



**City of Santa Ana
20 Civic Center Plaza, Santa Ana, CA 92701
Planning Commission Staff Report
June 26, 2023**

Topic: CUP No. 2019-41-MOD-1 and CUP No. 2023-03 – New Service Station at 2230 N. Tustin Avenue

RECOMMENDED ACTION

1. Adopt a resolution approving Conditional Use Permit No. 2019-41-MOD-1 as conditioned.
2. Adopt a resolution approving Conditional Use Permit No. 2023-03 as conditioned.

EXECUTIVE SUMMARY

Fred Cohen with CJC Design, Inc., on behalf of Farz, Inc. (Applicant) and Heinecke Gould Properties, LLC (Property Owner), is requesting approval of a Conditional Use Permit (CUP) modification and a new CUP to facilitate construction of a new service station and convenience store located at 2230 N. Tustin Avenue. The applicant is requesting a CUP Modification pursuant to Section 41-424.5 (f) of the Santa Ana Municipal Code (SAMC) to allow a service station in the Arterial Commercial (C5) zoning district, and a Conditional Use Permit pursuant to Section 41-199.4 (a) to allow the operation of a land use that requires a permit from a regional, state, or federal agency to handle, store, emit, or discharge regulated compounds, materials, chemicals, or substances located within 500 linear feet of a public park, school (K-12) or property zoned for residential purposes.

With this entitlement request, the applicant will be amending previously-approved CUP No. 2019-41. Effective December 20, 2022, a CUP is required for land uses that require a permit from a regional, state, or federal agency to operate, handle, or discharge regulated pollutants within 500 linear feet of a public park, school (K-12), or residential zones. As proposed, the project is requesting approval of a land use that would require the above-mentioned permits. Therefore, the applicant is applying for CUP No. 2023-03. Staff is recommending approval of the applicant's request as the proposed project will create a cohesive commercial development and provide additional services to residents, workers, and visitors in the area, while conditions of approval will reduce impacts onto surrounding properties.

DISCUSSION

Project Description

The site was originally entitled for a new two-story, 2,600-square-foot commercial building with a first floor convenience store and office area on the second floor, as well as a 2,160-square-foot fueling canopy with eight fueling stations. The applicant is proposing modifications to the original CUP entitlement to allow construction of a new single-story, 2,150-square-foot commercial building, containing a convenience store, as well as a 2,880-square-foot fueling canopy with six fueling stations.

The site will provide five parking stalls, one handicap parking stall, and twelve fueling parking stalls for a total of eighteen off-street parking spaces, exceeding the required off-street parking spaces by one space. To facilitate access onto the site, an easement has been recorded on an adjacent property to authorize reciprocal vehicle access from Tustin Avenue. Moreover, a new driveway is proposed on the northern portion of the property, adjacent to the Santa Clara Avenue frontage. This driveway will be located within 150 feet from the intersection of Santa Clara and Tustin avenues (Exhibit 5). The street frontage along Tustin Avenue has been designed in anticipation of a ten-foot dedication to the City to allow for future street improvements along Tustin Avenue. The landscaped area along both street frontages (Tustin and Santa Clara avenues) will meet the minimum 15-foot requirement. The convenience store will operate between the hours of 5:00 a.m. and 12:00 a.m. (midnight) seven days per week. Should the business owner propose to offer additional hours of service for the convenience store, approval of a separate afterhours conditional use permit will be required.

The architecture of the building has been designed to complement the adjacent shopping center to the south. The architecture, earth tone colors, cement plaster finishes, stone veneer, and the Spanish style flat roof, blends closely with other buildings seen along the Tustin Avenue corridor (Exhibit 5). Table 2 provides a detailed comparison of the project's compliance with the applicable development standards.

Table 1: Project Location and Information

Item	Information	
Project Address & Council Ward	2230 N. Tustin Avenue – Ward 3	
Nearest Intersection	Tustin Avenue and Santa Clara Avenue	
General Plan Designation	General Commercial (GC)	
Zoning Designation	Arterial Commercial (C5)	
Surrounding Land Uses	North	Commercial (retail)
	East	
	South	
	West	Commercial (childcare facility)
Property Size	22,240 SF (0.51 acres)	
Existing Site Development	The site is currently an undeveloped 22,240 SF vacant lot.	
Use Permissions	Allowed with approval of a CUP	

Item	Information	
Zoning Code Sections Affected	Uses	Section 41-424.5 (f)
	Operational Standards	Section 41-431

Table 2: Development Standards

Standards	Required by SAMC	Provided
Front Yard	15 Feet Minimum	Complies, 15 feet provided
Side Yard (exterior)	15 Feet Minimum	Complies, 15 feet provided
Side Yard (interior)	0 Feet Minimum	Complies, 0 feet provided
Rear Yard	0 Feet Minimum	Complies, 0 feet provided
Landscape Area	15 Feet Minimum	Complies: 15 feet provided
Lot Size & Frontage	15,000 sq. ft. and 120 feet	Complies, 22,240 sq. ft. and 290 feet
Building Height	35 Feet Minimum	Complies, 24 feet and 6 inches
Parking	17	18
Floor Area Ratio (FAR)	0.5 FAR Maximum	Complies 0.23 FAR
Driveways	No entry way or exit way shall be located within 150 feet of any intersection corner radius	Does not comply; driveway within 115 feet of the intersection corner radius (variance required)

Project Background

The property has been vacant and unimproved for several decades. In 1996, a new service station proposal was submitted to the City but the site was not ultimately developed and remained vacant. A new multi-tenant commercial building was approved for construction in 2007, but the project was never constructed due to economic factors stemming from a subsequent economic recession. On May 26, 2020, the City of Santa Ana Planning Commission held a public hearing for a proposal of a new service station and associated retail store on the subject site. The Planning Commission approved CUP No. 2019-41 and Variance No. 2019-05 to allow the operation of a service station in the C5 zoning district and to allow the construction of a driveway within 150 feet of an intersection, respectively.

Since then, the applicant has proposed major revisions to the project, which would require a modification to approved CUP No. 2019-41. Moreover, on December 20, 2022, the City Council adopted an ordinance to require businesses requiring a regional, state, or federal permit to handle, store, emit or discharge regulated compounds, materials, chemicals, or substances within 500 linear feet of a public park, school (K-12) or residential zones to obtain a conditional use permit. The installation of the underground fuel tank would require a permit from an external public agency. As such, the applicant is requesting a secondary conditional use permit as part of this application.

Project Analysis

CUP requests are governed by Section 41-638 of the SAMC. CUPs may be granted when it can be shown that the proposed project will not adversely impact the community. If these findings can be made, then it is appropriate to grant the CUP. Conversely, the inability to make these findings would result in a denial.

Modification of Conditional Use Permit for Service Station Use

The applicant is requesting approval of a CUP to allow the operation of a service station. The C5 zoning district allows for a range of commercial uses complementary to arterial roadways such as Tustin Avenue. Service stations in the C5 zoning district require approval of a CUP to ensure high-quality design and site planning that will not disrupt circulation and development patterns along such arterial roadways. The CUP also provides a means to ensure high-quality operations, site circulation, and to mitigate impacts on sensitive neighboring uses. Additionally, the SAMC requires specific standards for service stations, which are listed under Section 41-374. The City has reviewed the proposal to develop the site with a service station and has determined the project meets all SAMC development standards and Citywide Design Guidelines.

The proposed site plan relocates the location of the approved fuel canopy from the southwestern end of the site to the northeastern end of the site near the intersection of Tustin Avenue and Santa Clara Street. The relocation of the fuel canopy increases the buffer between the project site and the adjacent school use to the west. The convenience store is proposed to be relocated from the northeastern end of the property to the southwestern end, adjacent to the western side property line. The convenience store and fuel canopy have been redesigned with high-quality architecture utilizing a combination of exterior materials and treatments. Architectural treatments such as stone & wood veneers, score lines, roof cornices, and decorative overhangs have been included in the overall design. This design is aesthetically harmonious and will be a complementary to the architecture of the surrounding developments. The relocation of the fuel canopy and convenience store will not create a negative visual impact onto surrounding properties. Moreover, any impacts stemming from operation of the service station, such as lighting and noise, will be addressed by the conditions of approval recommended for the project.

The applicant's request for a CUP to allow a service station and convenience store will provide an added amenity to the property, for the employees who work in the vicinity and for the residents who live in the general area. In addition, the new use will activate the street corner and generate property and sales tax revenue for the City. The project will redevelop a vacant lot with a new building and enhanced landscaping, which will contribute to the overall aesthetics of the area. This will benefit the community by allowing the construction of an additional service use and retail building on a vacant lot that will provide additional conveniences for residents, visitors, and employees in the vicinity. For context, the two nearest service stations in Santa Ana are located approximately 0.45-miles to the north (Fairhaven and Tustin avenues) and approximately 0.45-miles to the

south (Tustin Avenue and 17th Street). A third service station is located in the City of Tustin, adjacent to the State Route 55 freeway, approximately 0.58-miles to the southeast.

The proposed use complies with the regulations and conditions in Chapter 41 including building heights, yards, parking and landscaping. Conditions of approval have been added to ensure the operations do not negatively affect any surrounding uses and to require a property maintenance agreement be recorded against the property, which will ensure that the property and all improvements are properly maintained. Additionally, the development will also meet sustainability measures pursuant to the California Green Code, such as providing solar photovoltaic panels on the roof and electric vehicle charging stations. Finally, the applicant is not proposing to operate past 12:00 a.m. (midnight) in order to prevent any noise impacts to the sensitive residential land uses.

Conditional Use Permit for Noxious Uses

In response to community concerns related to environmental pollution and the proximity of certain industrial uses in relation to homes, schools, parks, the City has adopted environmental justice policies and actions in its General Plan to amend use regulations and development standards. On December 20, 2022, the City Council adopted an Urgency Ordinance establishing Section 41-199.4 of the SAMC to require a conditional use permit for certain land uses of an industrial nature near sensitive land uses. Pursuant to Section 41-199.4(a), land uses requiring a permit from a regional, state, or federal permit to handle, store, emit or discharge regulated compounds, materials, chemicals, or substances within 500 linear feet of a public park, school (K-12) or residences are subject to approval of a CUP, which has since been amended to specify applicability to noxious uses within 1,000 feet of these sensitive land uses.

The applicant's request for a CUP for a noxious use will not pose a significant environmental risk to the surrounding sensitive land use areas. As part of the project's analyses pursuant to SAMC Section 41-199.4, the City evaluated key topics, including toxic or noxious fumes; hazardous discharges; glare; electromagnetic disturbances; radiation; smoke; cinders; odors; dust or waste; undue noise or vibration; or other objectionable features that are detrimental to the public health, safety or general welfare, or that are damaging to the physical environment, neighborhood or community.

The project site modifications consist of relocating the fuel pumps away from the adjacent property ensuring a larger buffer between the neighboring kindergarten and the fueling stations, relocation the convenience store towards the southwestern end of the site, further acting as a physical buffer between the fuel pumps and the adjacent kindergarten, as well as relocating the fuel tanks from the southwestern end towards the northeastern end of the site, reducing the impacts from the standard sources of emissions at service stations (i.e., service station infrastructure and vehicles visiting service stations).

Additionally, the closest residential land use is approximately 120 feet to the west of the site. Therefore, the recurring and predictable sources of emissions would be limited. The service station will utilize the latest technology in full compliance with State laws designed to ensure safe operations of the service station and minimization of emissions of fumes. Conditions of approval has been placed to ensure a reduction in loading and breathing emissions, due fuel tanker truck deliveries and due to excess pressure released from the gas station vent pipe in the form of gasoline vapor emissions. In addition, the applicant through conditions of approval will be required to conduct periodic reviews of operations to identify opportunities to upgrade or phase out older equipment. Due to the site's location near sensitive land uses, such as the adjacent child care facility and residential zones, additional conditions of approval have been included to address any potential effects from vehicle idling, outdoor displays, onsite lighting, noise, vehicle maintenance, and the installation of temporary equipment. The service station will meet all emissions and air-quality requirements set by the California Air Resources Board (CARB). In addition, the site will propose high-quality architecture utilizing a combination of exterior materials and treatments to remain aesthetically harmonious with the surrounding area. Finally, the Applicant is not proposing to operate past 12:00 a.m. (midnight) in order to prevent any noise impacts on the sensitive residential land uses. This includes both the fuel pumps and the convenience store.

General Plan Consistency

Approval of this application will be consistent with the goals of the General Plan, specifically Goals 2, 3, 4 of the Land Use Element, Goals 1 and 3 of the Economic Prosperity Element, Goal 4 of the Mobility Element, Goal 1 of the Conservation Element, and Goal 2 of the Safety Element. The project is located within the General Commercial (GC) land use designation, which allows for highly visible and accessible shopping opportunities along arterial corridors and supports the development and continued operation of recreational, cultural, entertainment, employment, and educational opportunities near established residential neighborhoods. The granting of CUP No. 2019-41-MOD-1 and CUP No. 2023-03 supports several policies contained in the General Plan. Goal 2 of the Land Use Element ("LU") encourages a balance of land uses that meet Santa Ana's diverse needs. Policy 2.2 of the LU encourages a range of commercial uses to capture a greater share of local spending and offer a range of employment opportunities. Policy 2.6 of the LU encourages investment and promotes rehabilitation of properties with increased levels of capital investment to create a safe and attractive environment. Policy 2.7 of the LU supports land use decisions that encourage the creation, development, and retention of business in Santa Ana. Goal 3 encourages the preservation and improvement of the character and integrity of the existing neighborhoods and districts. Policy 3.4 of the LU ensures that the scale and massing of new development is compatible and harmonious with the surrounding built environment. Policy 3.7 of the LU promotes a clean, safe, and creative environment for Santa Ana's residents, workers, and visitors. Goal 4 supports a sustainable Santa Ana through improvements to the built environment and a culture of collaboration. Policy 4.3 of the LU encouraged land uses and strategies that reduce energy and water consumption, waste

and noise generation, soil contamination, air quality impacts, and light pollution. Policy 4.6 of the LU supports diverse and innovative housing types that improve living conditions and promote a healthy environment. Goal 1 of the Economic Propensity Element (“EU”) promotes the fostering of a dynamic local economy that provides and create employment opportunities for all residents in the City. Policy 1.2 of the EU promotes the strengthening and expand citywide business attraction efforts in order to achieve the city’s full employment potential. Goal 3 of the EU promotes a business-friendly environment where businesses thrive and build on Santa Ana’s strengths and opportunities. Policy 3.7 of the EU promotes a solution-based customer focus in order to facilitate additional development and investment in the community. Policy 3.8 of the EU pursues a balance of fiscal and qualitative community benefits when making land use decisions. Goal 4 of the Mobility Element (“M”) coordinates transportation planning efforts with land use and design strategies that encourage sustainable development and achieve broader community goals. Policy 4.9 of the M supports the utilization of land use, building, site planning, and technology solutions to mitigate exposure to transportation-related air pollution, especially in environmental justice focus areas. Goal 1 of the Conversation Element (“CN”) supports the protection of air resources, improve regional and local air quality, and minimize the impacts of climate change. Policy 1.5 of the CN encourages the study of impacts of stationary and non-stationary emission sources on existing and proposed sensitive uses and opportunities to minimize health and safety risks as well as developing and adopting new regulations avoiding the siting of facilities that potentially emit increased pollution near sensitive receptors within environmental justice area boundaries. Goal 2 of the Safety Element (“S”) supports the protection of residents and environmental resources from contaminated hazardous material sites and minimize risks associated with the use, production, storage, transport, and disposal of hazardous materials. Policy 2.2 of the S encourages collaboration with appropriate agencies to identify and inventory all users and handlers of hazardous materials to proactively mitigate potential impacts. Promote transparency and accountability by publishing city, regional, and state data and resources on toxic spills, water pollution, illegal discharges, industrial and commercial air violations on a dedicated Santa Ana Environmental Quality webpage. The proposed project will utilize land use, design, and sustainable strategies to protect environmental resources and residents. The reconfiguration of the site contributes to a stronger protection of local air quality and minimizes environmental impacts associated with the business.

