BLUE PARKING LINE.
- 5. FURNISH AND INSTALL TRUNCATED DOME.
- 6. FURNISH AND INSTALL WHEEL STOP PER DETAIL 5 ON SHEET C-5.

CURVE #	LENGTH (FEET)	RADIUS (FEET)	DELTA	TANGENT (FEET)
1	33.54	15.00	89°50'38"	8.60
2	23.63	15.00	81°00'28"	9.00
3	3.14	2.00	90°00'00"	2.00
4	4.71	3.00	90°00'00"	3.00



DATE SIGNED: 06/10/2021

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DESIGNED BY: CAD
CHECKED BY: LM

TUSTIN SERVICE STATION
2220 N. TUSTIN AVE.
SANTA ANA, CALIFORNIA
PROJECT NAME AND ADDRESS

CJC Design, Inc.
2245 La Plaine Ave. Suite 202, Irvine, CA 92614
www.cjcdesign.com

LDRE
Landscape Design & Engineering, Inc.
2220 N. Tustin Ave., Suite 202, Santa Ana, CA 92705
www.ldre.com

TUSTIN SERVICE STATION
2220 N. Tustin Ave., Suite 202, Santa Ana, CA 92705

HORIZONTAL CONTROL, SIGNING & STRIPING PLAN

D.P. NO.: 2021-29

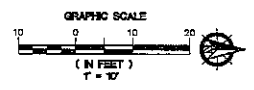
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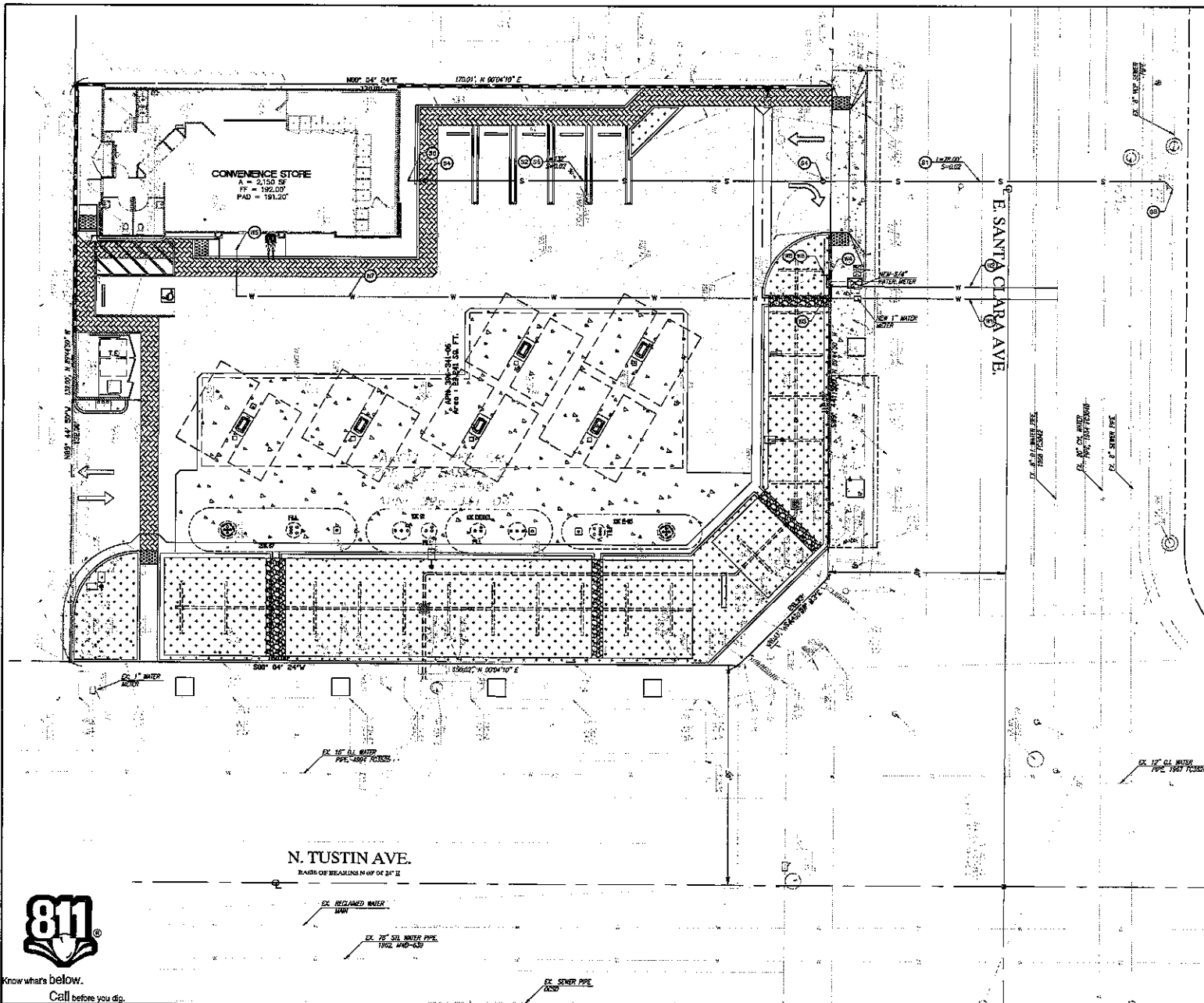
C-5

5 OF 9 SHEET



N. TUSTIN AVE.
BASES OF SHARPS N 00° 00' 00" E





WATER CONSTRUCTION NOTES:

- (1) CONSTRUCT 2" WATER SERVICE AND METER BOX CITY STD. #1402.
- (2) WATER METER TO BE PROVIDED BY CITY FORCES, UPON APPLICATION AND PAYMENT OF FEES.
- (3) CONSTRUCT 1" WATER SERVICE AND METER BOX CITY STD. #1402.
- (4) (1" WATER METER TO BE PROVIDED BY CITY FORCES, UPON APPLICATION AND PAYMENT OF FEES).
- (5) FURNISH AND INSTALL 2" REDUCED PRESSURE BACK FLOW PREVENTER DEVICE.
- (6) FURNISH AND INSTALL 1" REDUCED PRESSURE BACK FLOW PREVENTER DEVICE.
- (7) CAP END. SEE PLUMBING PLANS FOR CONTINUATION.
- (8) CAP END. SEE LANDSCAPE PLANS FOR CONTINUATION.
- (9) FURNISH AND INSTALL 2" COPPER PIPE WATER SERVICE.
- (10) FURNISH AND INSTALL 1" PVC SCH40 PIPE.
- (11) CONTACT WATER QUALITY INSPECTOR AT (714) 647-3341 FOR ALL BACKFLOW PREVENTER ASSISTANCE.

SEWER CONSTRUCTION NOTES:

- (1) FURNISH AND INSTALL 6" PVC SDR35 SEWER LATERAL AND PIPE BEDDING PER CITY STD. 1204 AND 1206.
- (2) FURNISH AND INSTALL 6" PVC SDR35 ON-SITE SEWER LATERAL PER UNIFORM PLUMBING CODE.
- (3) CONNECT TO EXISTING SEWER LATERAL. CONTRACTOR TO FIELD VERIFY INVERT ELEVATION AND LOCATION OF EXISTING LATERAL.
- (4) CONSTRUCT 6" SEWER CLEANOUT.
- (5) CONSTRUCT TRENCH AND BACKFILL PER UNIFORM PLUMBING CODE.
- (6) PLUG PIPE FOR BUILDING CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION.



DATE SIGNED: 03/10/2022

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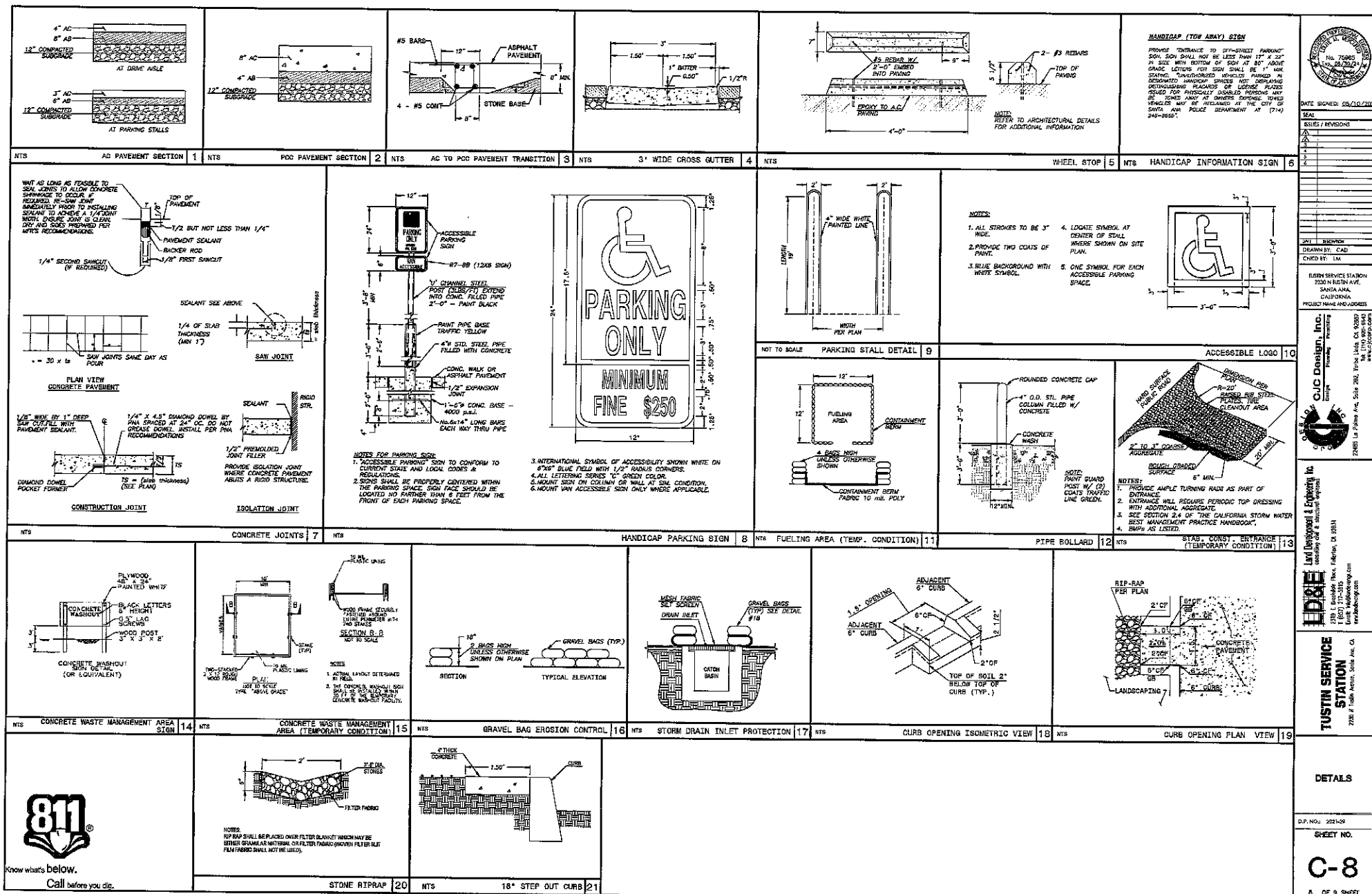
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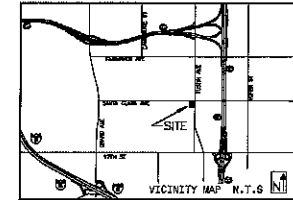
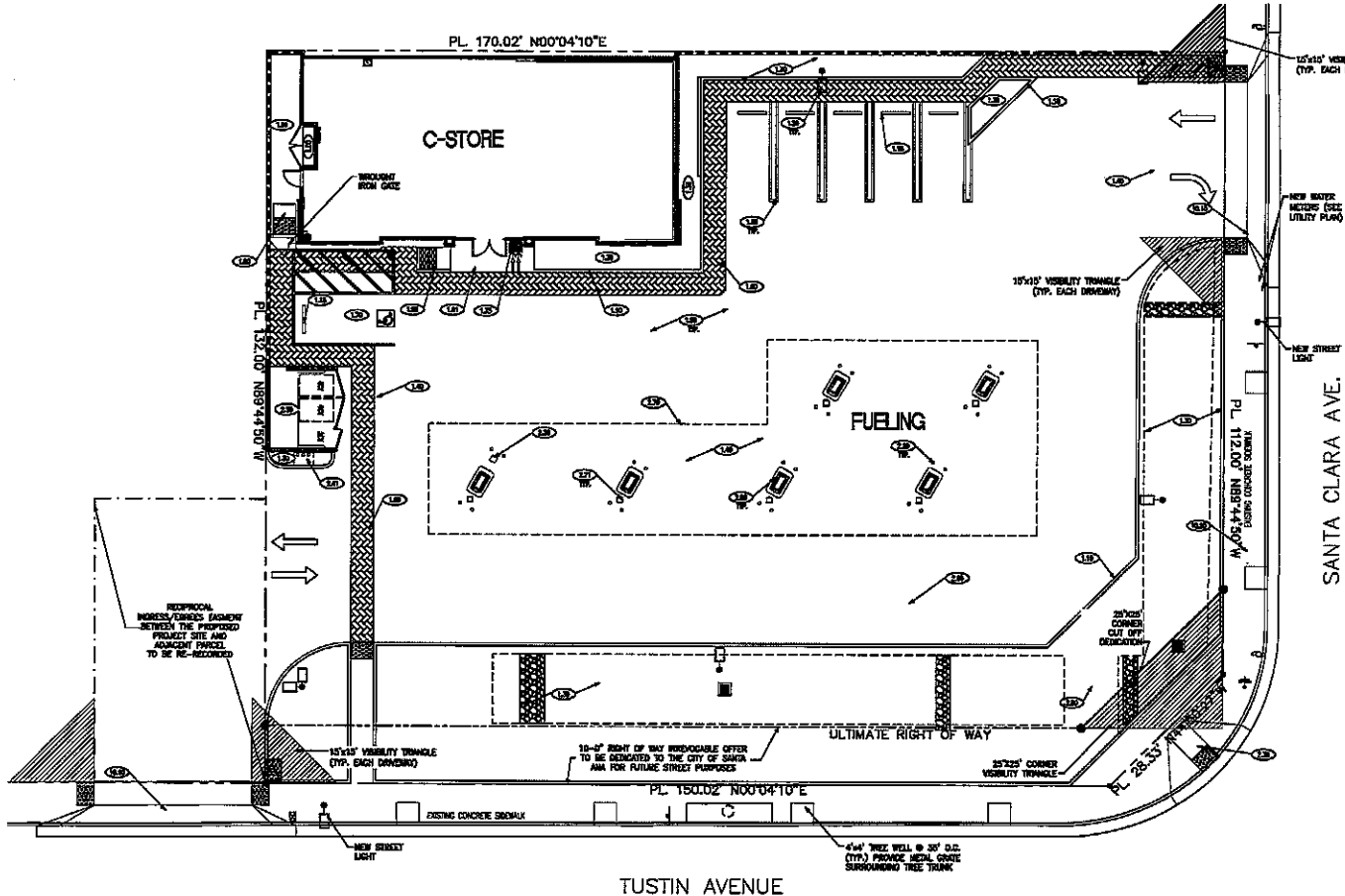


LANDSCAPE ARCHITECTURAL PLANS

REMODEL COMMERCIAL

2230 N. TUSTIN AVENUE

SANTA ANA, CA. 92705



SHEET INDEX	
L-1	TITLE SHEET
L-2	PLANTING PLAN
L-3	IRRIGATION PLAN
L-4	IRRIGATION DETAILS

PROJECT AREA SUMMARY

PROJECT AREA = 5,588 s.g. ft.

LANDSCAPE AREA = 6,680 s.g. ft.

- CONSTRUCTION NOTES**
- 1.10 6" CONCRETE CURB
 - 1.15 5"X8"X6" CONCRETE PARKING WHEEL BUMPER
 - 1.20 20'X10' LED AREA LIGHT WITH PHOTO-CELL AND TIME CLOCK SWITCHING FOR "COURTESY" AND TITLE 24 REQUIREMENTS. HOODS AND ARRANGE SO AS NOT TO CAUSE A HAZARD TO ADJACENT STREET TRAFFIC OR TO LAKE ENVIRONMENT. THE AMOUNT OF LIGHT THAT SHALL BE PROVIDED SHALL BE FOR THE PUBLIC WORKS STANDARDS AND CHARTER
 - 1.30 LANDSCAPING WITH AUTOMATIC IRRIGATION
 - 1.40 6" CONCRETE DRIVE SLAB WITH 3/4" BARS @ 18" O.C. OR AS SPECIFIED IN SOILS REPORT #
 - 1.45 COARSELY CONCRETE WITH 2" RIGID LINES
 - 1.50 6" OVER 4" A.S. ASPHALT PAVING OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE
 - 1.60 ADA PATH OF TRAVEL (MAX 48" WIDE AND SLOPE NOT TO EXCEED 2% EACH WAY) PROVIDE EDGELINE PAVING ALONG THE PATH
 - 1.70 ADA PARKING SPACE WITH ALL RELATED STORAGE (SLOPE NOT TO EXCEED 2% EACH)
 - 1.75 BICYCLE PARKING (MAX 30 PSI CYCL SHED CODE)
 - 1.80 6"X16"X16" STANDING PARKING SPACE
 - 1.90 CONCRETE ADA RAMP (SLOPE 3.33%)
 - 1.91 CONCRETE SIDEWALK (MAX 48" WIDE WITH 2% CROSS SLOPE WHERE ADA PATH OF TRAVEL OCCURS)
 - 2.10 TRUNK LANDING (BULLY CONCRETE BLOCK FOR CITY OF SANTA ANA PUBLIC WORKS STANDARD)
 - 2.20 8" CONCRETE FULLED STEEL GUARD POSTS
 - 2.30 AIR/WATER UNIT
 - 2.40 UNDER ISLAND STORAGE TANKS (2) 30,000 GALLON AND (1) 30,000 GALLON UNDER REINFORCED CONCRETE SLAB
 - 2.41 TANK VENT ROOFER DRAINAGE CAUSTIC
 - 2.50 CONCRETE ISLAND 1/4" (1) MULTI PRODUCT DISPENSER (2" MAX. & 2" MAX. HATCHES)
 - 2.70 FUELING CANOPY
 - 2.71 FUELING CANOPY COLUMNS
 - 2.80 6" SIGNAGE
 - 2.80 ELECTRICAL PANELS
 - 10.10 NEW CONCRETE SIDEWALK PER CITY OF SANTA ANA PUBLIC WORKS STANDARD
 - 10.20 NEW CONCRETE SIDEWALK PER CITY OF SANTA ANA PUBLIC WORKS STANDARD
 - 10.30 NEW CONCRETE ADA RAMP PER CITY OF SANTA ANA PUBLIC WORKS STANDARD

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

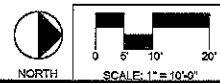
(1) I am a professional appropriately licensed in the State of California to provide professional landscape design services.

The landscape design is for 2230 N. Tustin Ave., Santa Ana, CA 92705.

(2) The landscape design and water use calculations for the identified property comply with the requirements of the City of Santa Ana Water Efficient Landscape Ordinance (Municipal Code Chapter 18.18) and the City of Santa Ana Water Efficient Landscape Guidelines.

(3) The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of Santa Ana Water Efficient Landscape Guidelines.

PHIL MAY 05-07-2023
 Date
 3104
 License Number
 2532 Wallace Ave., Fullerton, CA 92631
 Address
 (909) 373-1858
 Telephone
 philmay@philmaydesign.com
 E-mail Address



REVISIONS	BY

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TITLE SHEET

FARZ INC.
GAS AND MART
 2230 N. TUSTIN AVENUE
 SANTA ANA, CA. 92705

DRAWN	R.S.
CHECKED	R.S.
DATE	05-21-2022

L-1

OF 4 SHEETS

223010
22163

RECOMMENDED MINIMUM LANDSCAPE MAINTENANCE SCHEDULE												
WEEKLY TASKS												
<ul style="list-style-type: none"> Check all irrigation equipment and adjust/align as required. Repair irrigation equipment with originally specified materials as needed. Inspect all landscape areas for pestil pathogens. Weed all shrub/groundcover areas as needed. Remove landscape debris. Aweeding and detaching turf areas. Repair planting well and/or grade around plants to eliminate runoff. Perform corrective pruning to eliminate hazards and damage to plant after 2nd Year of Growth. 												
MINIMUM RECOMMENDED YEARLY MAINTENANCE SCHEDULE												
Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Adjust Irrigation Schedule	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Inspect Tree Standing	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Flush Dies Valves												
Add Muriel (Maintain 5" Layer)												
Replenish/Reference to Agronomist for a report on these plants	✓											

MULCH INSTALLATION
After all planting and grading operations are complete, cover all exposed landscape areas with 3" layer of SPES Mulch or Recycled Wood Products (877-475-9797), or equal.

NOTE: ROOT BARRIERS TO ALL PROPOSED TREES PLANTED WITHIN FIVE(5) FEET ALONG ANY HARDSCAPE SURFACE, NOT AROUND THE TREE ROOT BALL.

NOTE: I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the planting design plan.
PHI May, Landscape Architect
09-21-2022
Date

Linear Style Planting with DeepRoot Barriers

Determine the correct number of plants to be used. Depending upon the actual planting plan and the number of trees involved the length of linear barrier will vary, but as a general rule of thumb take the calculated center canopy diameter of the tree and add 2 feet (61cm). This will be the number of feet necessary for a linear style planting application. (See chart below.)

A. Dig the trench to the depth based upon the particular barrier chosen.

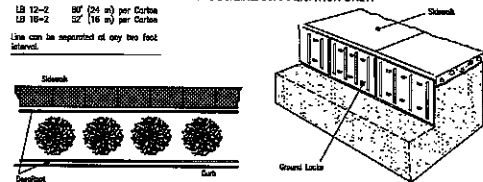
B. Install the barrier. When using DeepRoot Linear Barriers simply add the appropriate number of plants out of the box (they come pre-measured) and separate the plants at the correct length. When installing DeepRoot Linear Barriers in a linear fashion you will need to join the appropriate number of plants together.