Public Notification and Community Outreach

Public notifications were posted, published, and mailed in accordance with City and State regulations. Copies of the public notice, including a 1000-foot notification radius map, and the site posting are provided in Exhibit 6. The property is located within the Meredith Parkwood Neighborhood Association. At the time this report was printed, no issues of concern were raised regarding the proposed CUP.

ENVIRONMENTAL IMPACT

Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15303 of the CEQA Guidelines (Class 3 – New Construction or Conversion of Small Structures). This exemption applies to the construction of small structures, which, in urbanized areas, applies to up to four such commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use if not involving the use of significant amounts of hazardous substances, where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive. The proposed structures total less than 10,000 square feet and will be served by all necessary utilities. The project site's location does not include any environmental features indicating that it is sensitive. As such, a Notice of Exemption, Environmental Review No. 2017-83, will be filed for this project.

FISCAL IMPACT

There is no fiscal impact associated with this action.

EXHIBIT(S)

1. Conditional Use Permit No. 2019-41-MOD-1 Resolution
2. Conditional Use Permit No. 2023-03 Resolution
3. Vicinity Zoning & Aerial Map
4. Site Photos
5. Architectural Plans
6. Previously-Approved Site Plan
7. Copy of Public Notices

Submitted By:
Cristian Santana, Assistant Planner I

Approved By:
Minh Thai, Executive Director of Planning and Building Agency, Planning and Building Agency

RESOLUTION NO. 2023-XXX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA ANA APPROVING A MODIFICATION TO CONDITIONAL USE PERMIT NO. 2019-19 (NO. 2019-41-MOD-1) AS CONDITIONED TO ALLOW THE CONSTRUCTION OF A SERVICE STATION IN THE ARTERIAL COMMERCIAL (C5) ZONING DISTRICT FOR THE PROPERTY LOCATED AT 2230 NORTH TUSTIN AVENUE

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Planning Commission of the City of Santa Ana hereby finds, determines and declares as follows:

- A. Fred Cohen with CJC Design, Inc., on behalf of Farz, Inc. (Applicant) and Heinecke Gould Properties, LLC (Property Owner), is requesting approval of Conditional Use Permit (CUP) Modification to facilitate the construction of a new service station and convenience store located at 2230 North Tustin Avenue.
- B. Santa Ana Municipal Code ("SAMC") Section 41-424.5(f) requires approval of a CUP for service stations within the Arterial Commercial (C5) zoning district.
- C. On May 26, 2020, the City of Santa Ana Planning Commission held a public hearing for the proposal of a new service station on the subject site. The Planning Commission unanimously approved CUP No. 2019-41 and Variance No. 2019-05 to allow the construction of a new service station on the subject site.
- D. The applicant is proposing modifications to the original CUP 2019-41 entitlement to allow construction of a new single-story, 2,150-square-foot commercial building, containing a convenience store, as well as a 2,880-square-foot fueling canopy with six fueling stations.
- E. Pursuant to SAMC Section 41-638, the Planning Commission is authorized to review and approve the CUP for this project as set forth by the SAMC.
- F. On June 26, 2023, the Planning Commission held a duly noticed public hearing for CUP No. 2019-41-MOD-1.
- G. The Planning Commission of the City of Santa Ana has considered the information and determines that the following findings, which must be

established in order to grant CUP No. 2019-41-MOD-1, for a service station, have been established as required by SAMC Section 41-638:

1. That the proposed use will provide a service or facility which will contribute to the general well being of the neighborhood or community.

The proposed service station and convenience store will provide a service to persons that are working or residing in the area. The project will redevelop a vacant lot with a new building and enhanced landscaping, which will contribute to the overall aesthetics of the area. This will benefit the community by allowing the construction of an additional service use and retail building on a vacant lot that will provide additional conveniences for residents, visitors, and employees in the vicinity.

2. That the proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity.

The proposed site plan has been designed to not be detrimental to the health, safety or welfare of those residing or working in the vicinity. The fueling canopy is proposed along the northeastern end of the site to distance it from sensitive land uses to the west. Additionally, the location of the convenience store adjacent to the western property acts as a physical barrier between nearby sensitive land uses and the fueling canopy. The closest residential land use is approximately 120 feet to the west of the site. The service station will utilize the latest technology related to the use to ensure safe operations of the service station. The site will propose high-quality architecture utilizing a combination of exterior materials and treatments to remain aesthetically harmonious with the surrounding area. Due to the site's location near sensitive land uses, such as the adjacent child care facility and residential zones, conditions of approval have been included to mitigate any effects from vehicle idling, outdoor displays, onsite lighting, noise, vehicle maintenance, and the installation of temporary equipment. The service station will meet all emissions and air-quality requirements. Finally, the Applicant is not proposing to operate past 12:00 a.m. (midnight) in order to prevent any noise impacts on the sensitive residential land uses.

3. That the proposed use will not adversely affect the present economic stability or future economic development of properties surrounding the area.

The service station will not adversely affect the economic stability or future economic development of properties in the surrounding area. The service station will replace an existing

vacant lot and contribute to the existing local economy by providing a commercial service to residents and visitors, as well as generate added sales tax revenue for the City.

4. That the proposed use will comply with the regulations and conditions specified in Chapter 41 for such use.

The proposed use complies with the regulations and conditions in Chapter 41 including building heights, yards, parking and landscaping. A condition of approval has been added to the conditional use permit for a property maintenance agreement to be recorded against the property, which will ensure that the property and all improvements are properly maintained. Additionally, the development will also meet sustainability measures pursuant to the California Green Code, such as providing solar photovoltaic panels on the roof and electric vehicle charging stations.

5. That the proposed use will not adversely affect the General Plan of the city or any specific plan applicable to the area of the proposed use.

- i. The granting of CUP No. 2019-41-MOD-1 supports and is consistent with several goals and policies contained in the General Plan. Specifically, the application would be consistent with Goals 2, 3, 4 of the Land Use Element (“LU”); Goals 1 and 3 of the Economic Prosperity Element (“EU”); Goal 4 of the Mobility Element (“M”); Goal 1 of the Conservation Element (“CN”); and Goal 2 of the Safety Element (“S”). The project is located within the General Commercial (GC) land use designation, which allows for highly visible and accessible shopping opportunities along arterial corridors and supports the development and continued operation of recreational, cultural, entertainment, employment, and educational opportunities near established residential neighborhoods.

Goal 2 of the LU Element encourages a balance of land uses that meet Santa Ana’s diverse needs. The project contributes to Goal 2 of the LU Element by providing additional services to Santa Ana residents and visitors, thereby positively contributing to the economic viability of the area by promoting local spending, offering employment opportunities, and providing a safe workplace. In addition, the applicant is making an investment to rehabilitate the site to allow for a safe and attractive establishment by improving the circulation throughout.

Goal 3 encourages the preservation and improvement of the character and integrity of the existing neighborhoods and districts. The proposed improvements address Goal 3 of the LU

Element by preserving the character of the existing commercial area. The scale and massing of the addition is proposed to be compatible and will maintain the current architectural style, which includes an earth tone color palette, stone veneer, smooth stucco finishes, canopies and trim. The project provides a harmonious development and keeps all four corners of the intersection harmonious aesthetically, promoting a clean and safe environment.

Goal 4 supports a sustainable Santa Ana through improvements to the built environment and a culture of collaboration. The proposed project supports Goal 4 of the LU by supporting a sustainable community by ensuring the project has been designed and conditioned to minimize impacts onto surrounding properties. The project will support sustainable improvements to the built environment and encourage land use strategies that reduce the operation impacts of the commercial site. The reconfiguration of the site will additionally contribute to improved living conditions and a healthier environment for the surrounding area by developing the site in a responsible manner.

Goal 1 of the EU Element promotes the fostering of a dynamic local economy that provides and create employment opportunities for all residents in the City while Goal 3 of the EU Element encourages a business-friendly environment where businesses thrive and build on Santa Ana's strengths and opportunities. The proposed project will support Goals 1 and 3 of the EU and will help the applicant to enhance their business offerings and compete with nearby service stations that offer similar services. Moreover, by working on an improved site design with the applicant, staff ensured that that project provided a high level of community investment for residents, workers, and visitors in the area.

Goal 4 of the M Element coordinates transportation planning efforts with land use and design strategies that encourage sustainable development and achieve broader community goals. Goal 1 of the CN Element supports the protection of air resources, improve regional and local air quality, and minimize the impacts of climate change. Goal 2 of the S Element supports the protection of residents and environmental resources from contaminated hazardous material sites and minimize risks associated with the use, production, storage, transport, and disposal of hazardous materials. The proposed project will support Goal 4 of the M Element, Goal 1 of the CN Element, and Goal 2 of the S Element by utilizing land use, design, and sustainable strategies to protect environmental resources and

residents. The proposed site configuration contributes to protection of local air quality and minimizes environmental impacts associated with the business.

Section 2. Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15303 of the CEQA Guidelines (Class 3 – New Construction or Conversion of Small Structures). This exemption applies to the construction of small structures, which, in urbanized areas, applies to up to four commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use if not involving the use of significant amounts of hazardous substances, where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive. The proposed structures total less than 10,000 square feet and will be served by all necessary utilities. The project site's location does not include any environmental features indicating that it is sensitive. As such, a Notice of Exemption, Environmental Review No. 2017-83, will be filed for this project.

Section 3. CUP-2019-41-MOD-1 shall not be effective until the City of Santa Ana Planning Commission reviews and approves CUP No. 2023-3. If said approvals are held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, or otherwise denied, then this conditional use permit shall be null and void and have no further force and effect.

Section 4. The Applicant shall indemnify, protect, defend and hold the City and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers, and instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, referendum, and other proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and such other procedures), judgments, orders, and decisions (collectively "Actions"), brought against the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the project, whether such Actions are brought under the Ralph M. Brown Act, California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Code of Civil Procedure sections 1085 or 1094.5, or any other federal, state or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve the legal counsel providing the City's defense, and that Applicant shall reimburse the City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the Applicant of any Action brought and City shall cooperate with Applicant in the defense of the Action.

Section 5. The Planning Commission of the City of Santa Ana after conducting the public hearing hereby approves Conditional Use Permit No. 2019-41-MOD-1, as conditioned in Exhibit A, attached hereto and incorporated herein, for the project located at 2230 North Tustin Avenue. This decision is based upon the evidence submitted at the

above said hearing, which includes, but is not limited to: the Request for Planning Commission Action dated June 26, 2023, and exhibits attached thereto; and the public testimony, written and oral, all of which are incorporated herein by this reference.

ADOPTED this 26th day of June 2023 by the following vote.

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTENTIONS: Commissioners:

Bao Pham
Chairperson

APPROVED AS TO FORM:
Sonia R. Carvalho, City Attorney

By: John M. Funk
John M. Funk
Chief Assistant City Attorney

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, Nuvia Ocampo, Recording Secretary, do hereby attest to and certify the attached Resolution No. 2023-XXX to be the original resolution adopted by the Planning Commission of the City of Santa Ana on June 26, 2023.

Date: _____

Nuvia Ocampo
Recording Secretary
City of Santa Ana

EXHIBIT A

Conditions of Approval for Conditional Use Permit No. 2019-41-MOD-1

Conditional Use Permit No. 2019-41-MOD-1 for a service station is approved subject to compliance, to the reasonable satisfaction of the Planning Manager, with applicable sections of the Santa Ana Municipal Code, the California Administrative Code, the California Building Standards Code, and all other applicable regulations.

The Applicant must remain in compliance with all conditions listed below throughout the life of the conditional use permit. Failure to comply with each and every condition may result in the revocation of the conditional use permit.