C. Next, place the barrier in the trench with the vertical rib facing toward the low end edge in a straight fashion. Use the resistance as a guide and install the barrier to ensure a clean smooth fit in the trench. Be sure to keep the barrier's double top edge at least 1/2" (1.2cm) above grade to ensure roots do not grow over the top.

For a simple formula to determine the quantity of plants required for a linear application use:
Estimated Diameter of the Tree Canopy at Maturity + 2' (61cm) = Length of Barrier per Side.

As Side on one side of the tree may need barrier for root direction as there may be no landscape alternative requiring protection.	For One Side of Tree Spaced Tree Canopy at Maturity	Number of Feet of Linear Barrier (0.8 12 or 18 LB)	Optional Universal Barrier (UB) is number of Plants
Notes: Linear Barriers (LB 12-2 and LB 18-2) are packaged in 2' (61cm) segments with pre-attached flexible joints ready to pull out of the carton and install in one continuous line of up to:	12' (3.6m) Diameter	+2' (61cm) = 14' (4.2m)	7 Plants
	18' (5.4m) Diameter	+2' (61cm) = 20' (6.1m)	10 Plants
	24' (7.3m) Diameter	+2' (61cm) = 26' (7.9m)	13 Plants

NOTE: ROOT BARRIERS SHALL BE 12" DEEP MAXX & LINEAR APPLICATION ONLY.



All improvements are to be maintained by the property owner.

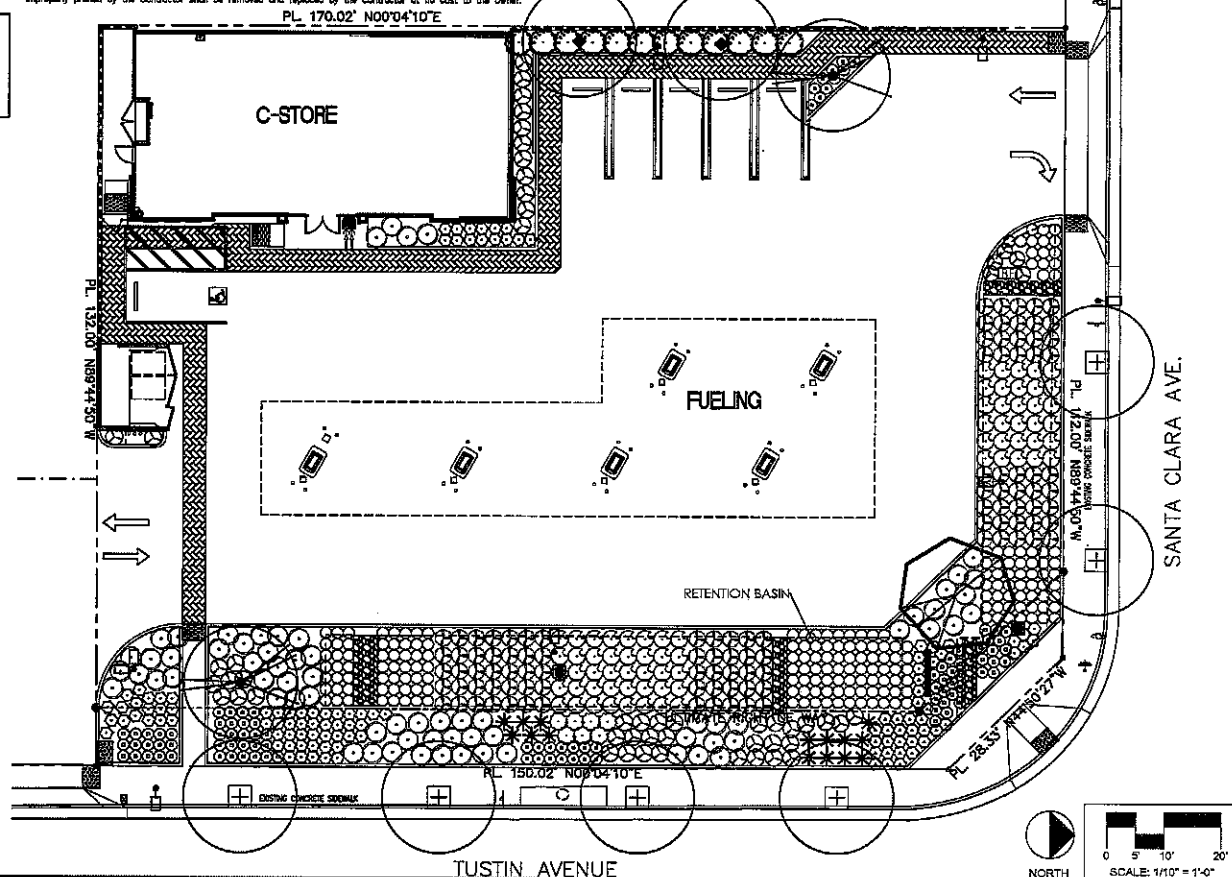
NOTE: SEE SHEET L-4 FOR PLANTING DETAILS

PLANTING NOTES

- Contractor is to review plans, verify site conditions and plant quantities prior to installation. Contractor shall take sole responsibility for any cost incurred due to damage of existing utilities. Plant material quantities are based for the convenience of the Contractor. Actual number of symbols shall have priority over quantity designated. Conflicts between the Owner and these plans or within these plans shall be brought to the attention of the Landscape Architect prior to landscape installation. Any variation(s) from the plans or specifications will require written approval from the Owner and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- The Contractor shall maintain a qualified supervisor on the site at all times during construction through completion of pick-up work.
- The Contractor shall receive site graded within 0.10 foot of finish grade. Commencement of work indicates Contractor's acceptance of existing grades and conditions. Final grades shall be adjusted by Contractor as directed by Owner's representative. All grading shall be completed prior to commencement of planting operation.
- The Contractor shall furnish and pay for all container grown trees, shrubs, vines, seeded/soaked turf, hydromulches, and limited groundcover. The Contractor shall also be responsible for and pay for planting, staking, and guarantee of all plant materials. See planting details for planting and staking/guying requirements.
- The Landscape Architect and/or Owner shall approve plant material placement by Contractor prior to installation.
- Contractor shall follow the soil's report recommendations, and shall uniformly broadcast amendments over planting areas only. Landscape contractor to obtain Agronomist's report after all major grading has been completed.
- The planting pits for trees shall be dug twice the diameter of the root ball and two inches shallower than the rootball. Planting pits for shrubs and perennials shall be dug twice the original root ball width, and one-and-a-half times as deep as the rootball. Planting pits for groundcovers shall be dug one-and-a-half times the original root ball size in all directions.
- Provide root barriers to all new trees planted within five(5) feet of paved areas. The root barrier shall be installed per manufacturer specifications. For trees planted in square or circular tree wells, the root barrier shall be installed around entire perimeter edge of the well planter.
- Provide jute netting on all slopes 4:1 or greater.
- The Landscape Contractor shall maintain all planted areas shown on the plans, including (but not limited to) watering, pruning, edging, and weeding, for a period of thirty (30) days after completion of project and acceptance by Owner.
- The Landscape Contractor shall warranty and replace any plant material that shows signs of lack of vigor or other unsatisfactory appearance within thirty (30) days of completion of contract. Trees that have been tapped or otherwise improperly pruned by the Contractor shall be removed and replaced by the Contractor at no cost to the Owner.

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS PLANT FACTOR	REMARKS
TREES						
	Legastromia l. 'Tuscanora'	Crope Myrtle	24" box	2	M	Standard trunk
	Lophostemon confertus	Bristlecone box	24" box	2	M	Standard trunk
	Geijera parvifolia	Australian Willow	24" box	1	M	Standard trunk
Install 24" box street trees per city standards and approved plans as needed (typ.)						
SHRUBS						
	Agave attenuata	Foxtail Agave	5 gal	15	L	
	Ligustrum j. 'Texanum'	Texas Privet	5 gal	12	L	
	Salvia g. 'Navajo Bright Red'	Bright Red Autumn Sage	5 gal	7	L	
	Westringia fruticosa 'Smokey'	Dwarf Coastal Rosemary	5 gal	51	L	
PERENNIALS						
	Chodropetalum tectum	Dope Rush	1 gal	70	L	Perennial planter
	Dianella revoluta 'Little Rev'	Flax Lily	1 gal	24	L	
	Dianella l. 'Variegata'	Variegated Flax Lily	1 gal	84	L	
	Elymus c. 'Canyon Prince'	Canyon Prince Rye Grass	1 gal	135	L	Perennial planter
	Juncus p. 'Blue Dart'	Blue Dart Rush	1 gal	206	L	Perennial planter
	Sesleria autumnalis	Moor Carass	1 gal	65	L	
	Verbena purple	Purple Verbena	1 gal	27	L	
GROUND COVER						
	Rosmarinus o. 'Hunt Carpet'	Hunt Carpet Rosemary	1 gal	70	L	



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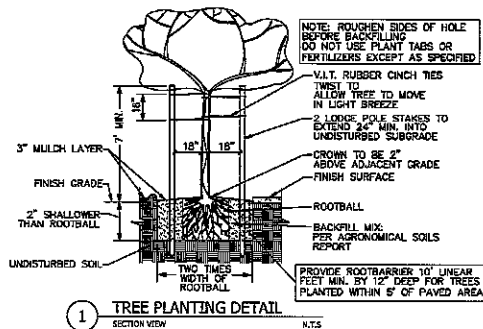
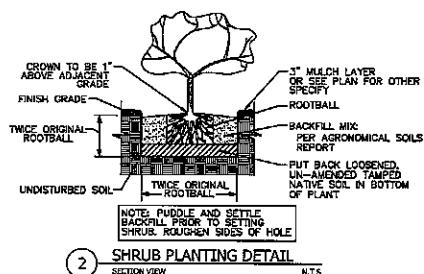
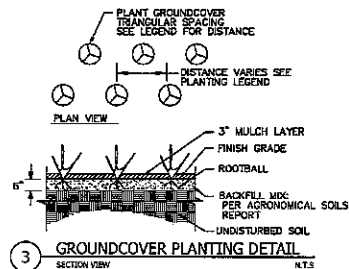


PLANTING PLAN

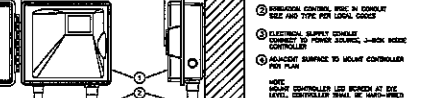
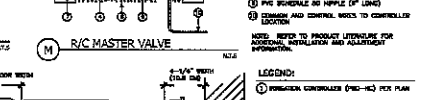
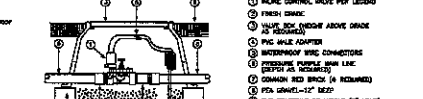
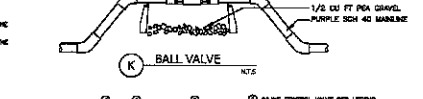
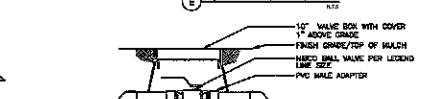
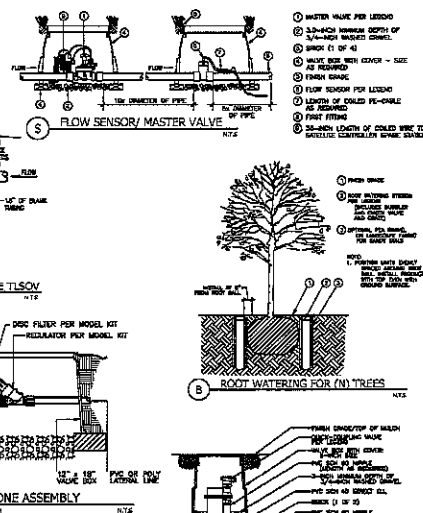
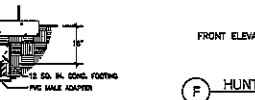
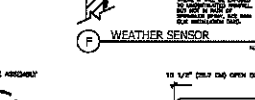
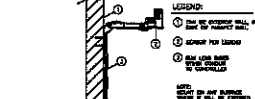
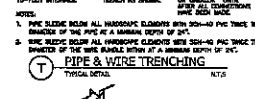
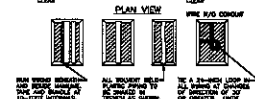
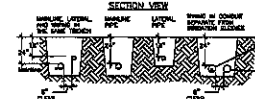
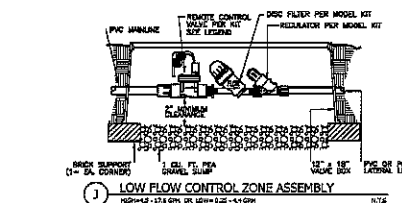
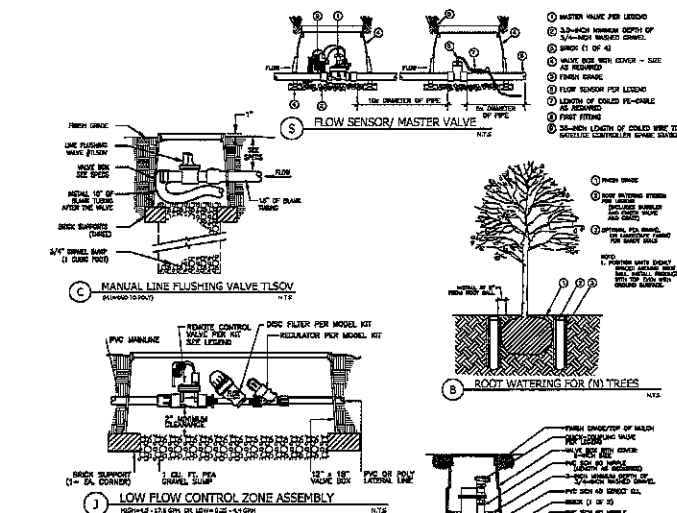
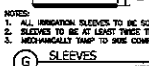
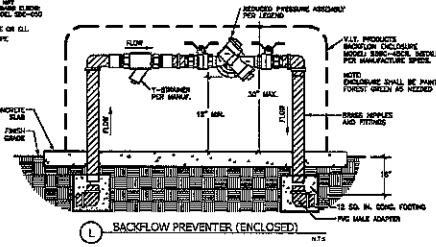
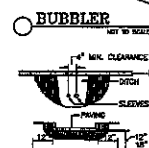
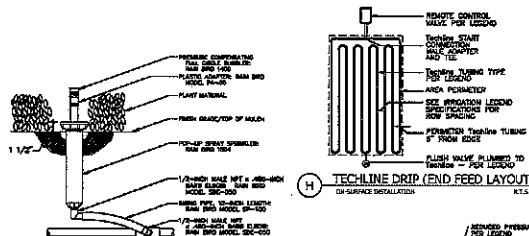
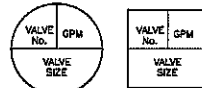
FARZ INC.
GAS AND MART
2230 N. TUSTIN AVENUE
SANTA ANA, CA. 92705

OWNER: F.S.B.
DESIGNED: F.S.B.
DATE: 09-21-2022

L-2
OF 4 SHEETS
JOB NO: 22103



IRRIGATION LEGEND						
SYMBOL	MFG	MODEL/DESCRIPTION	PATN.	SPW	PS/RAD/DT	
	RAINBIRD	1400 SERIES BUBBLER MODEL: 1402, 12" RISER	FULL	0.5	30	B
	NETAFIM	MANUAL FLUSH VALVE IN 6" VALVE BOX MODEL: #1150V				C
	HUNTER	1" QUICK COUPLER, MODEL: HQS-LRG				E
	HUNTER	WEATHER BASED CONTROLLER, MODEL: PRO-HC				F
	HUNTER	MODEL: SOLAR-SYNC-SEN, MOUNT TO ROOF GAVE PER MANUFACTURE SPEC. VERIFY LOCATION W/ G.C.				F
	ANY APPROVED	PVC SCHEDULE 40 SLIDING INSTALL UNDERGROUND (AT LEAST TWICE LINE SIZE)				G
	ANY APPROVED	PVC SCHEDULE 40 LATERAL LINE SIZE AS INDICATED ON PLAN				T
	ANY APPROVED	PVC SCHEDULE 40 MAIN LINE, SIZE AS INDICATED ON PLAN. NOTE: USE CLASS 215 PVC FOR LINES 2" AND LARGER				H
	NETAFIM	TECHLINE DV, TECH-12 LINES LAYOUT @ 12" O.C.	0.60	GPH	40	Y
	NETAFIM	300 ULTRA FLOW SERIES AUTOMATIC INLINE VALVE				I
	NETAFIM	CONTROL ZONE VALVE KIT MODEL: INVERT-200, FLOW RATE 0.25-1.0 GPM				J
	NETAFIM	BRASS BALL VALVE, MODEL: T-FF600A				K
	ZURN	REDUCED PRESSURE ASSEMBLY, MODEL: 975XL 1.25" SIZE, WITH 1" TYPE STRAINER BRONZE WITH 20 MESH SS. PROVIDE METAL ENCLOSURE W/ ALL PRODUCTS. MODEL SHALL BE PAINTED FOREST GREEN.				L
	HUNTER	BRASS VALVE VALVE, MODEL: 8N-1516-P/S, SIZE 1.5" NORMALLY OPEN, USE 1.5" VALVE BOX PER MANUFACTURE SPECIFICATIONS. SET AT 8-P/S MAXIMUM FOR SHUT-OFF AFTER 2-MINUTES				M
	FLOW SENSOR	FLOW-CLICK SENSOR, SIZE: 1.5" IN VALVE BOX METAL PER MANUFACTURE SPECIFICATIONS. SET AT 8-P/S MAXIMUM FOR SHUT-OFF AFTER 2-MINUTES				S



All improvements are to be maintained by the property owner.

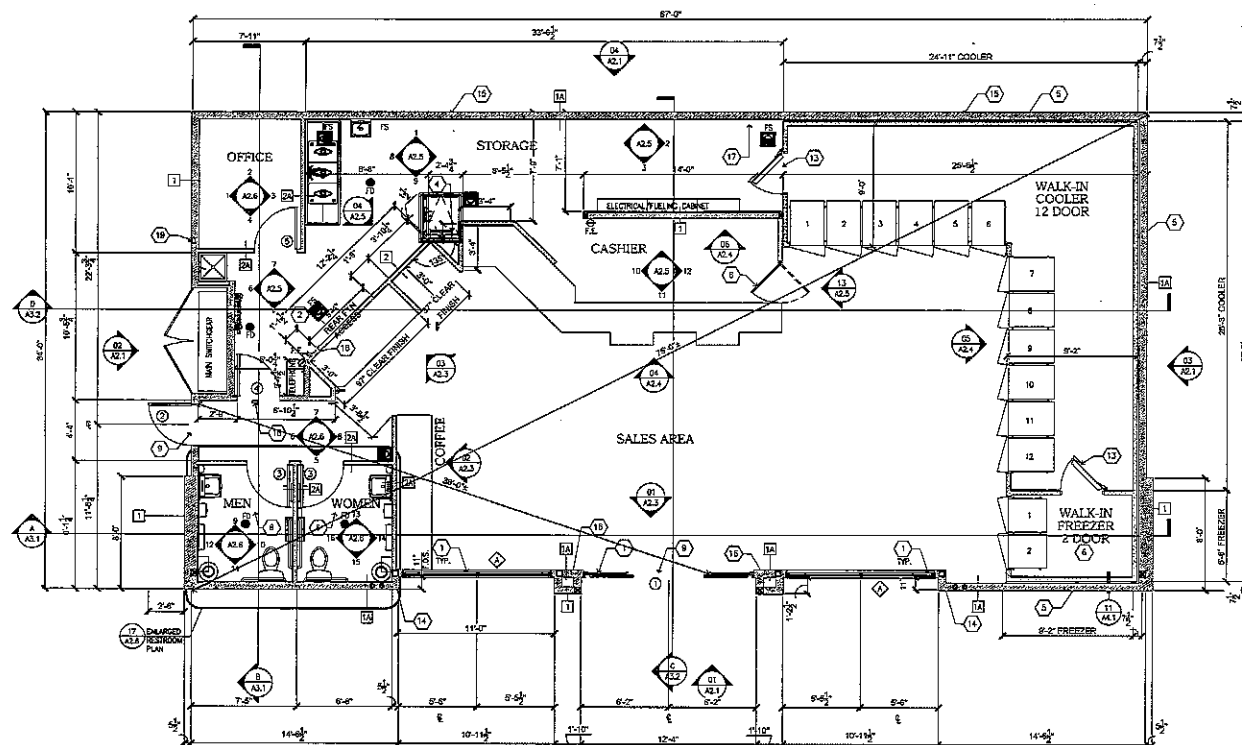
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IRRIGATION DETAILS