1. All proposed site improvements must conform to the Development Project Review (DP No. 2021-29) and the staff report exhibits.
2. Any amendment to this conditional use permit must be submitted to the Planning Division for review. At that time, staff will determine if administrative relief is available or the conditional use permit must be amended.
3. Prior to the issuance of a building permit, a landscape and irrigation plan shall be submitted for review and approval. The landscape plan shall conform to the commercial landscape standards, Citywide Design Guidelines and the City's Water Efficient Landscape Ordinance. The landscape plans shall note construction of a minimum seven (7) foot tall perimeter wall along the west and southern property lines, except where prohibited by driveways and required landscape setbacks, and shall be coated with anti-graffiti coating. The landscape plan shall include the installation of vines throughout the perimeter walls and portions of the main building's exterior with solid voids and no fenestrations.
4. Prior to the issuance of a certificate of occupancy, signs must be installed at both driveway exits to indicate "Right Turn Only".
5. Prior to issuance of certificate of occupancy, signs shall be installed, following separate Planning Division review and approval, stating that truck drivers shall limit idling of diesel-powered vehicles to less than five minutes in accordance with Title 13 – Section 2485 of the California Code of Regulations.
6. The hours of operation for the convenience store and service station, including fuel pumps, shall be limited to between 5:00 a.m. and 12:00 a.m. (midnight), seven days per week, unless extended by approval of a separate conditional use permit.
7. Deliveries of goods and services related to items sold inside the convenience store shall not occur between 10:00 p.m. and 7:00 a.m., with fuel deliveries limited to the hours between 6:00 p.m. and 10:00 p.m., daily.

8. The air/water machine must provide an automatic shut-off component to cease operation when the service station, including the convenience store and fuel pumps, is not in operation.
9. The location of the air/water station shall be placed in an area not prominent to the street and shall be screened to the furthest extent possible.
10. The Applicant shall be responsible for maintaining the premises free of graffiti. All graffiti shall be removed within 24 hours of occurrence.
11. The cash register must be visible from the street at all times and shall not be obstructed at any time by temporary or permanent signage.
12. Window displays and racks must be kept at a maximum height of three (3) feet including merchandise and cannot obstruct the cashier's view to the outside.
13. A timed-access cash controller or a money drop safe capable of easily providing the cashier the ability to quickly deposit money into it must be installed.
14. A silent armed robbery alarm shall be installed prior to issuance of a certificate of occupancy.
15. There shall be no coin-operated games maintained on the premises at any time.
16. No pay telephones shall be located on the premises.
17. "No Loitering/Trespass" signs/placards shall be posted in the parking lot area. The posted signs must conform to Penal Code Section 602.
18. The Applicant shall provide a Closed Circuit Television System approved by the Police Department and capable of viewing and recording events inside the premises with a resolution which will clearly identify individuals for later identification.
19. Clearly distinguishable height markers shall be installed on the inside door jamb of all doors used by the public to access the store. Horizontal marks, one-inch wide by three-inches long, in different colors, and in a contrasting color to the background, shall be placed every six inches beginning at five feet and ending at six feet six inches.
20. To minimize light intrusion, the use of exterior lighting shall be shielded and/or directed away from adjacent properties.
21. The utilization of outdoor speakers or similar devices onsite are prohibited.

22. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The Applicant and/or business owner shall institute appropriate security and operational measures necessary to comply with this requirement.
23. At all times, the contact information for a responsible party such as an onsite manager or property manager shall be posted in a prominent location. The minimum information in the posting shall include the individual's name, title, phone number, and email address, to report any onsite issues 24 hours per day, seven days per week.
24. A copy of the conditions of approval shall be kept on premises and presented to any authorized City official upon request.
25. The sale of alcoholic beverages shall be prohibited, unless extended by approval of a separate conditional use permit.
26. The outdoor storage or display of boxes, equipment, materials, merchandise, and other similar items shall be prohibited.
27. The outdoor storage, sale, or display of natural or propane gas tanks shall be prohibited.
28. The installation of temporary mechanical equipment, tarps, or similar structures shall be reviewed by the Planning Division.
29. The performance of vehicle maintenance such as but not limited to; replacement of belts, hoses, shock absorbers, oil and air filters, chassis lubrication, air conditioning servicing, wheel alignments, replacement of brake pads, and engine tune-ups or other minor repairs shall be prohibited.
30. Truck drivers shall limit idling of diesel-powered vehicles to less than five minutes in accordance with Title 13 – Section 2485 of the California Code of Regulations.
31. To the extent feasible, the applicant shall install a vapor processor to manage the pressure of the vapor in a gasoline storage tank to prevent overpressure issues and reduce breathing emissions from the pressure/vent valve. The vapor processors shall be certified by the California Air Resources Board (CARB).
32. To the extent feasible, the applicant shall utilize cleanest possible equipment during construction (e.g., all construction equipment must meet or exceed CARB-certification standards).
33. The applicant shall be required to conduct periodic reviews of operations to identify opportunities to upgrade or phase out older equipment.

34. A Property Maintenance Agreement must be recorded against the property prior to issuance of a certificate of occupancy. The agreement will be subject to review and applicability by the Planning and Building Agency, the Community Development Agency, the Public Works Agency, and the City Attorney to ensure that the property and all improvements located thereupon are properly maintained, Developer (and the owner of the property upon which the authorized use and/or authorized improvements are located if different from the Applicant) shall execute a maintenance agreement with the City of Santa Ana which shall be recorded against the property and which shall be in a form reasonably satisfactory to the City Attorney. The maintenance agreement shall contain covenants, conditions and restrictions relating to the following:

(a) Compliance with operational conditions applicable during any period(s) of construction or major repair (e.g., proper screening and securing of the construction site; implementation of proper erosion control, dust control and noise mitigation measure; adherence to approved project phasing etc.).

(b) Compliance with ongoing operational conditions, requirements and restrictions, as applicable (including but not limited to hours of operation, security requirements, the proper storage and disposal of trash and debris, enforcement of the parking management plan, and/or restrictions on certain uses.

(c) Ongoing compliance with approved design and construction parameters, signage parameters and restrictions as well as landscape designs, as applicable.

(d) Ongoing maintenance, repair and upkeep of the property and all improvements located thereupon (including but not limited to controls on the proliferation of trash and debris about the property; the proper and timely removal of graffiti; the timely maintenance, repair and upkeep of damaged, vandalized and/or weathered buildings, structures and/or improvements; the timely maintenance, repair and upkeep of exterior paint, parking striping, lighting and irrigation fixtures, walls and fencing, publicly accessible bathrooms and bathroom fixtures, landscaping and related landscape improvements and the like, as applicable).

(e) If Developer and the owner of the property are different (e.g., if the Applicant is a tenant or licensee of the property or any portion thereof), both the Applicant and the owner of the property shall be signatories to the maintenance agreement and both shall be jointly and severally liable for compliance with its terms.

(f) The maintenance agreement shall further provide that any party responsible for complying with its terms shall not assign its ownership interest in the property or any interest in any lease, sublease, license or sublicense, unless the prospective assignee agrees in writing to assume all of the duties, obligations and responsibilities set forth under the maintenance agreement.

(g) The maintenance agreement shall contain provisions relating to the enforcement of its conditions by the City and shall also contain provisions authorizing the City to recover costs and expenses which the City may incur arising out of any enforcement and/or remediation efforts which the City may undertake in order to cure any deficiency in maintenance, repair or upkeep or to enforce any restrictions or conditions upon the use of the property. The maintenance agreement shall further provide that any unreimbursed costs and/or expenses incurred by the City to cure a deficiency in maintenance or to enforce use restrictions shall become a lien upon the property in an amount equivalent to the actual costs and/or expense incurred by the City.

(h) The execution and recordation of the maintenance agreement shall be a condition precedent to the issuance of final approval for any construction permit related to this entitlement.

RESOLUTION NO. 2023-XXX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA ANA APPROVING CONDITIONAL USE PERMIT NO. 2023-03 AS CONDITIONED TO ALLOW A LAND USE THAT REQUIRES A REGIONAL, STATE, OR FEDERAL PERMIT TO HANDLE, STORE, EMIT OR DISCHARGE REGULATED COMPOUNDS, MATERIALS, CHEMICALS, OR SUBSTANCES WITHIN 500 LINEAR FEET OF A PUBLIC PARK, SCHOOL (K-12), OR RESIDENTIAL ZONE IN THE ARTERIAL COMMERCIAL (C5) ZONING DISTRICT FOR THE PROPERTY LOCATED AT 2230 NORTH TUSTIN AVENUE

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Planning Commission of the City of Santa Ana hereby finds, determines and declares as follows:

- A. Fred Cohen with CJC Design, Inc., on behalf of Farz, Inc. ("Applicant") and Heinecke Gould Properties, LLC (Property Owner), is requesting approval of Conditional Use Permit (CUP) No. 2023-03 as conditioned, to allow a land use that requires a regional, state, or federal permit to handle, store, emit or discharge regulated compounds, materials, chemicals, or substances within 500 linear feet of a public park, school (k-12) or residential zones in the Arterial Commercial (C5) zoning district at 2230 North Tustin Avenue.
- B. Santa Ana Municipal Code ("SAMC") Section 41-199.4(a) requires a conditional use permit for any use that requires a permit from a regional, state, or federal agency to handle, store, emit or discharge regulated compounds, materials, chemicals, or substances that is located within 500 linear feet of a public park, school (K-12) as defined in section 11362.768 of the Health and Safety Code, or property used or zoned for residential purposes.
- C. On May 26, 2020, the City of Santa Ana Planning Commission held a public hearing for the proposal of a new service station on the subject site. The Planning Commission unanimously approved CUP No. 2019-41 and Variance No. 2019-05 to allow the construction of a new service station on the subject site.
- D. On December 20, 2022, the City Council adopted an ordinance to require businesses requiring a regional, state, or federal permit to handle, store, emit or discharge regulated compounds, materials, chemicals, or substances within 500 linear feet of a public park, school (K-12), or residential zones to obtain a conditional use permit.

- E. The applicant is proposing modifications to the original CUP 2019-41 entitlement to allow construction of a new single-story, 2,150-square-foot commercial building, containing a convenience store, as well as a 2,880-square-foot fueling canopy with six fueling stations.
- F. Pursuant to SAMC Section 41-638, the Planning Commission is authorized to review and approve CUP No. 2023-03 for this project as set forth by the SAMC.
- G. On June 26, 2023, the Planning Commission held a duly noticed public hearing for Conditional Use Permit No. 2023-03.
- H. The Planning Commission of the City of Santa Ana has considered the information and determines that the following findings, which must be established in order to grant Conditional Use Permit No. 2023-03, for a service station and noxious use as required by SAMC Section 41-638, have been established:
 - 1. That the proposed use will provide a service or facility which will contribute to the general well being of the neighborhood or community.

The proposed service station and convenience store will provide a service to persons that are working or residing in the area. The project will redevelop a vacant lot with a new building and enhanced landscaping, which will contribute to the overall aesthetics of the area. This will benefit the community by allowing the construction of an additional service use and retail building on a vacant lot that will provide additional conveniences for residents, visitors, and employees in the vicinity. For context, the two nearest service stations in Santa Ana are located approximately 0.45-miles to the north (Fairhaven and Tustin avenues) and approximately 0.45-miles to the south (Tustin Avenue and 17th Street). A third service station is located in the City of Tustin, adjacent to the State Route 55 freeway, approximately 0.58-miles to the southeast.

- 2. That the proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity.

The proposed site plan has been designed to not be detrimental to the health, safety or welfare of those residing or working in the vicinity. Moreover, the use has been comprehensively evaluated pursuant to the City's zoning ordinance and its noxious uses ordinance, and conditions of approval have been placed to ensure that the use limits impacts related to the following: toxic or noxious fumes; hazardous discharges; glare; electromagnetic disturbances; radiation; smoke; cinders; odors; dust or waste; undue noise

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or vibration; or other objectionable features that are detrimental to the public health, safety or general welfare, or that are damaging to the physical environment, neighborhood or community.

The fueling canopy is proposed along the northeastern end of the site to distance it from sensitive land uses to the west, reducing the impacts from the standard sources of emissions at service stations (i.e., service station infrastructure and vehicles visiting service stations). Additionally, the location of the convenience store adjacent to the western property acts as a physical barrier between nearby sensitive land uses and the fueling canopy. The closest residential land use is approximately 120 feet to the west of the site. Therefore, the recurring and predictable sources of emissions would be limited.

Additionally, the service station will utilize the latest technology in full compliance with State laws designed to ensure safe operations of the service station and minimization of emissions of fumes. Conditions of approval has been placed to ensure a reduction in loading and breathing emissions, due to fuel tanker truck deliveries and due to excess pressure released from the gas station vent pipe in the form of gasoline vapor emissions. In addition, the applicant through conditions of approval will be required to conduct periodic reviews of operations to identify opportunities to upgrade or phase out older equipment.

Due to the site's location near sensitive land uses such as the adjacent child care facility and residential zones, additional conditions of approval have been included to mitigate any effects from vehicle idling, outdoor displays, onsite lighting, noise, vehicle maintenance, and the installation of temporary equipment. The service station will meet all emissions and air-quality requirements set by the California Air Resources Board (CARB). In addition, the site will propose high-quality architecture utilizing a combination of exterior materials and treatments to remain aesthetically harmonious with the surrounding area. Finally, the Applicant is not proposing to operate past 12:00 a.m. (midnight) in order to prevent any noise impacts on the sensitive residential land uses. This includes both the fuel pumps and the convenience store.

3. That the proposed use will not adversely affect the present economic stability or future economic development of properties surrounding the area.

The service station will not adversely affect the economic stability or future economic development of properties in the surrounding area. The service station will replace an existing vacant lot and contribute to the existing local economy by providing a commercial service to residents and visitors, as well as generate added sales tax revenue for the City. As detailed in Finding No. 2 in this Resolution, the use has been designed and conditions of approval have been added to the Conditional Use Permit to ensure the project operates in a manner that eliminates impacts onto surrounding properties and sensitive receptors.

4. That the proposed use will comply with the regulations and conditions specified in Chapter 41 for such use.

The proposed use complies with the regulations and conditions in Chapter 41 including building heights, yards, parking and landscaping. A condition of approval has been added to the conditional use permit for a property maintenance agreement to be recorded against the property, which will ensure that the property and all improvements are properly maintained. Additionally, the development will also meet sustainability measures pursuant to the California Green Code, such as providing solar photovoltaic panels on the roof and electric vehicle charging stations.

5. That the proposed use will not adversely affect the General Plan of the city or any specific plan applicable to the area of the proposed use.

The granting of CUP No. 2023-03 supports and is consistent with several goals and policies contained in the General Plan. Specifically, the application would be consistent with Goals 2, 3, 4 of the Land Use Element (“LU”); Goals 1 and 3 of the Economic Prosperity Element (“EU”); Goal 4 of the Mobility Element (“M”); Goal 1 of the Conservation Element (“CN”); and Goal 2 of the Safety Element (“S”). The project is located within the General Commercial (GC) land use designation, which allows for highly visible and accessible shopping opportunities along arterial corridors and supports the development and continued operation of recreational, cultural, entertainment, employment, and educational opportunities near established residential neighborhoods.