FABZ INC. GAS AND MAINT
2230 N. TUSTIN AVENUE
SANTA ANA, CA. 92705

L-4
OF 4 SHEETS
DATE: 09-21-2022
22108



(B) CONSTRUCTION FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- B. ALL EXTERIOR DIMENSIONS ARE TO BE USED, PLANS SHALL NOT BE SCALED.
- C. EXTERIOR WALL ARE 24" INTERIOR WALLS 24" UNLESS NOTED OTHERWISE.
- D. SEE PLUMBING PLANS FOR DIMENSIONS TO PLUMBING FIXTURES.
- E. REFER TO SHEET G-1.1 FOR EQUIPMENT PLANS.
- F. REFER TO SHEET G-1.1 FOR EQUIPMENT SCHEDULE.
- G. ALL EQUIPMENT SHALL MEET ACCESSIBILITY REACH RANGE REQUIREMENTS.
- H. PROVIDE PLASTIC CORNER GUARDS AT EDGES BELOW 6'-0".
- I. ALL COUNTERTOPS SHALL BE 3/4" THICK WITH A 5'-0" WIDE TRANSPORT AREA AT COUNTER. CONTRACTOR SHALL COORDINATE WORK WITH CABINET INSTALLER FOR COUNTER INSTALLATION. CONTRACTOR TO ROUTE UTILITIES THROUGH CABINETS. CONTACT CABINET INSTALLER FOR SEE SPECIFIC CABINET SHOP DRAWINGS.
- J. 4" HIGH BACKSPLASH AT ALL COUNTERTOPS THAT TERMINATE AT WALL. BACKSPLASH TO MATCH COUNTERTOP MATERIAL.
- K. THE CONTRACTOR SHALL ASSIST STORE PERSONNEL BY ASSEMBLING MICROWAVE SCHEDULES AND SCHEDULING AS SHOWN ON D.I.T.
- L. ALL EQUIPMENT AND CABINETS SHALL BE FREE OF SWAMP EDGES. CONTACT MANUFACTURER OR PRP FOR SPECIFIC SIZES.
- M. CONTRACTOR SHALL ROUTE ALL CONDENSATE DRAIN LINES TO FLOOR SINKS.
- N. CONTRACTOR SHALL INSTALL NEW PARTITIONS/WALLS WITH OPEN WALL BOARD AND FINISHES AS NOTED ON FINISH SCHEDULE AND ROOM ELEVATIONS ON SHEET A2.3 THROUGH A2.6. ALL PARTITIONS/WALLS SHALL BE BRACED FOR LATERAL FORCES, PER BUILDING CODE REQUIREMENTS.
- O. FLOOR SINKS OR DRAINAGE FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
- P. FIRE EXTINGUISHERS (CALIFORNIA) SHALL BE INSTALLED AT SALES COUNTER, BACK ROOM, OFFICE, & FUEL CANNOPY LOCATIONS IF NOT SHOWN ELSEWHERE ON THESE DRAWINGS. VERIFY WITH OWNER FOR DETAILS. CONTACT FMC, SCALES WITH LOCAL FIRE INSPECTOR.
- Q. CONTRACTOR SHALL ASSIST THE OWNER WITH STORE EQUIPMENT TO PREPARE A DELAYED SCHEDULING AREA, COORDINATE WITH OWNER FOR THE DELIVERY SCHEDULE AND SHIPPING CHARGES, AS APPLICABLE.
- R. CONTRACTOR SHALL PROVIDE A CLEAN, SMOOTH SURFACE FOR SIGNAGE INSTALLATION.
- S. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR FROM CABINET AND EQUIPMENT CLEARANCES PRIOR TO START. DISCREPANCIES SHALL BE REPORTED TO OWNER.
- T. WATER HEATERS SHALL BE CAPABLE OF DELIVERING MIN. 120° WATER TO ALL SINKS.
- U. ALL FLOOR/PARTIAL TILE AND CORNER BASE SHALL BE INSTALLED BY THE GENERAL CONTRACTOR ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- V. ALL DOORS MUST HAVE NO MORE THAN 5 LBS. OPENING FORCE AND MUST HAVE A SINKER PROVIDED OF 3 SECONDS TO CLOSE FROM 72" OPEN TO 3" FROM THE LATCH.
- W. CARBONMONOXIDE DETECTOR SHALL BE INSTALLED AT NEW FLOOR SINK PROVIDED FOR THIS AREA.

KEYED NOTES

1. ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A.1.1 & SPECIFICATION.
2. INSTALL 1/2" PVC CHASE FOR FOUNDATION STRAP LINES.
3. FLOOR RECEPACLES, REFER TO ELECTRICAL PLANS.
4. ROOF LADDER PER DETAIL 7/A.1.1
5. 1" MINIMUM AIR GAP AT PREFABRICATED COOLER/FREEZER
6. DEPRESSURE DRAIN, REFER TO SLAB PLAN.
7. NOT USED
8. DOUBLE SWING METAL CASE PROVIDED BY SHOPPO
9. THRESHOLD, REFER TO DOOR SCHEDULE ON SHEET A.1.1
10. NOT USED
11. NOT USED
12. NOT USED
13. TRANSITION STRIP
14. STEEL COLUMNS UNDER WINDOW SILL FOR STOREFRONT PROTECTION. REFER TO STRUCTURAL PLANS FOR SIZE AND LOCATION.
15. ROOF DRAIN AND OVERFLOW, REFER TO CIVIL PLANS FOR CONTINUATION
16. GANTRY DOWNPOUT, REFER TO CIVIL PLANS FOR CONTINUATION
17. FUTURE SOLAR EQUIPMENT
18. CO2 SAFETY MONITORING EQUIPMENT, REFER TO SHEETS Q1.1 AND Q2.1 FOR LOCATION AND SPECIFICATION
19. REDUCED STAINLESS STEEL FILL BOX WITH QUICK-DISCONNECT MALE FILL AND VINE HOSE CONNECTION FOR CO2 TANK

LEGEND

- WOOD FRAMED WALL
- STANDARD PREFABRICATED COOLER/FREEZER WALL
- 1 2x8 STUDS @ 16"o.c.
- 2 2x6 STUDS @ 16"o.c. w/ THERMAL INSULATION
- 3 2x4 STUDS @ 16"o.c.
- 4 2x4 STUDS @ 16"o.c. w/ SOUND BATT INSULATION
- 5 DOOR SCHEDULE, REFER TO SHEET A.1.1 FOR DETAILS
- 6 WINDOW SYMBOL, REFER TO SHEET A.1.1 FOR DETAILS

ROOM FINISH SCHEDULE

INTERIOR FINISHES	SALES	CASHIER	RESTROOMS	OFFICE	PREP/UTILITY	WALK-IN
FLOOR	GLAZED PORCELAIN TILE REFER TO FINISH CALLOUT ON A1.2.			GLAZED TILE REFER TO FINISH CALLOUT ON A1.2.		GLAZED CERAMIC TILE REFER TO FINISH CALLOUT ON A1.2.
BASE	CERAMIC SANITARY COVE BASE REFER TO FINISH CALLOUT ON A1.2.		PORCELAIN COVE BASE REFER TO FINISH CALLOUT ON A1.2.	GLASSY SANITARY COVE BASE REFER TO FINISH CALLOUT ON A1.2.		INTERIOR METAL COVE BASE WITH 5/8" BARS, BY COOLER MFG. REFER TO SPECIFICATION ON D1.2.
WALLS	PAINTED SMOOTH FINISH 5/8" OPSIDUM BOARD. REFER TO CALLOUT ON SHEET A2.3 - A2.6.		WALL TILE OVER 5/8" WATER RESISTANT OPSIDUM BOARD. REFER TO CALLOUT ON SHEET A2.6.	PAINTED SMOOTH FINISH 5/8" OPSIDUM BOARD. REFER TO CALLOUT ON SHEET A2.6.	WALL TILE AND TRP OVER 5/8" WATER RESISTANT OPSIDUM BOARD. REFER TO CALLOUT ON A1.2.	SEALCO-SULVALUM BY COOLER MFG. REFER TO SPECIFICATION ON G1.2.
FASCIA/SOFFIT	FASCIA PAINTED SMOOTH FINISH 1/2" OPSIDUM BOARD. REFER TO CALLOUT ON A2.3 & A2.6. SOFFIT PAINTED SMOOTH FINISH 5/8" WATER RESISTANT OPSIDUM BOARD. REFER TO CALLOUT ON A1.2.		NOT APPLICABLE			
CEILING	PAINTED FIBROGLASS OVER W/8 TRUSSES. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" OPSIDUM BOARD. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" OPSIDUM BOARD. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" OPSIDUM BOARD. REFER TO CALLOUT ON A1.3.	WASHABLE SUSPENDED WHITE CEILING TILE REFER TO CALLOUT ON A1.3.	SPUCCO-SULVALUM BY COOLER MFG. REFER TO CALLOUT ON G1.2 AND A1.3.

LANDSCAPE MATERIAL - SEE LANDSCAPE PLAN				
KEY	BOTANICAL NAMES	COMMON NAMES	HEIGHT	WIDTH
(*)	HESPERALOE PARVIFLORA	RED YUCCA	3'-4'	3'-4'
(X)	ANACARDIUM GUTTATUM (A. PLATANUS)	KANGAROO RED PAW	5'	2'-3'
(O)	FESTUCA DAWSONI (BOTTOM OF BARK)	PEROLE	14"	10"

OCCUPANCY LOAD

SALES - 1,124 S.F. (1124/60)	= 19
OFFICE - 67 S.F. (67/100)	= 1
RESTROOMS - 112 S.F. (112/60)	= 2
PREP/UTILITY - 369 S.F. (369/200)	= 2
COOLER/FREEZER - 406 S.F. (406/200)	= 2
TOTAL INTY: 2,086 S.F.	= 24 OCCUPANTS
TOTAL EXTERIOR: 2,195 S.F.	

*OCCUPANT IS A NON OCCUPABLE SPACE PER SECTION 302 DEFINITION OF AN OCCUPABLE SPACE.

DATE REVISION: 2
DATE REVISION: 2

REVISIONS

NO.	DATE	DESCRIPTION
1	07/20/24	REVISED PER COMMENTS
2	08/08/24	REVISED PER COMMENTS

FARZ INC.
GAS AND MART

FLOOR PLAN

PROJECT: 2230 N. TUSTIN AVENUE
SANTA ANA, CA 92705

FARZ INC.
GAS AND MART

DATE: 04/01/21
SCALE: 1/4"=1'-0"

DESIGN: F. COHEN
CHECKED: F. COHEN

FARZ INC.
GAS AND MART

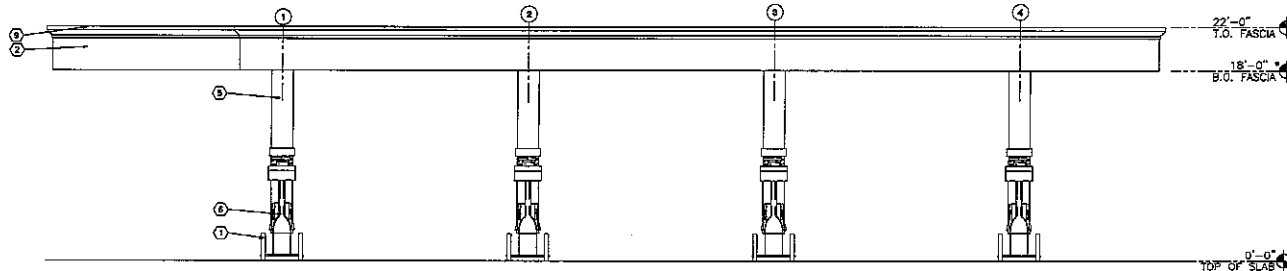
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SCALE: 1/4"=1'-0"

DATE: 04/01/21
SCALE: 1/4"=1'-0"

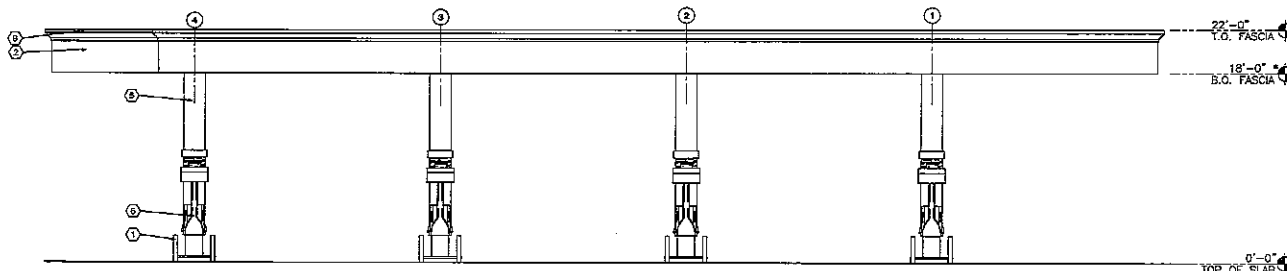
FARZ INC.
GAS AND MART

DATE: 04/01/21
SCALE: 1/4"=1'-0"