Goal 2 of the LU Element encourages a balance of land uses that meet Santa Ana’s diverse needs. The project contributes to Goal 2 of the LU Element by providing additional services to Santa Ana residents and visitors, thereby positively contributing to the economic viability of the

area by promoting local spending, offering employment opportunities, and providing a safe workplace. In addition, the applicant is making an investment to rehabilitate the site to allow for a safe and attractive establishment by improving the circulation throughout.

Goal 3 encourages the preservation and improvement of the character and integrity of the existing neighborhoods and districts. The proposed improvements address Goal 3 of the LU Element by preserving the character of the existing commercial area. The scale and massing of the addition is proposed to be compatible and will maintain the current architectural style, which includes an earth tone color palette, stone veneer, smooth stucco finishes, canopies and trim. The project provides a harmonious development and keeps all four corners of the intersection harmonious aesthetically, promoting a clean and safe environment.

Goal 4 supports a sustainable Santa Ana through improvements to the built environment and a culture of collaboration. The proposed project supports Goal 4 of the LU by supporting a sustainable community by ensuring the project has been designed and conditioned to minimize impacts onto surrounding properties. The project will support sustainable improvements to the built environment and encourage land use strategies that reduce the operation impacts of the commercial site. The reconfiguration of the site will additionally contribute to improved living conditions and a healthier environment for the surrounding area by developing the site in a responsible manner.

Goal 1 of the EU Element promotes the fostering of a dynamic local economy that provides and create employment opportunities for all residents in the City while Goal 3 of the EU promotes a business-friendly environment where businesses thrive and build on Santa Ana's strengths and opportunities. The proposed project will support Goals 1 and 3 of the EU and will help the applicant to enhance their business offerings and compete with nearby service stations that offer similar services. Moreover, by working on an improved site design with the applicant, staff ensured that that project provided a high level of community investment for residents, workers, and visitors in the area.

Goal 4 of the M Element coordinates transportation planning efforts with land use and design strategies that encourage sustainable development and achieve broader community goals. Goal 1 of the CN Element supports the protection of air resources, improve regional and local air quality, and

minimize the impacts of climate change. Goal 2 of the S Element supports the protection of residents and environmental resources from contaminated hazardous material sites and minimize risks associated with the use, production, storage, transport, and disposal of hazardous materials. The proposed project will support Goal 4 of the M Element, Goal 1 of the CN Element, and Goal 2 of the S Element by utilizing land use, design, and sustainable strategies to protect environmental resources and residents. The proposed site configuration of the site contributes to protection of local air quality and minimizes environmental impacts associated with the business.

Section 2. Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15303 of the CEQA Guidelines (Class 3 – New Construction or Conversion of Small Structures). This exemption applies to the construction of small structures, which in urbanized areas applies to up to four commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use if not involving the use of significant amounts of hazardous substances, where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive. The proposed structures total less than 10,000 square feet and will be served by all necessary utilities. The project site's location does not include any environmental features indicating that it is sensitive. As such, a Notice of Exemption, Environmental Review No. 2017-83, will be filed for this project.

Section 3. CUP No. 2023-03 shall not be effective until the City of Santa Ana Planning Commission reviews and approves CUP-2019-41-MOD-1. If said approvals are held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, or otherwise denied, then this conditional use permit shall be null and void and have no further force and effect.

Section 4. The Applicant shall indemnify, protect, defend and hold the City and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers, and instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, referendum, and other proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and such other procedures), judgments, orders, and decisions (collectively "Actions"), brought against the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the project, whether such Actions are brought under the Ralph M. Brown Act, California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Code of Civil Procedure sections 1085 or 1094.5, or any other federal, state or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to

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approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that Applicant shall reimburse the City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the Applicant of any Action brought and City shall cooperate with Applicant in the defense of the Action.

Section 5. The Planning Commission of the City of Santa Ana, after conducting the public hearing, hereby approves Conditional Use Permit No. 2023-03 as conditioned in Exhibit A, attached hereto and incorporated as though fully set forth herein for the project located at 2230 North Tustin Avenue. This decision is based upon the evidence submitted at the above said hearing, which includes, but is not limited to: the Request for Planning Commission Action dated June 26, 2023, and exhibits attached thereto; and the public testimony, written and oral, all of which are incorporated herein by this reference.

ADOPTED this 26th day of June, 2023 by the following vote.

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTENTIONS: Commissioners:

Bao Pham
Chairperson

APPROVED AS TO FORM:
Sonia R. Carvalho, City Attorney

By: John M. Funk
John M. Funk
Chief Assistant City Attorney

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, Nuvia Ocampo, Recording Secretary, do hereby attest to and certify the attached Resolution No. 2023-XXX to be the original resolution adopted by the Planning Commission of the City of Santa Ana on June 26, 2023.

Date: _____

Nuvia Ocampo
Recording Secretary
City of Santa Ana

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EXHIBIT A

Conditions of Approval for Conditional Use Permit No. 2023-03

Conditional Use Permit No. 2023-03 for a noxious use is approved subject to compliance, to the reasonable satisfaction of the Planning Manager, with applicable sections of the Santa Ana Municipal Code, the California Administrative Code, the California Building Standards Code, and all other applicable regulations.

The Applicant must remain in compliance with all conditions listed below throughout the life of the conditional use permit. Failure to comply with each and every condition may result in the revocation of the conditional use permit.

1. All proposed site improvements must conform to the Development Project Review (DP No. 2021-29) and the staff report exhibits.
2. Any amendment to this conditional use permit must be submitted to the Planning Division for review. At that time, staff will determine if administrative relief is available or the conditional use permit must be amended.
3. Prior to the issuance of a building permit, a landscape and irrigation plan shall be submitted for review and approval. The landscape plan shall conform to the commercial landscape standards, Citywide Design Guidelines and the City's Water Efficient Landscape Ordinance. The landscape plans shall note construction of a minimum seven (7) foot tall perimeter wall along the west and southern property lines, except where prohibited by driveways and required landscape setbacks, and shall be coated with anti-graffiti coating. The landscape plan shall include the installation of vines throughout the perimeter walls and portions of the main building's exterior with solid voids and no fenestrations.
4. Prior to the issuance of a certificate of occupancy, signs must be installed at both driveway exits to indicate "Right Turn Only".
5. Prior to issuance of certificate of occupancy, signs shall be installed, following separate Planning Division review and approval, stating that truck drivers shall limit idling of diesel-powered vehicles to less than five minutes in accordance with Title 13 – Section 2485 of the California Code of Regulations.
6. The hours of operation for the convenience store and service station, including fuel pumps, shall be limited to between 5:00 a.m. and 12:00 a.m. (midnight), seven days per week, unless extended by approval of a separate conditional use permit.
7. Deliveries of goods and services related to items sold inside the convenience store shall not occur between 10:00 p.m. and 7:00 a.m., with fuel deliveries limited to the hours between 6:00 p.m. and 10:00 p.m., daily.

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8. The air/water machine must provide an automatic shut-off component to cease operation when the service station, including the convenience store and fuel pumps, is not in operation.
9. The location of the air/water station shall be placed in an area not prominent to the street and shall be screened to the furthest extent possible.
10. The Applicant shall be responsible for maintaining the premises free of graffiti. All graffiti shall be removed within 24 hours of occurrence.
11. The cash register must be visible from the street at all times and shall not be obstructed at any time by temporary or permanent signage.
12. Window displays and racks must be kept at a maximum height of three (3) feet including merchandise and cannot obstruct the cashier's view to the outside.
13. A timed-access cash controller or a money drop safe capable of easily providing the cashier the ability to quickly deposit money into it must be installed.
14. A silent armed robbery alarm shall be installed prior to issuance of a certificate of occupancy.
15. There shall be no coin-operated games maintained on the premises at any time.
16. No pay telephones shall be located on the premises.
17. "No Loitering/Trespass" signs/placards shall be posted in the parking lot area. The posted signs must conform to Penal Code Section 602.
18. The Applicant shall provide a Closed Circuit Television System approved by the Police Department and capable of viewing and recording events inside the premises with a resolution which will clearly identify individuals for later identification.
19. Clearly distinguishable height markers shall be installed on the inside door jamb of all doors used by the public to access the store. Horizontal marks, one-inch wide by three-inches long, in different colors, and in a contrasting color to the background, shall be placed every six inches beginning at five feet and ending at six feet six inches.
20. To minimize light intrusion, the use of exterior lighting shall be shielded and/or directed away from adjacent properties.
21. The utilization of outdoor speakers or similar devices onsite are prohibited.

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22. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The Applicant and/or business owner shall institute appropriate security and operational measures necessary to comply with this requirement.
23. At all times, the contact information for a responsible party such as an onsite manager or property manager shall be posted in a prominent location. The minimum information in the posting shall include the individual's name, title, phone number, and email address, to report any onsite issues 24 hours per day, seven days per week.
24. A copy of the conditions of approval shall be kept on premises and presented to any authorized City official upon request.
25. The sale of alcoholic beverages shall be prohibited, unless extended by approval of a separate conditional use permit.
26. The outdoor storage or display of boxes, equipment, materials, merchandise, and other similar items shall be prohibited.
27. The outdoor storage, sale, or display of natural or propane gas tanks shall be prohibited.
28. The installation of temporary mechanical equipment, tarps, or similar structures shall be reviewed by the Planning Division.
29. The performance of vehicle maintenance such as but not limited to; replacement of belts, hoses, shock absorbers, oil and air filters, chassis lubrication, air conditioning servicing, wheel alignments, replacement of brake pads, and engine tune-ups or other minor repairs shall be prohibited.
30. Truck drivers shall limit idling of diesel-powered vehicles to less than five minutes in accordance with Title 13 – Section 2485 of the California Code of Regulations.
31. To the extent feasible, the applicant shall install a vapor processor to manage the pressure of the vapor in a gasoline storage tank to prevent overpressure issues and reduce breathing emissions from the pressure/vent valve. The vapor processors shall be certified by the California Air Resources Board (CARB).
32. To the extent feasible, the applicant shall utilize cleanest possible equipment during construction (e.g., all construction equipment must meet or exceed CARB-certification standards).
33. The applicant shall be required to conduct periodic reviews of operations to identify opportunities to upgrade or phase out older equipment.

34. A Property Maintenance Agreement must be recorded against the property prior to issuance of a certificate of occupancy. The agreement will be subject to review and applicability by the Planning and Building Agency, the Community Development Agency, the Public Works Agency, and the City Attorney to ensure that the property and all improvements located thereupon are properly maintained, Developer (and the owner of the property upon which the authorized use and/or authorized improvements are located if different from the Applicant) shall execute a maintenance agreement with the City of Santa Ana which shall be recorded against the property and which shall be in a form reasonably satisfactory to the City Attorney. The maintenance agreement shall contain covenants, conditions and restrictions relating to the following:

(a) Compliance with operational conditions applicable during any period(s) of construction or major repair (e.g., proper screening and securing of the construction site; implementation of proper erosion control, dust control and noise mitigation measure; adherence to approved project phasing etc.).

(b) Compliance with ongoing operational conditions, requirements and restrictions, as applicable (including but not limited to hours of operation, security requirements, the proper storage and disposal of trash and debris, enforcement of the parking management plan, and/or restrictions on certain uses.

(c) Ongoing compliance with approved design and construction parameters, signage parameters and restrictions as well as landscape designs, as applicable.

(d) Ongoing maintenance, repair and upkeep of the property and all improvements located thereupon (including but not limited to controls on the proliferation of trash and debris about the property; the proper and timely removal of graffiti; the timely maintenance, repair and upkeep of damaged, vandalized and/or weathered buildings, structures and/or improvements; the timely maintenance, repair and upkeep of exterior paint, parking striping, lighting and irrigation fixtures, walls and fencing, publicly accessible bathrooms and bathroom fixtures, landscaping and related landscape improvements and the like, as applicable).

(e) If Developer and the owner of the property are different (e.g., if the Applicant is a tenant or licensee of the property or any portion thereof), both the Applicant and the owner of the property shall be signatories to the maintenance agreement and both shall be jointly and severally liable for compliance with its terms.

(f) The maintenance agreement shall further provide that any party responsible for complying with its terms shall not assign its ownership interest in the property or any interest in any lease,

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sublease, license or sublicense, unless the prospective assignee agrees in writing to assume all of the duties, obligations and responsibilities set forth under the maintenance agreement.

(g) The maintenance agreement shall contain provisions relating to the enforcement of its conditions by the City and shall also contain provisions authorizing the City to recover costs and expenses which the City may incur arising out of any enforcement and/or remediation efforts which the City may undertake in order to cure any deficiency in maintenance, repair or upkeep or to enforce any restrictions or conditions upon the use of the property. The maintenance agreement shall further provide that any unreimbursed costs and/or expenses incurred by the City to cure a deficiency in maintenance or to enforce use restrictions shall become a lien upon the property in an amount equivalent to the actual costs and/or expense incurred by the City.

(h) The execution and recordation of the maintenance agreement shall be a condition precedent to the issuance of final approval for any construction permit related to this entitlement.

**Conditional Use Permit No. 2019-41-MOD-1 & Conditional Use Permit No. 2023-03
2230 North Tustin Avenue**

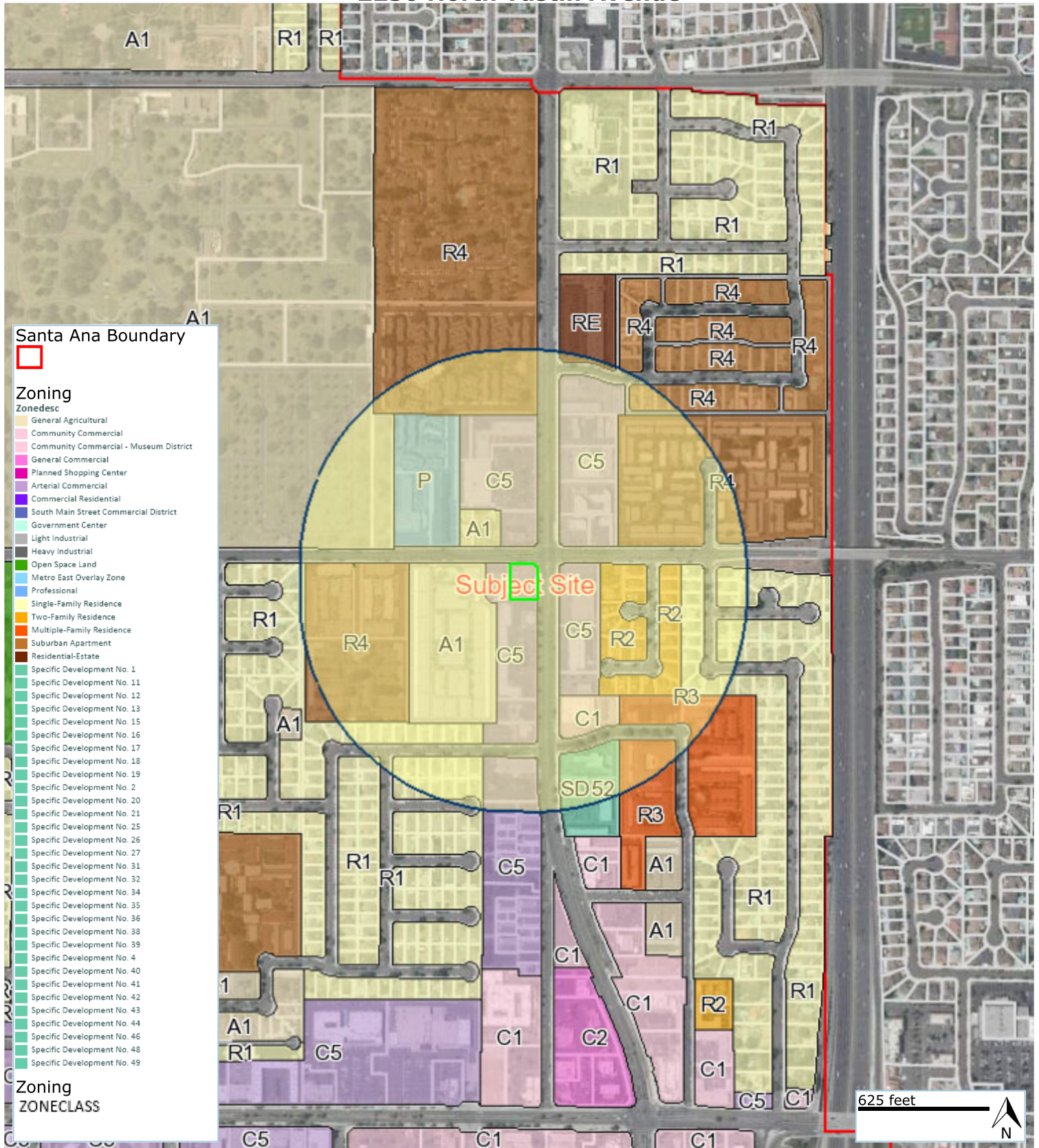


Exhibit 3 - Vicinity Zoning and Aerial View



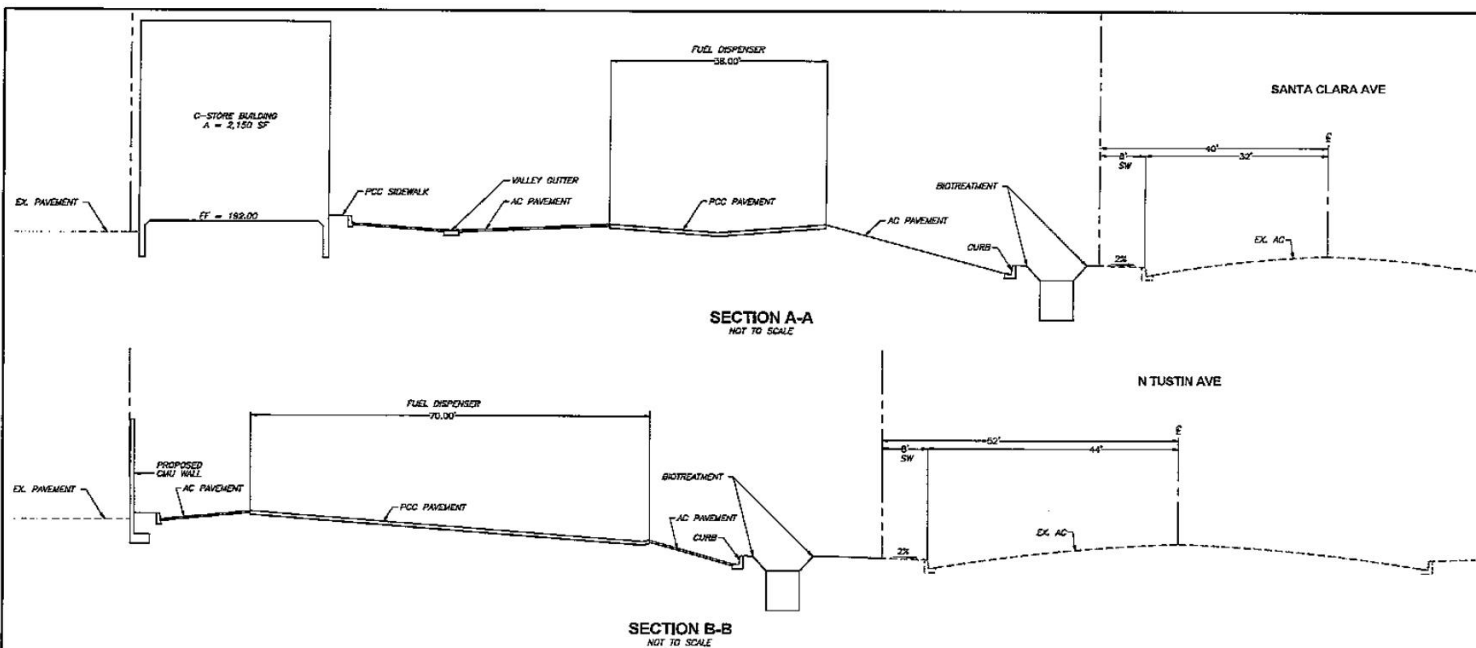
6/26/2023

Planning Commission

1 – 32

CUP No. 2019-41-MOD-1 and CUP No. 2023-03 – New Service Station
2230 North Tustin Avenue





GENERAL SPECIFICATIONS:

1. THE STAMPED SET OF PLAN SHALL BE ON THE JOB SITE AT ALL TIMES.
2. NO WORK SHALL BE STARTED IN OR ABOUT A GROING PROJECT WITHOUT FIRST NOTIFYING THE GROING INSPECTOR.
3. OWNER SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMP TO CONTROL DUST CAUSED BY GROING AND CONSTRUCTION. OWNER SHALL AT ALL TIMES PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
4. WEEDING EQUIPMENT SHALL BE KEPT IN GOOD OPERATING CONDITION AND MAINTAINED AS REQUIRED BY LAW.
5. THE FILL MATERIAL IN EACH TRUCKLOAD SHALL BE KEPT LOW ENOUGH TO PREVENT SPILLAGE AND SHALL BE SATISFACTORILY WET DOWN TO PREVENT DUST.
6. NO PERSON SHALL, WHEN HAULING ANY EARTH, SAND, GRAVEL, ROCK, STONE, DEBRIS, PAVEMENT OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE, ALLOW SUCH MATERIAL TO FLOW OR DRILL OVER OR UPON THE PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE OR ADJACENT PRIVATE PROPERTY.
7. NO PERSON SHALL, WHEN CHUCKING, COMPACTING, HAULING OR MOVING EARTH, SAND, GRAVEL, ROCK, STONE, DEBRIS, OR ANY OTHER SIMILAR SUBSTANCE, CHASE, ALLOW OR PERMIT SUCH MATERIAL TO DRIP, BE DEPOSITED, OR FALL FROM THE BODY, TRAIL, OR WHEELS OF ANY VEHICLE, SO USED UPON ANY PUBLIC STREET OR ALLEY WITHOUT IMMEDIATELY AND PERMANENTLY REMEDYING THE SAME VIOLATION.
8. LOOSE MATERIAL SHALL NOT EXCEED 3" IN DEPTH ON A GRADED SURFACE.
9. ALL CURBS AND FILL MATERIAL SHALL BE REMOVED FROM THE SITE.
10. ALL LOOSE MATERIAL SHALL BE REMOVED OR COMPACTED PER APPROVED PLAN.
11. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GROING OPERATIONS.
12. TEMPORARY EROSION CONTROL SHALL BE INSTALLED BETWEEN NOVEMBER 1ST AND APRIL 15TH.
13. THE CONTRACTOR SHALL DESIGN AND PAY FOR ALL REQUIRED ON-SITE AND OFF-SITE FLOODING BEFORE STARTING WORK.
14. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS PRIOR TO BEGINNING THE WORK.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION AND THE ARCHITECT/ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
16. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR LOCATION OF ALL IMPROVEMENTS AND DETAIL. DETAIL REFERENCES NOT SHOWN ON THE GROUND PLAN.
17. EARTHWORK OPERATIONS SHALL BE COORDINATED WITH THE STRUCTURAL SUPPORT OF FOUNDATIONS, SLABS, WALLS, RAFTERS, AND OTHER STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND/OR REPAIR AT HIS OWN RISK ALL PROPERTY DAMAGED DURING CONSTRUCTION AND IT SHALL BE CORRECTED PRIOR TO FINAL APPROVAL OF THE BUILDING CONSTRUCTION.
18. NO ROCKS OR LIMBS WITH GREATER THAN 3" INCH DIAMETER SHALL BE PLACED IN THE FILL UNLESS SUCH PLACEMENT IS APPROVED BY THE SOILS ENGINEER AND THE GROING INSPECTOR.
19. ALL GROING DISTURBED MUST HAVE DRAINAGE SWALES, DITCHES AND OTHER DRAINAGE DEVICES IN PLACE AT THE ROUGH GROING STAGE.
20. ALL JOIN LINES SHALL BE TO EXISTING CONVEYANCE

21. ALL LINE AND GROING SAVING FOR THE PROJECT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR OR A REGISTERED ENGINEER OF THE STATE OF CALIFORNIA WHO IS PERMITTED BY LAW TO PRACTICE LAND SURVEYING.
22. FINISH GROING GRADES SHALL BE SET AT 25 FOOT INTERVALS FOR ALL CONCRETE GROING FLATERS. IF ALL GROINGERS SHALL BE FLOOD TESTED AND NO FLOODING WILL BE ALLOWED.
23. PITS AT ROUGH GROING SHALL HAVE A MINIMUM SLOPE OF 1% FILLING BUILDING FACES SHALL HAVE A MINIMUM SLOPE OF 1% DIRECTED AWAY FROM THE STREET.
24. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE CALIFORNIA BUILDING CODE, CALIFORNIA, CITY OF SANTA ANA MUNICIPAL CODE, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND STANDARDS AS IDENTIFIED ON THE DRAWINGS.
25. ANY CONFLICT IN THESE DRAWINGS, STANDARDS, NOTED WORK, PROJECT REQUIREMENTS, AND/OR OTHER REFERENCED DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER. WHERE CONFLICT EXISTS, THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
26. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THEIR WORK AND THE IMPACT OF THEIR WORK TO THE JOB SITE AND NEIGHBORHOOD, INCLUDING BUT NOT LIMITED TO NOISE, VIBRATION, AND NON-WORKING HOURS.
27. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS REFERENCED ON DRAWINGS AND FOR OBTAINING ALL NECESSARY PERMITS, APPROVED LOCAL ORDINANCES, AND/OR ANY LICENSED CIVIL ENGINEER OR ARCHITECT OF RECORD WRITTEN APPROVAL.
28. STORMWATER GRADE SHALL BE MAINTAINED BETWEEN SPOT ELEVATIONS AND CONTOURS UNLESS OTHERWISE NOTED.
29. CIVIL ENGINEER SHALL BE PROVIDED WITH A MINIMUM OF 6 WORKING DAYS TO RESPOND TO REQUEST FOR INFORMATION (RFI).
30. BEFORE THE START OF CONSTRUCTION CONTRACTOR SHALL VERIFY TOPOGRAPHIC SURVEY AND PLANS DISCREPANCIES SHALL BE BROUGHT TO CIVIL ENGINEER OF RECORD AND OWNER PRIOR TO ANY WORK.

EARTHWORK NOTES:

1. QUANTITIES SHOWN ON SHEET C-1 ARE FOR PERMIT FEE ESTABLISHMENT PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING OR CONTRACT PURPOSES.
2. CONTRACTOR IS REQUIRED TO VERIFY ALL QUANTITIES PRIOR TO COMMENCEMENT OF WORK.
3. NO BUILDING HAS BEEN TAKEN INTO ACCOUNT ON THIS SHEET. ASSUMED 7% SHRINKAGE OF FILL CUT.
4. VALUERS SHOWN DO NOT ADDRESS OVERCROWDING, OR SUBSIDENCE REQUIRED IN CUTTING FILL PRIOR TO THE CURRENT REQUIREMENTS OF THE CITY OF LOS ANGELES.
5. SITE SPOOLS SUCH AS FOUNDATIONS, RETAINING WALLS, STAFF TRENCHING, ETC. ARE NOT ACCOUNTED FOR IN THE WORK VOLUMES.
6. THE EARTHWORK SUMMARY IS PROVIDED AS A COURTESY AND CONFORMANCE TO THE OWNER, AND IS FOR SOILING AND PLAN CHECK PURPOSES ONLY. THE TANGIBLE FIGURES SHOWN ARE APPROXIMATE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS AND FINISH GRADE ELEVATIONS (EARTH). THE CALCULATION MAKES NO PROVISION FOR SETTING OR SUBORDINATION, FOR THIS REASON AND BECAUSE OF VARIABLES SUCH AS COMPACTION, THE VOLUME OF FILL MOVED IN THE FIELD WILL IN ALL UNLIKELY CASES, TO SOME EXTENT, DIFFER FROM THE CALCULATED VOLUME. THE EARTHWORK SUMMARY DOES NOT REDUCE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE FOR HIMSELF THE QUANTITY OF EARTH-MOVING THAT WILL BE REQUIRED TO GRADE THIS PROJECT.