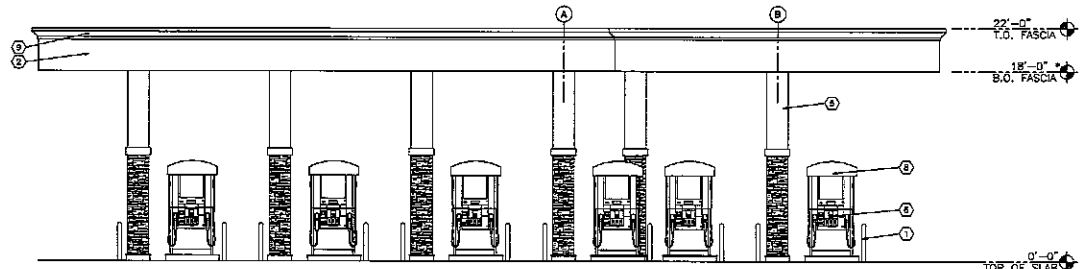
A.1.1



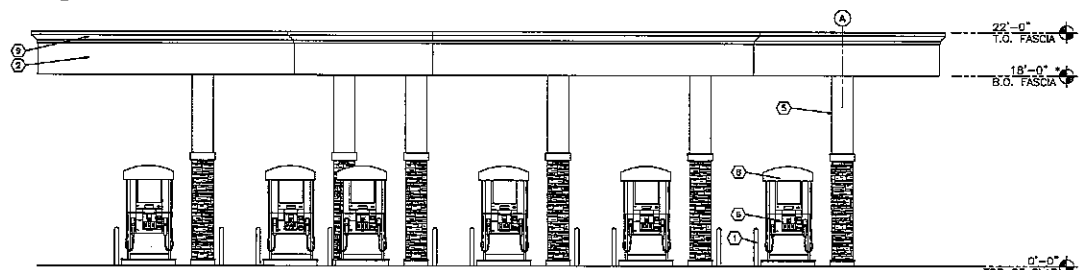
01 WEST ELEVATION
SCALE: 3/16"=1'-0"



02 EAST ELEVATION
SCALE: 3/16"=1'-0"



03 NORTH ELEVATION
SCALE: 3/16"=1'-0"



04 SOUTH ELEVATION
SCALE: 3/16"=1'-0"

KEYED NOTES

- 1 ROLLUP
- 2 SHEET METAL FASCIA PANEL (TERRAZZO FINISH SINTERED PAVEMENT SIDING)
- 3 ILLUMINATED SHELL FIXTURE SIGN BOX
- 4 NOT USED
- 5 STEEL COLUMN WITH CROWNED STEEL COLUMN GLASSING BASE AND STUCCO
- 6 FUEL TOP FINISH SINTERED PAVEMENT SIDE
- 7 FUEL DISPENSER AND CURB
- 8 NOT USED
- 9 METAL DISPENSER TOPPER
- 10 STAKED FINISH CORNICE (TERRAZZO FINISH SINTERED PAVEMENT SIDE)

REVISIONS

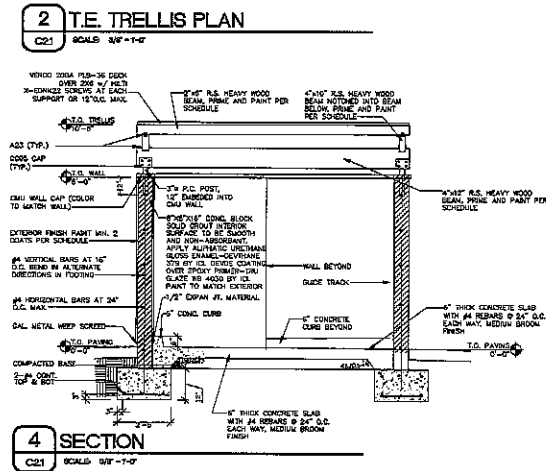
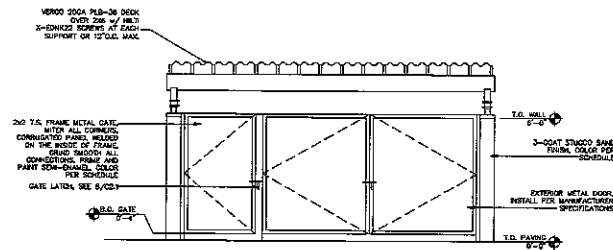
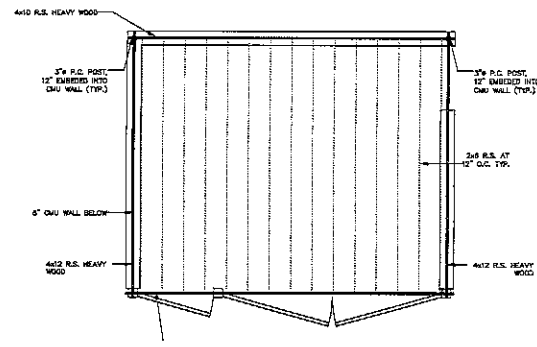
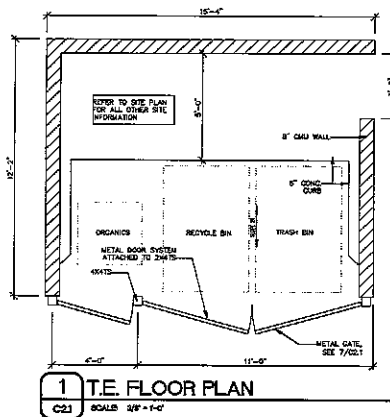
NO.	DATE	BY	CHKD.	DESCRIPTION

FARZ INC.
GAS AND MART

PROJECT
2230 N. TUSTIN AVENUE
SANTA ANA, CA. 92705
CANOPY ELEVATIONS

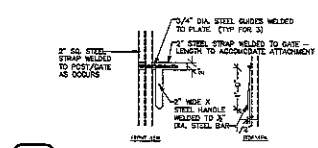
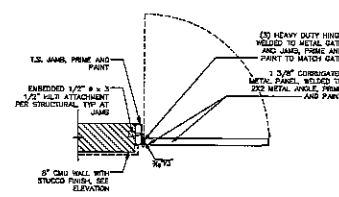
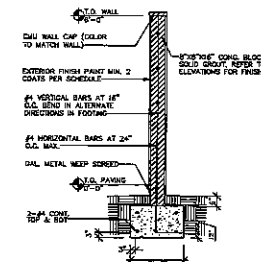
DATE ISSUED	04/01/21
DRAWN BY	F. COHEN
CHECKED BY	F. COHEN
PROJECT NUMBER	21008
STORE NUMBER	FARZ INC.
DATE	

CA.11



3 TRASH ENCLOSURE ELEV.
C21 SCALE: 3/8" = 1'-0"

4 SECTION
C21 SCALE: 3/8" = 1'-0"



4 6"H SCREEN WALL
C21 SCALE: 3/8" = 1'-0"

7 GATE HINGE
C21 SCALE: 3/8" = 1'-0"

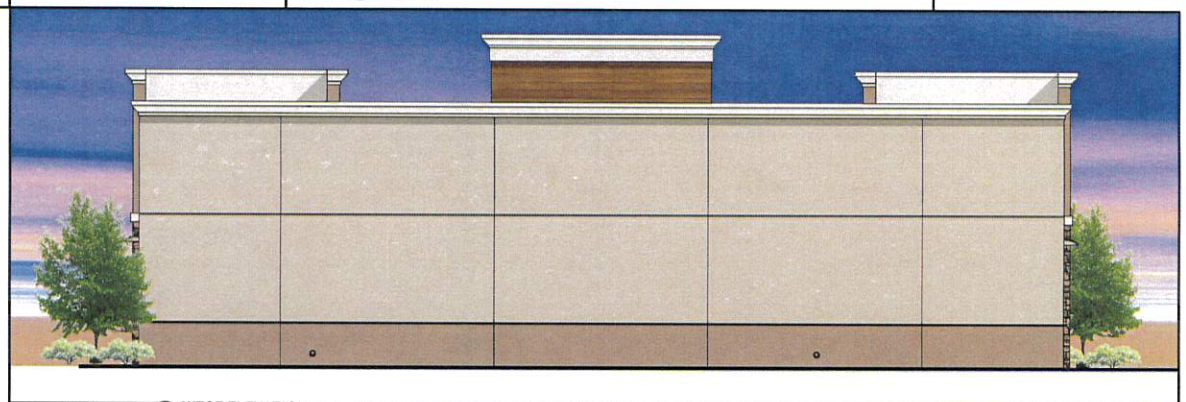
8 GATE LATCH
C21 SCALE: 3/8" = 1'-0"

REVISIONS			
NO.	DATE	DESCRIPTION	BY

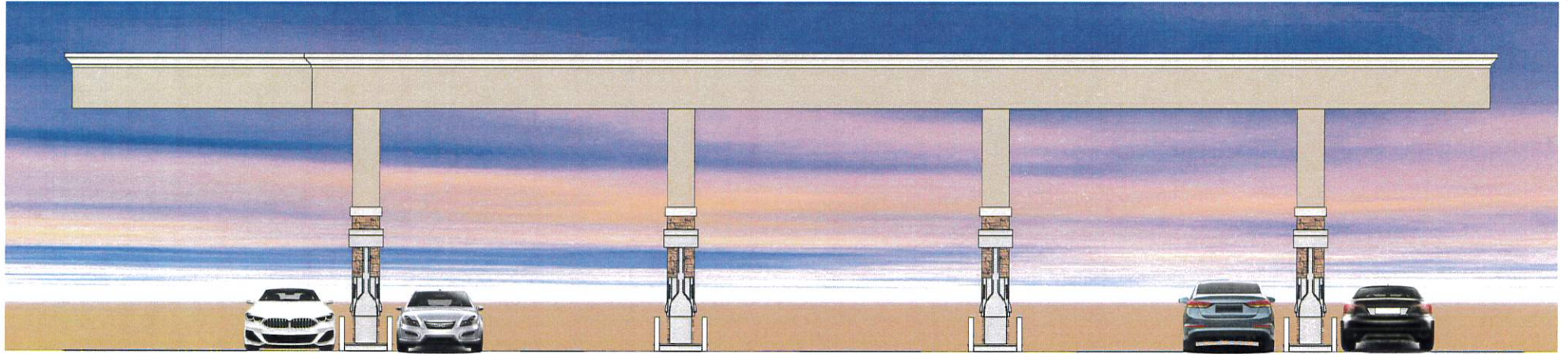
FARZ INC.
GAS AND MART

2230 N. TUSTIN AVENUE
SANTA ANA, CA 92705

PROJECT
DATE: 04/01/21
SCALE:
DRAWN BY: P. COHEN
CHECKED BY: P. COHEN
PROJECT NUMBER: 21008
SHEET NUMBER: FARZ INC.
SHEET: C21



2230 NORTH TUSTIN AVENUE, SANTA ANA, CA. 92705



WEST ELEVATION



NORTH ELEVATION



2230 NORTH TUSTIN AVENUE, SANTA ANA, CA. 92705

COLOR BOARD and SITE AMENITIES PACKAGE

*Gas Station & Convenience store
2230 N. Tustin Avenue
Santa Ana, CA 92705
August 10, 2021*

Prepared by:



CJC Design, Inc.

Design

Planning

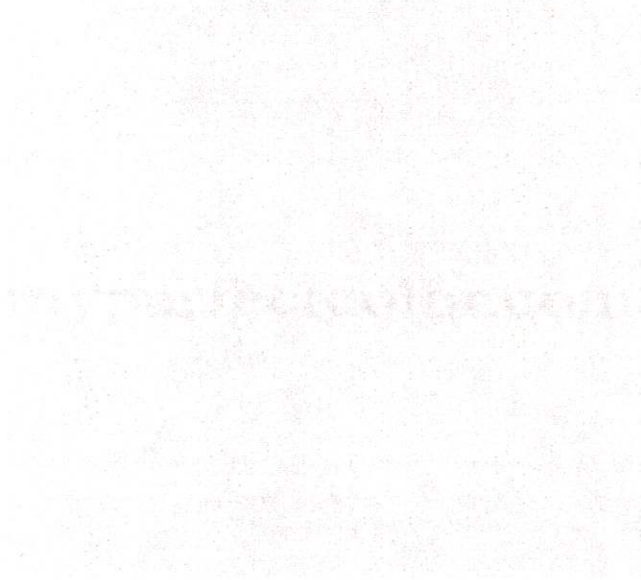
Permitting

22485 La Palma Avenue, Suite 202
Yorba Linda, CA 92887
P: 714.920.9643 F: 714.917.0250
www.cjccorp.com

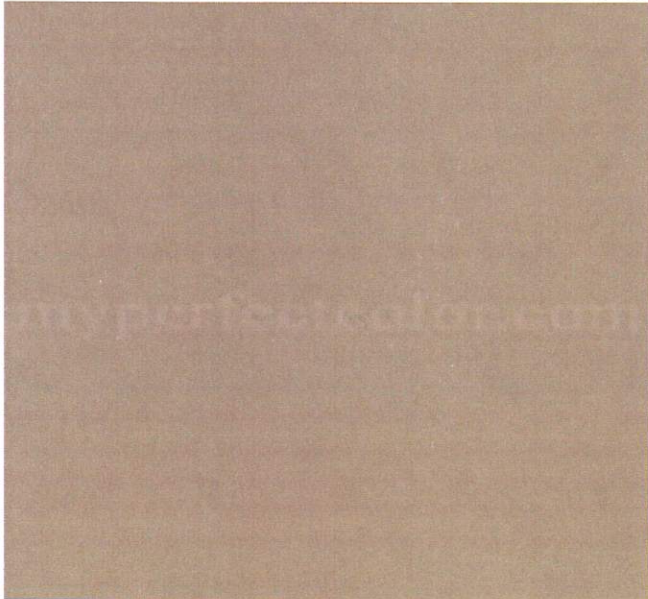
Prepared for:
Farz Inc.

I. Exterior Colors

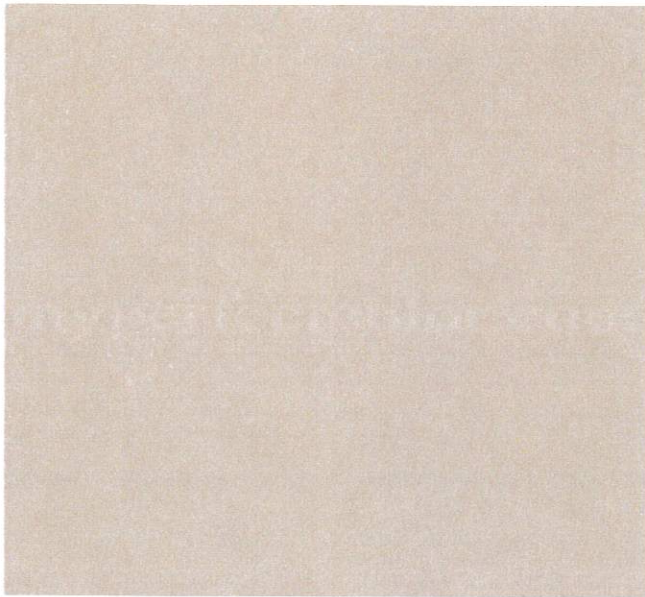
A. SHERWIN WILLIAMS SW6063 NICE WHITE (TRIMS)



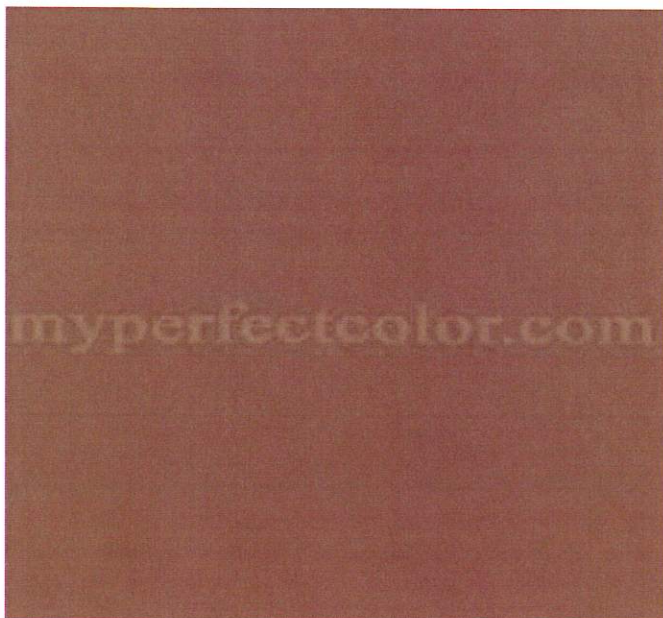
B. SHERWIN WILLIAMS SW6067 MOCHA (TOWERS)



C. SHERWIN WILLIAMS 7512 PAVILION BEIGE (MAIN WALLS)



D. SHERWIN WILLIAMS 6328 FIRE WEED (AWNINGS)



II. Exterior Wall / Base
A. Simulated Stone Veneer

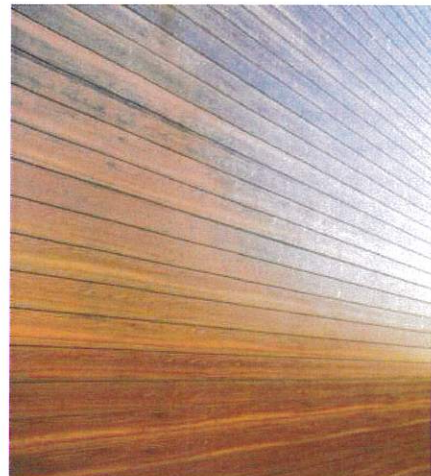
Old Country Ledge – Color: Carmel Mountain
Coronado Stone Products
11191 Calabash Avenue
Fontana, CA 92337
P: 800.847.8663; F: 909.357.7362
www.coronado.com