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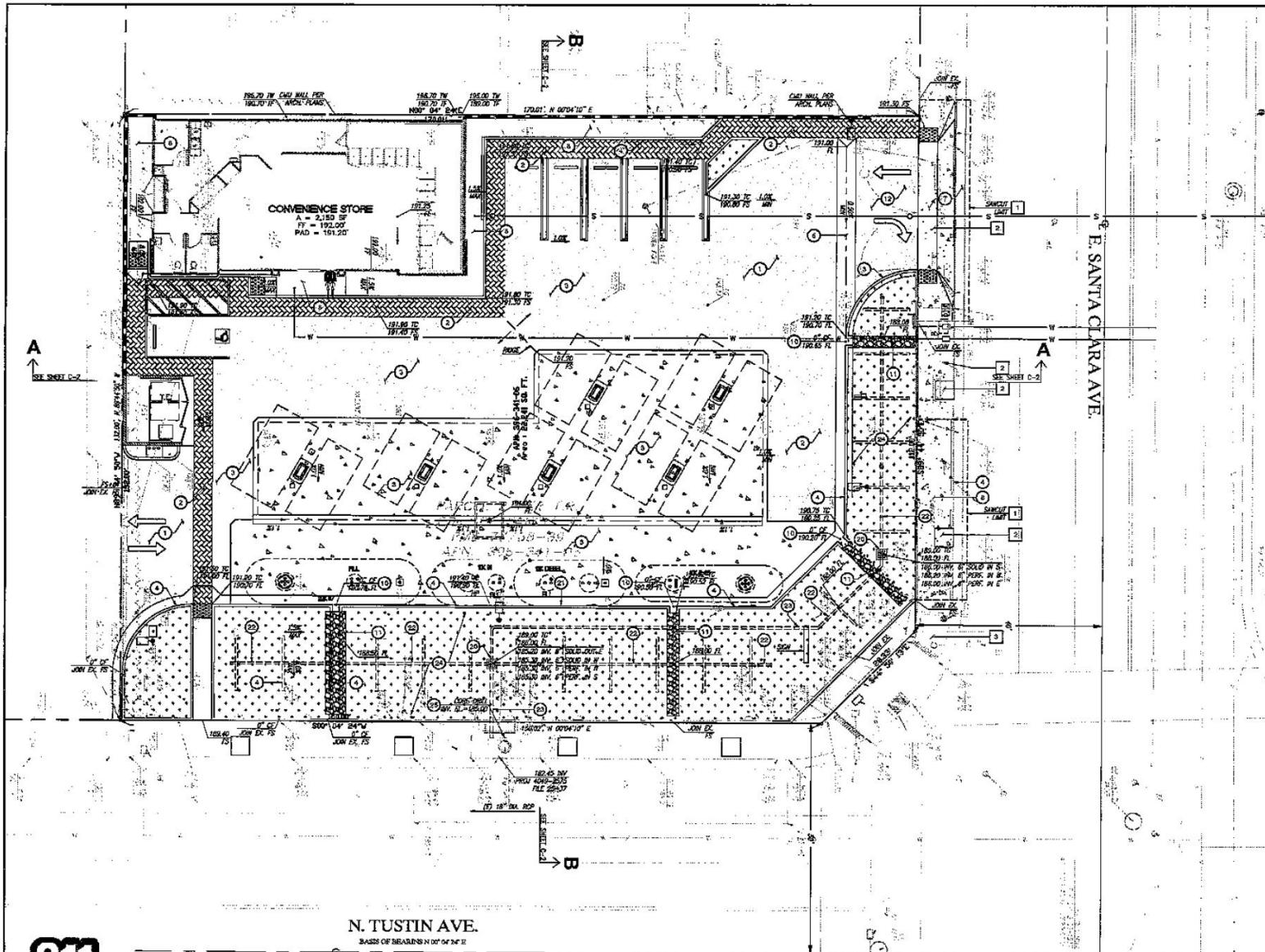
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GRADING CONSTRUCTION NOTES:

1. CONSTRUCT 4" AC OVER 8" CLASS 2 AGGREGATE BASE OVER 12" COMPACTED SUBGRADE COMPACTED TO 95% RELATIVE DENSITY PER ASTM D1557 PER DETAILS 1 & 3 ON SHEET C-8.
2. CONSTRUCT 3" AC OVER 8" CLASS 2 AGGREGATE BASE OVER 12" COMPACTED SUBGRADE COMPACTED TO 95% RELATIVE DENSITY PER ASTM D1557 PER DETAIL 1 ON SHEET C-8.
3. CONSTRUCT 6" PCC OVER 8" CLASS 2 AGGREGATE BASE OVER 12" COMPACTED SUBGRADE COMPACTED TO 95% RELATIVE DENSITY PER ASTM D1557 PER DETAILS 2 & 3 ON SHEET C-8.
4. CONSTRUCT 6" OF A-2-6 CURB AND GUTTER PER CITY STD. 1101 ON SHEET C-8.
5. CONSTRUCT 6" OF CURB PER SPPWC STD. 120-2 ON SHEET C-8.
6. CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL 4 ON SHEET C-8.
7. CONSTRUCT 25" WIDE DRIVEWAY APPROACH CASE 1 PER CITY STD. 1112 ON SHEET C-8.
8. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER CITY STD. 1104 ON SHEET C-8.
9. CONSTRUCT 18" WIDE STEP OUT CONCRETE PER DETAIL 21 ON SHEET C-8.
10. CONSTRUCT 18" WIDE CURB OPENING PER DETAIL 18 & 19 ON SHEET C-8.
11. FURNISH AND INSTALL 3"-4" CLEAN STORE RUPPER.
12. FURNISH AND INSTALL CONCRETE PAVERS PER ARCHITECT PLANS.
13. FURNISH AND INSTALL 750 GALS. HOLDING TANK PER MANUFACTURER'S SPECIFICATIONS. SEE DETAILS ON SHEET C-9.

DRAINAGE CONSTRUCTION NOTES:

14. FURNISH AND INSTALL 18" X 18" PRECAST CONCRETE CATCH BASIN PER MANUFACTURER'S SPECIFICATIONS & DETAILS ON SHEET C-9.
15. FURNISH AND INSTALL 6" SOLID HDPE DRAIN PIPE.
16. FURNISH AND INSTALL 6" PERFORATED HDPE DRAIN PIPE.
17. FURNISH AND INSTALL 6" SOLID HDPE OVERFLOW DRAIN PIPE.
18. CONSTRUCT ROTATABLE BASIN PER DETAILS ON SHEET C-4.
19. CONNECT TO EXISTING AREA DRAIN CASE 1 PER SPPWC STD. 335-2 SHOWN ON SHEET C-9.

DISPOSITION NOTES:

1. SAWCUT.
2. REMOVE & DISPOSE OF OFFSITE.
3. PROTECT IN PLACE.

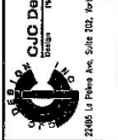


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DRAWN BY: CAD
CHECK BY: LM

ESTIMATED STATION
2200 N. TUSTIN AVE.
SANTA ANA,
CALIFORNIA

PROJECT NAME AND ADDRESS
C.J.C. Design, Inc.
2200 N. TUSTIN AVE.
SANTA ANA, CA 92705
www.cjcdesign.com



Justin Service Station
2200 N. TUSTIN AVE.
SANTA ANA, CA 92705
www.justinservice.com

JUSTIN SERVICE STATION
2200 N. TUSTIN AVE., SANTA ANA, CA

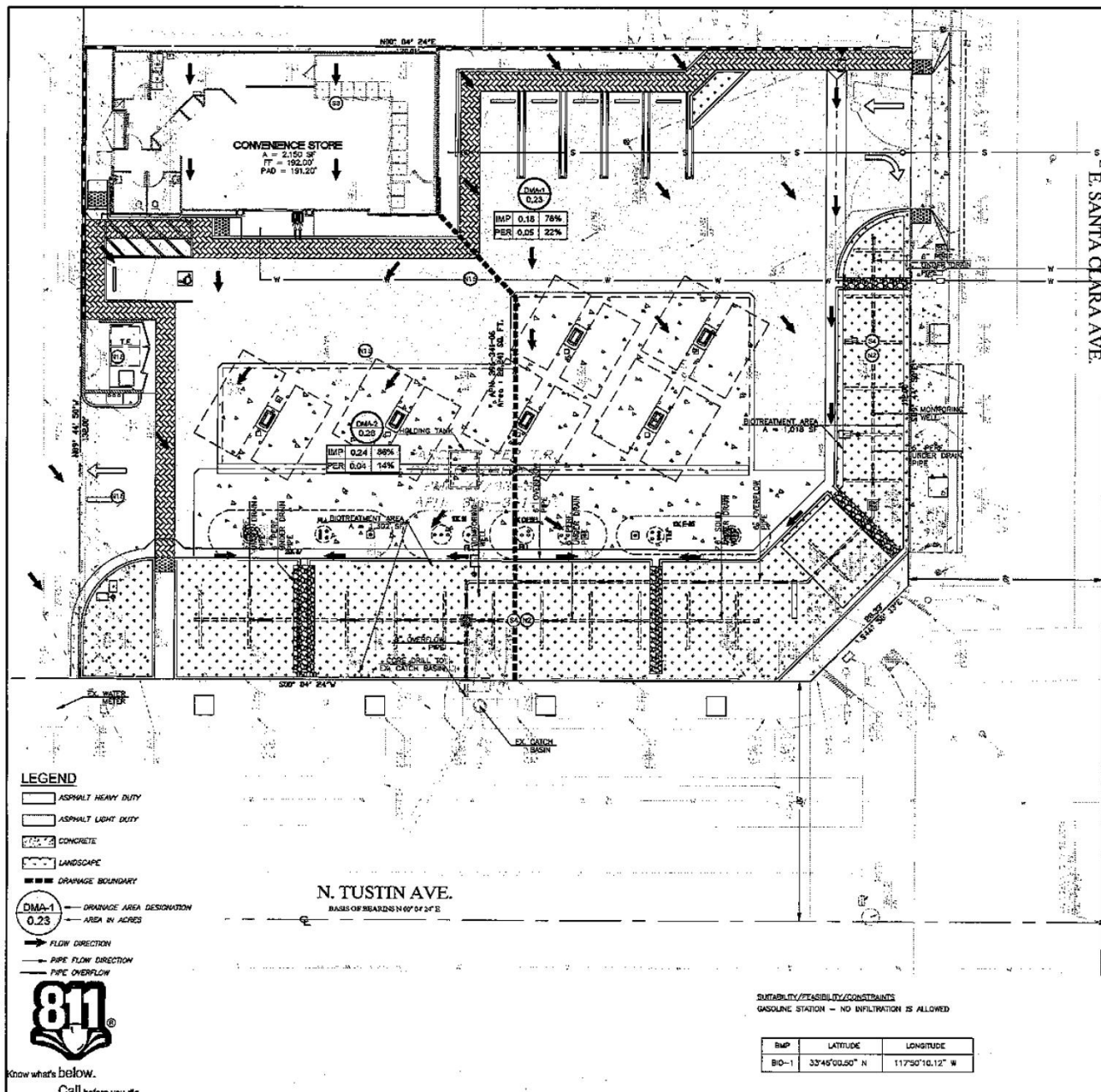
PRECISE GRADING PLAN

D.P. NO.: 2024-29
SHEET NO.

C-3
3 OF 9 SHEET



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BEST MANAGEMENT PRACTICES:

SOURCE CONTROL

- (1) STORM DRAIN SYSTEM STENCIL (SD-13) SEE DETAIL HEREIN.
- (2) TRASH ENCLOSURES (SD-32)
- (3) EFFICIENT IRRIGATION SYSTEM & LANDSCAPE DESIGN, WATER CONSERVATION, SMART CONTROLLERS

NON-STRUCTURAL CONTROL

- (1) STREET SWEEPING PRIVATE STREETS & PARKING LOTS

TREATMENT CONTROLS

- (2) BO-1 - BIORETENTION WITH UNDERDRAINS

WATER QUALITY DESIGN OUTFLOW VOLUME (WQDOV)

DRAINAGE MANAGEMENT AREA (DMA) 1: A = 0.23 ac
 $WQDOV = C \times d \times A \times 43,560 \text{ sf/ac} \times 1/12 \text{ in/in}$
 $C = (0.75 \times \text{imp} + 0.15) \times \text{imp} = 0.79$
 $d = 0.74$

$d = 0.80 \text{ in.}$
 $WQDOV = 0.74 \times 0.80 \times 0.23 \text{ ac} \times 43,560/12$
 $= 485 \text{ cu. ft.}$

DRAINAGE MANAGEMENT AREA (DMA) 2: A = 0.28 ac
 $WQDOV = C \times d \times A \times 43,560 \text{ sf/ac} \times 1/12 \text{ in/in}$
 $C = (0.75 \times \text{imp} + 0.15) \times \text{imp} = 0.96$
 $d = (0.75) \times 0.80 + 0.15$
 $= 0.80$

$d = 0.80 \text{ in.}$
 $WQDOV = 0.80 \times 0.80 \times 0.28 \text{ ac} \times 43,560/12$
 $= 651 \text{ cu. ft.}$

TOTAL WQDOV = 485 + 651 = 1,146 cu. ft.

BIOD INFILTRATING AREA = 1,148 SF

PROVID INFILTRATING AREA = 2,320 SF

BIOD INF. AREA < PROVID INF. AREA, THEREFORE OK

RUNOFF VOLUMES

Table 2: Estimated Storm Runoff Volumes - TP-65

Pre-Development Condition

Tributary Area	DMA-1	DMA-2	Totals
Acres (ac)	0.23	0.28	0.51
24-hr Precipitation Depth (inches) P ₂₄	0.38	0.38	0.38
Weighted CN (TP-65 Curve)	78	78	78
2 year Pre-Dev. Volume (cu ft)	0.97	0.97	0.97

Post-Development Condition

Tributary Area	DMA-1	DMA-2	Totals
Acres (ac)	0.23	0.28	0.51
24-hr Precipitation Depth (inches) P ₂₄	0.38	0.38	0.38
Weighted CN (TP-65 Curve)	78	78	78
2 year Post-Dev. Volume (cu ft)	0.97	0.97	0.97

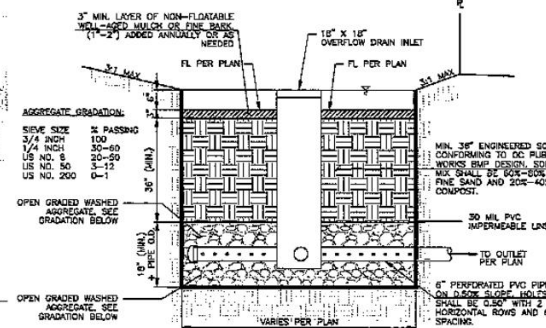
Incoming Volume = $(0.97 - 0.97) \times 1.484$
 $= 1.484 \text{ cu. ft.} > 1.146 \text{ cu. ft. (WQDOV)}$

Storm Infiltrating Area (SIA) = Infiltrating Volume / (Infiltration Rate)
 $= 1.484 \text{ cu. ft.} / (0.38 \times 0.80)$
 $= 1.484 \text{ sq. ft.}$

SIA Required (TP-65) = 1.484 sq. ft. (SIA)
 $= 1.484 \text{ sq. ft.}$

SIA Provided = 1.484 sq. ft.

Therefore, SIA volume is retained onsite.



TYPICAL BIORETENTION WITH UNDERDRAIN DETAIL

NTS

GRAPHIC SCALE

10 0 10 20
 (IN FEET)
 1" = 10'



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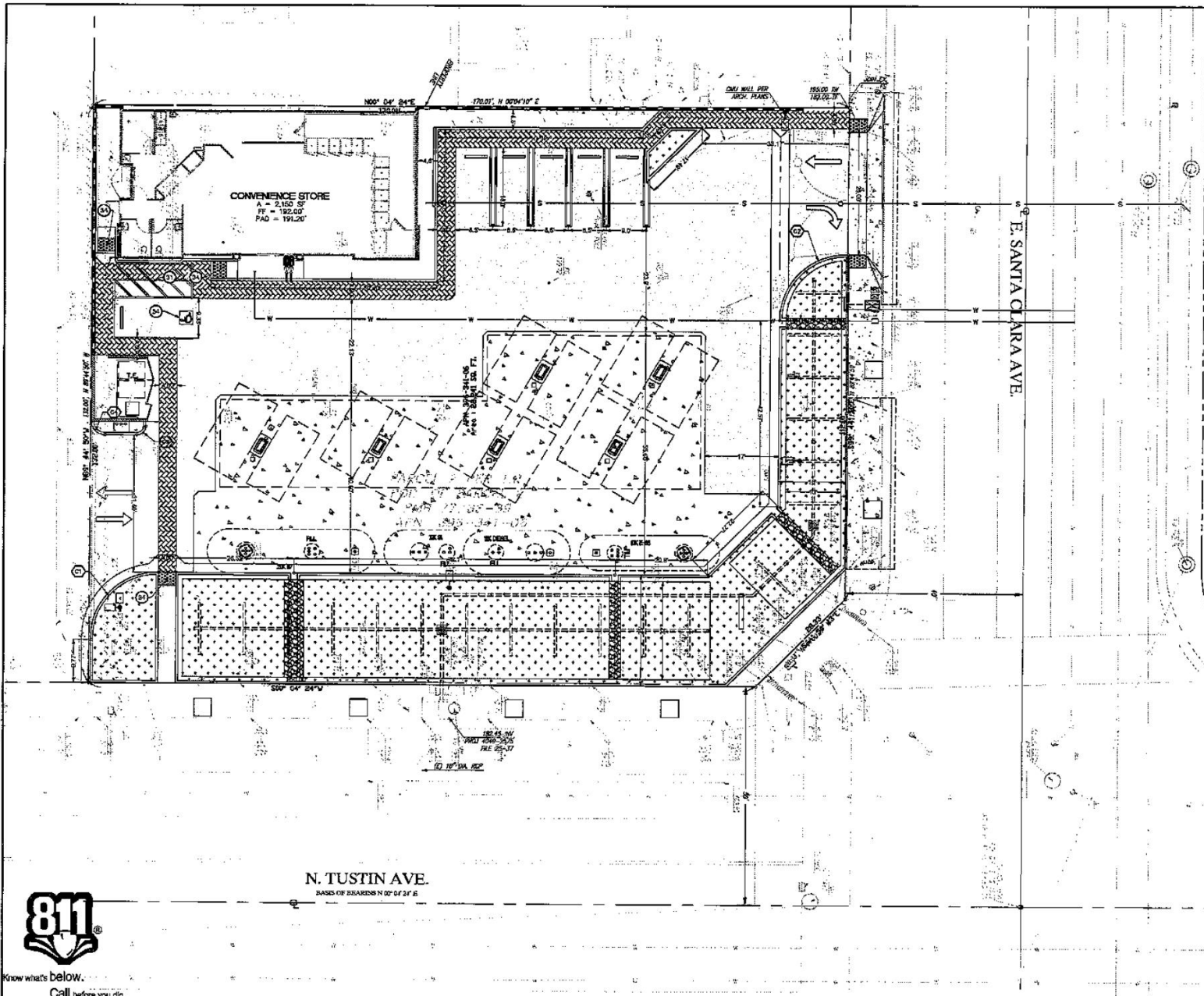
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HORIZONTAL CONTROL, SIGNING & STRIPING NOTES:

1. FURNISH AND STRIPE 4" WIDE PARKING STALLS PER DETAIL 9 ON SHEET C-5.
2. FURNISH AND STRIPE HANDCAP LOGO PER DETAIL 10 ON SHEET C-5.
3. FURNISH AND STRIPE 4" WIDE BLUE BORDER & STRIPES @ 3' O.C.
4. FURNISH AND STRIPE 4" WIDE BLUE PARKING LINE.
5. FURNISH AND INSTALL TRUNCATED DOME.
6. FURNISH AND INSTALL WHEEL STOP PER DETAIL 5 ON SHEET C-5.

CURVE #	LENGTH (FEET)	RADIUS (FEET)	DELTA	TANGENT (FEET)
1	33.54	15.00	89°50'38"	8.90
2	23.83	15.00	87°00'28"	9.00
3	3.14	2.00	90°00'00"	2.00
4	4.71	3.00	90°00'00"	3.00



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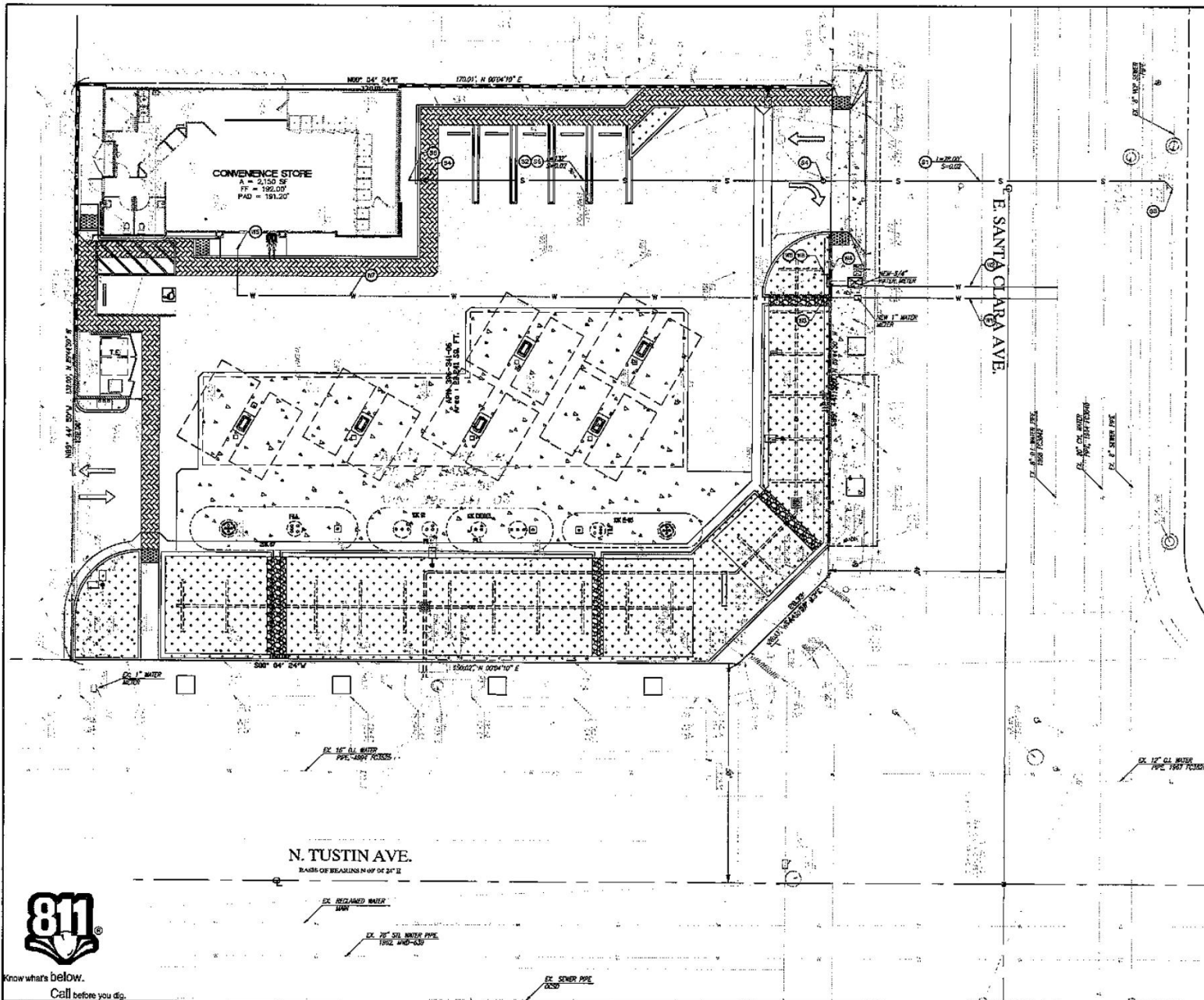
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WATER CONSTRUCTION NOTES:

- (M) - CONSTRUCT 2" WATER SERVICE AND METER BOX CITY STD. #1402.
- (C) - WATER METER TO BE PROVIDED BY CITY FORCES, UPON APPLICATION AND PAYMENT OF FEES.
- (M) - CONSTRUCT 1" WATER SERVICE AND METER BOX CITY STD. #1402.
- (1) - WATER METER TO BE PROVIDED BY CITY FORCES, UPON APPLICATION AND PAYMENT OF FEES.
- * (M) - FURNISH AND INSTALL 2" REDUCED PRESSURE BACKFLOW PREVENTER DEVICE.
- * (M) - FURNISH AND INSTALL 1" REDUCED PRESSURE BACKFLOW PREVENTER DEVICE.
- (M) - CAP END. SEE PLUMBING PLANS FOR CONTINUATION.
- (M) - CAP END. SEE LANDSCAPE PLANS FOR CONTINUATION.
- (M) - FURNISH AND INSTALL 2" COPPER PIPE WATER SERVICE.
- (M) - FURNISH AND INSTALL 1" PVC SCH40 PIPE.
- * CONTACT WATER QUALITY INSPECTOR AT (714) 647-3341 FOR ALL BACKFLOW PREVENTER ASSISTANCE.

SEWER CONSTRUCTION NOTES:

- (M) - FURNISH AND INSTALL 6" PVC SDR35 SEWER LATERAL AND PIPE BEDDING PER CITY STD. 1204 AND 1206.
- (M) - FURNISH AND INSTALL 6" PVC SDR35 ONSITE SEWER LATERAL PER UNIFORM PLUMBING CODE.
- (M) - CONNECT TO EXISTING SEWER LATERAL. CONTRACTOR TO FIELD VERIFY INVERT ELEVATION AND LOCATION OF EXISTING LATERAL.
- (M) - CONSTRUCT 6" SEWER CLEANOUT.
- (M) - CONSTRUCT TRENCH AND BACKFILL PER UNIFORM PLUMBING CODE.
- (M) - PLUG PIPE FOR BUILDING CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION.