B. Sand Finish Stucco
La Habra Stucco

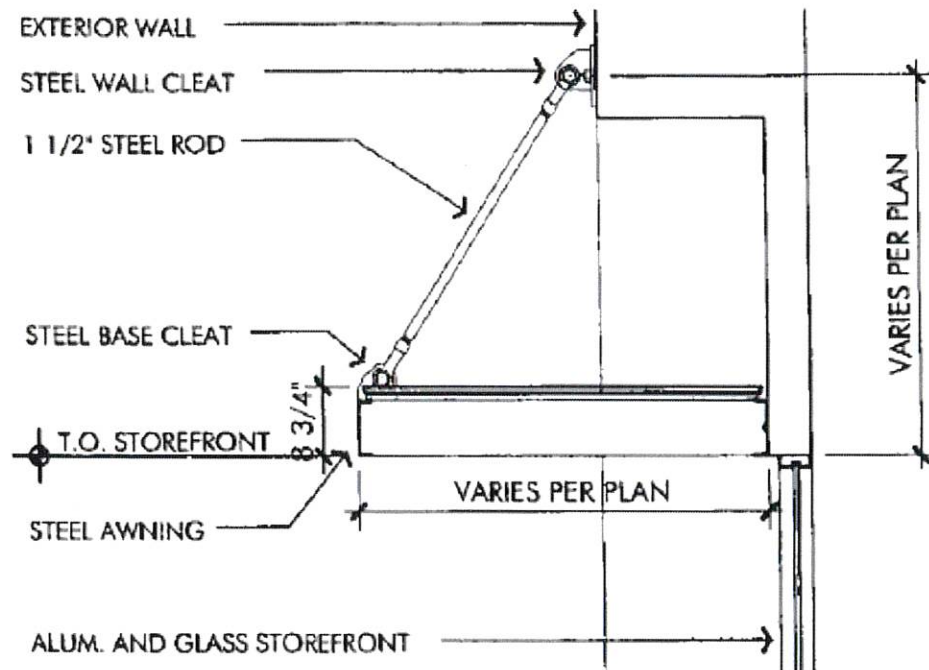


C. ALUMINUM SIDING
LONG BOARD FACADES – Cherry planks



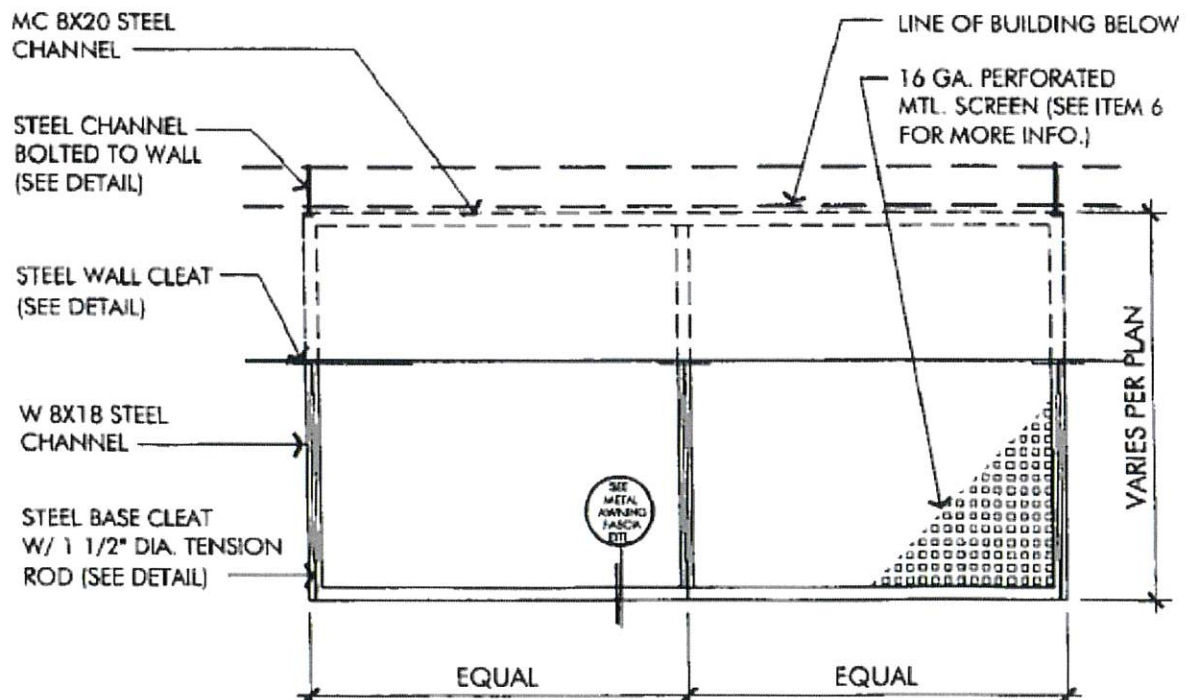
III. Awnings

A. Metal Awning Wall Section

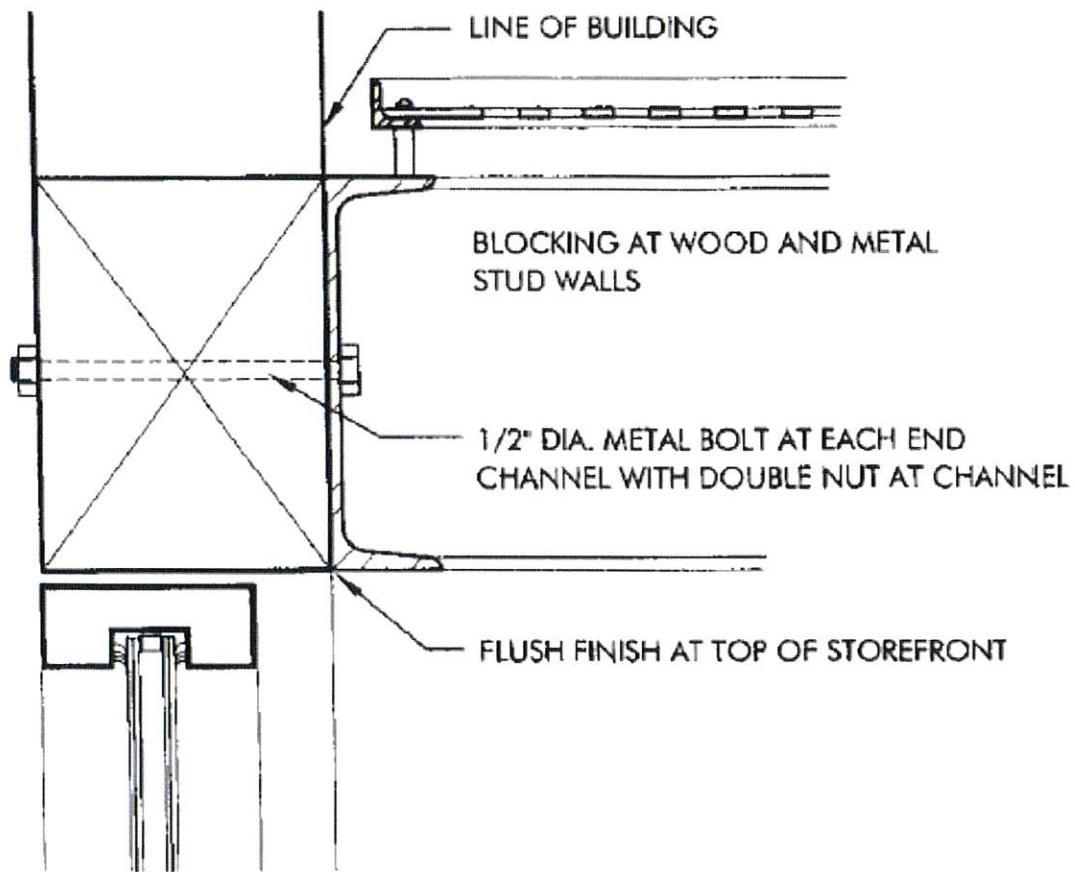


NOTE:
 1. ALL STEEL TO BE PAINTED, (TYP.)
 2. PROVIDE BLOCKING AT ATTACHMENTS

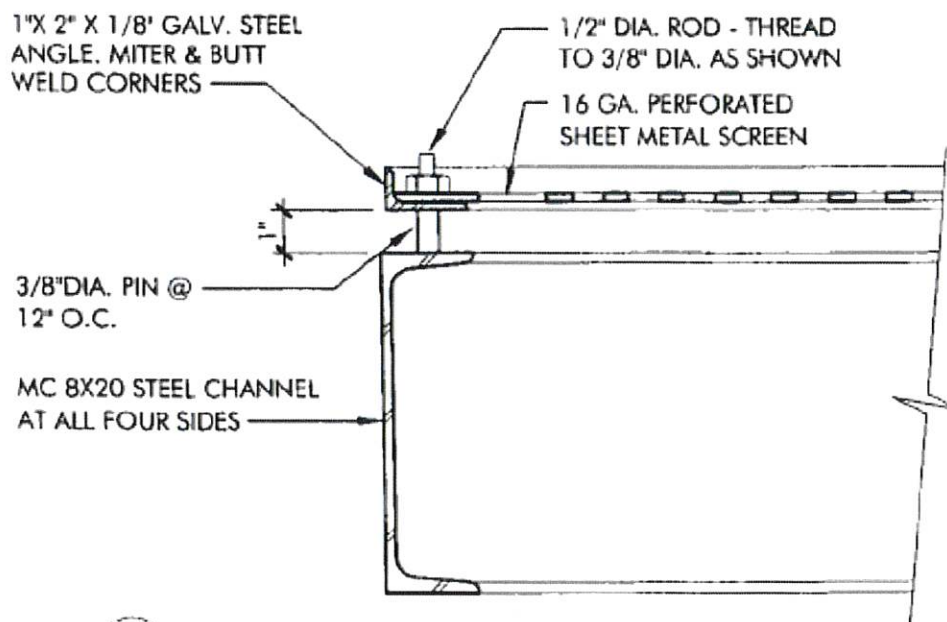
B. Metal Awning Plan



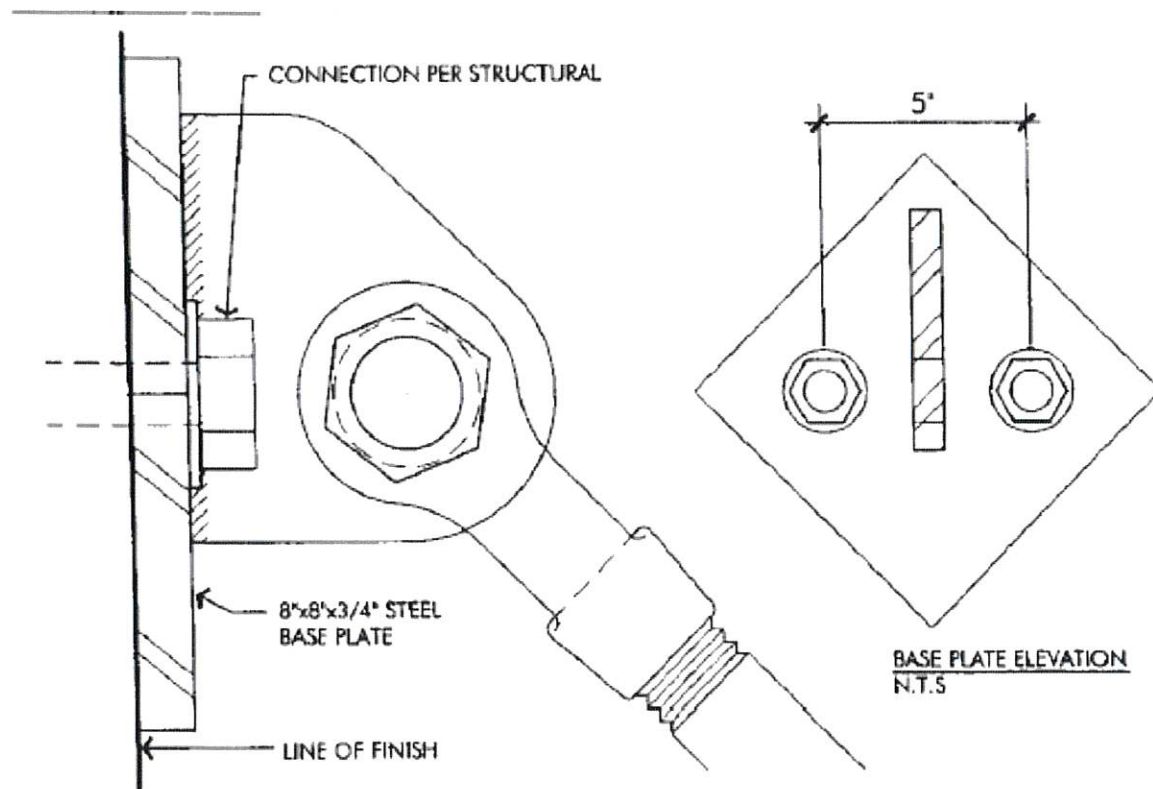
C. Metal Awning Connection At Storefront



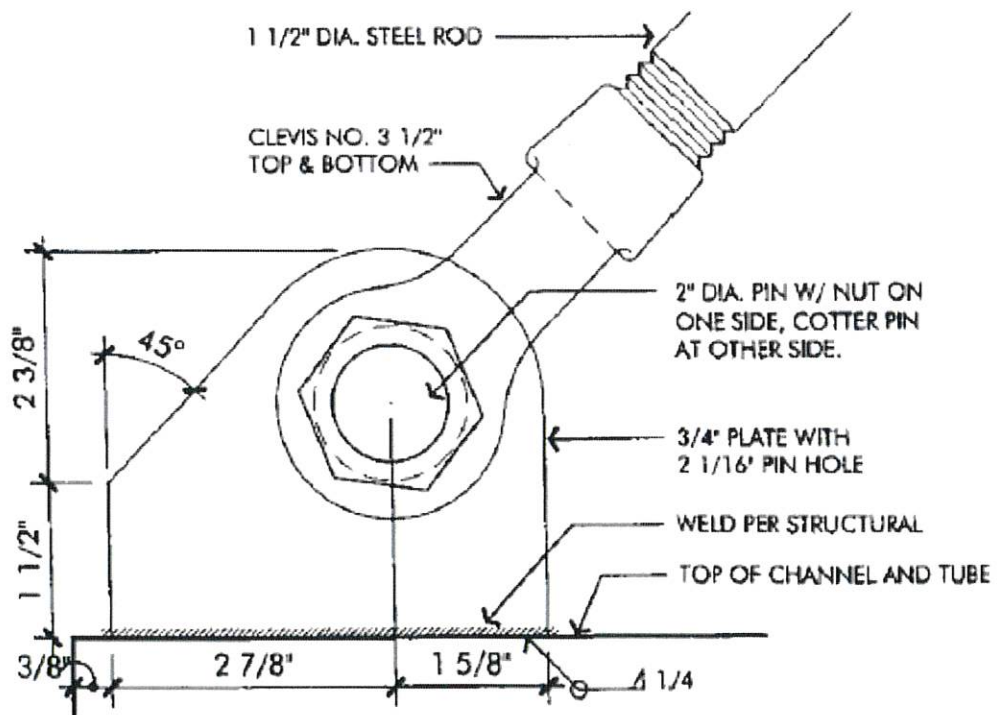
D. Metal Awning Fascia



E. Wall Cleat At Metal Awning



F. Base Cleat At Metal Awning



IV. Window Glazing

Tubelite Aluminum Glazing
#14000 series I/O