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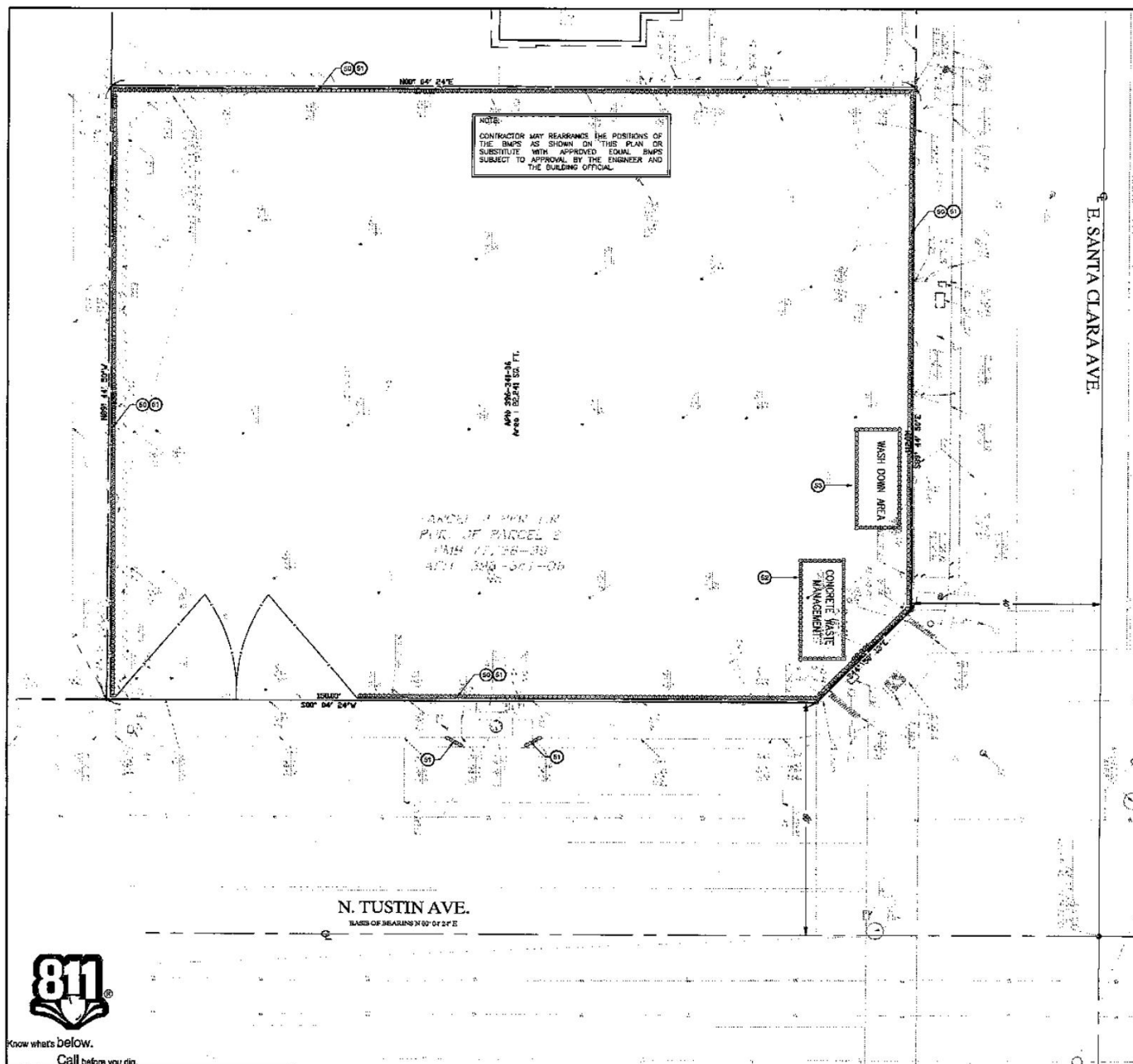
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EROSION CONTROL NOTES:

1. FURNISH AND INSTALL FENCE WITH STRAW MATS.
2. FURNISH AND INSTALL GRAVEL BAGS PER DETAIL 18 ON SHEET C-8.
3. CONSTRUCT CONCRETE WASTE MANAGEMENT AREA PER DETAIL 15 ON SHEET C-8.
4. CONSTRUCT WASH DOWN AREA WITH SIGN PER DETAILS 14 & 15 ON SHEET C-8.

BEST MANAGEMENT PRACTICES:

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 2003, (<http://www.csbmhandbook.com/Construction.asp>) OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY AGENCY INSPECTORS):

SOURCE CONTROL BMP'S

- SD-10 SITE DESIGN & LANDSCAPE PLANNING
- SD-11 NOISE RUNOFF CONTROLS
- SD-12 EFFICIENT IRRIGATION
- SD-13 STORM DRAIN SIGNAGE
- SD-20 PERVIOUS PAVEMENTS
- SD-21 ALTERNATIVE BUILDING MATERIALS
- SD-30 FUELING AREAS
- SD-31 MAINTENANCE BAYS & DOCS
- SD-32 TRASH STORAGE AREAS
- SD-33 VEHICLE WASHING AREAS
- SD-34 OUTDOOR MATERIALS STORAGE AREAS
- SD-35 OUTDOOR WORK AREAS
- SD-36 OUTDOOR PROCESSING AREAS
- SD-41 BUILDING AND GROUND MAINTENANCE
- SD-44 DRAINAGE SYSTEM MAINTENANCE
- SD-72 FOUNTAIN AND POOL MAINTENANCE
- SD-73 LANDSCAPE MAINTENANCE

EROSION CONTROL BMP'S

- EC-1 SCHEDULING
- EC-2 PRESERVATION OF EXISTING VEGETATION
- EC-3 HYDRAULIC MULCH
- EC-4 HYDROSEEDING
- EC-5 SOIL BINDERS
- EC-6 STRAW MULCH
- EC-7 GEOTEXTILES AND MATS
- EC-8 WOOD MULCHING
- EC-9 EARTH DICES AND DRAINAGE SWALES
- EC-10 VELOCITY DISSIPATION DEVICES
- EC-11 SLOPE DRAINS
- EC-12 STREAMBANK STABILIZATION
- EC-13 POLYCRYLAMINE

SEDIMENT CONTROL BMP'S

- SC-1 Silt FENCE
- SC-2 SEDIMENT BASIN
- SC-3 SEDIMENT TRAP
- SC-4 CHECK DAMS
- SC-5 FIBER ROLLS
- SC-6 GRAVEL BAG BERM
- SC-7 STREET SWEEPING AND VACUUMING
- SC-8 SANDBAG BARRIER
- SC-9 STRAW BALE BARRIER
- SC-10 STORM DRAIN INLET PROTECTION
- SC-11 CHEMICAL TREATMENT

TRACKING CONTROL BMP'S

- TR-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- TR-2 STABILIZED CONSTRUCTION ROADWAY
- TR-3 ENTRANCE OR OUTLET TIRE WASH

WIND EROSION CONTROL

- WE-1 WIND EROSION CONTROL

NON-STORMWATER MANAGEMENT BMP'S

- NS-1 WATER CONSERVATION PRACTICES
- NS-2 DOWATERING OPERATIONS
- NS-3 PAVING & GRADING OPERATIONS
- NS-4 TEMPORARY STREAM CROSSING
- NS-5 CLEAR WATER DIVERSION
- NS-6 ILLICIT CONNECTION OR DISCHARGE
- NS-7 POTABLE WATER OR IRRIGATION
- NS-8 VEHICLE AND EQUIPMENT CLEANING
- NS-9 VEHICLE AND EQUIPMENT FUELING
- NS-10 VEHICLE & EQUIPMENT MAINTENANCE
- NS-11 PILE DRIVING OPERATIONS
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- NS-14 MATERIAL OVER WATER
- NS-15 DEMOLITION ADJACENT TO WATER
- NS-16 TEMPORARY BATCH PLANTS

MANUFACTURED BMP'S

- MP-30 WETLAND
- MP-40 MEDIA FILTER
- MP-50 WET VAULT
- MP-51 VORTEX SEPARATOR
- MP-62 DRAIN INLET

WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMP'S

- WM-01 MATERIAL DELIVERY AND STORAGE
- WM-02 MATERIAL USE
- WM-03 STOCKPILE MANAGEMENT
- WM-04 SPILL PREVENTION AND CONTROL
- WM-05 SOLID WASTE MANAGEMENT
- WM-06 HAZARDOUS WASTE MANAGEMENT
- WM-07 CONTAMINATED SOIL MANAGEMENT
- WM-08 CONCRETE WASTE MANAGEMENT
- WM-09 SANITARY OR SEPTIC WASTE MANAGEMENT
- WM-10 LIQUID WASTE MANAGEMENT



DATE SIGNED: 06/26/2023

SEAL

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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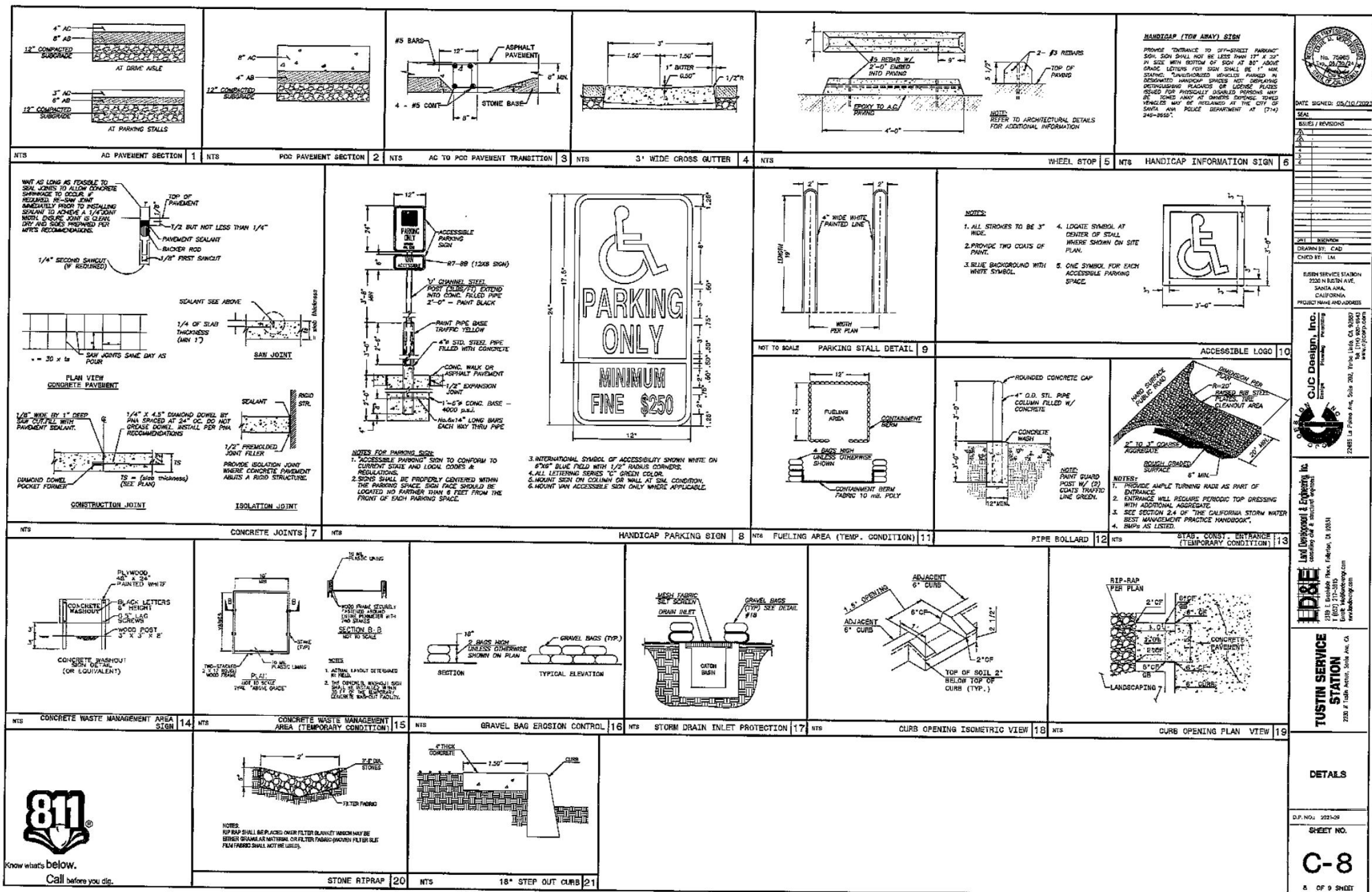
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ISSUES / REVISIONS

DATE SIGNED: 06/26/2023

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
ISSUES / REVISIONS



RECOMMENDED MINIMUM LANDSCAPE MAINTENANCE SCHEDULE											
WEEKLY TASKS											
<ul style="list-style-type: none"> Check all irrigation equipment and adjust/align as required. Repair irrigation equipment with originally specified materials as needed. Inspect all landscape areas for pest/damage. Water all shrub/groundcover areas as needed. Remove landscape debris. Prune and deaden trees/large shrubs. Repair planting well and/or grade around plants to eliminate runoff. Perform corrective pruning to eliminate hazards and damage to plant after 2nd Year of Growth. 											
MINIMUM RECOMMENDED YEARLY MAINTENANCE SCHEDULE											
Months	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov
Adjust Irrigation Schedule	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Inspect Tree Standing	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Plant Dies Values											
Add Mulch (Minimum 2" Layer)											
Pruning/Trimming (Minimum 2" Layer)											
Pruning/Trimming (Minimum 2" Layer)											

MULCH INSTALLATION
After all planting and irrigation are complete, cover all exposed landscape areas with 3" layer of SPES Mulch or Recycled Wood Products (EPP-35-9997), or equal.

NOTE: INSTALL ROOT BARRIERS TO ALL PROPOSED TREES PLANTED WITHIN FIVE(5) FEET ALONG ANY HARDSCAPE SURFACE, NOT AROUND THE TREE ROOT BALL.

NOTE: I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the planting design plan.

 Phil May, Landscape Architect Date 09-21-2022

Linear Style Planting with DeepRoot Barriers

Determine the correct number of plants to be used. Depending upon the actual planting plan and the number of trees involved the length of linear barrier will vary, but as a general rule of thumb take the calculated number of plants of the tree and add 2 feet (2'x2). This will be the number of feet necessary for a linear style planting application. (See chart below).

A. Dig the trench to the depth based upon the particular barrier chosen.

B. Install the barrier. When using DeepRoot Linear Barriers simply put the appropriate number of plants out of the box (they come pre-measured) and separate the plants at the correct length. When installing DeepRoot Linear Barriers in a linear fashion you will need to join the appropriate number of plants together.

C. Meet along the barrier in the trench with the vertical rib facing toward the tree and edge in a straight fashion. It is helpful to place the barrier against the landscape. Use the landscape as a guide and install the barrier to provide a clean smooth fit to the landscape. Be sure to keep the barrier's double top edge at least 1/2" (1/2") above grade to ensure roots do not grow over the top.

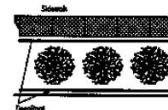
For a simple formula to determine the quantity of plants required for a linear application use:
 Estimated Diameter of the Tree Canopy at Maturity + 2' (81cm) = Length of Barrier per Side.

As Side on one side of the tree may need barrier for root direction as there may be no landscape area where requiring protection.

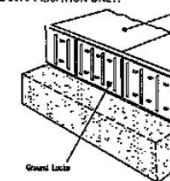
Notes: Linear Barriers (LB 12-2 and LB 18-2) are packaged in 10' (3.0m) sections with pre-drilled 3/4" (1.9cm) holes. Linear Barriers (LB 24-2) are packaged in 10' (3.0m) sections with pre-drilled 3/4" (1.9cm) holes. Linear Barriers (LB 24-2) are packaged in 10' (3.0m) sections with pre-drilled 3/4" (1.9cm) holes.

LB 12-2 80' (24 m) per Corbe
 LB 18-2 120' (36 m) per Corbe
 LB 24-2 160' (48 m) per Corbe

Linear can be separated at any two feet interval.



NOTE: ROOT BARRIERS SHALL BE 12" DEEP MINUS LINEAR APPLICATION ONLY.



All improvements are to be maintained by the property owner.

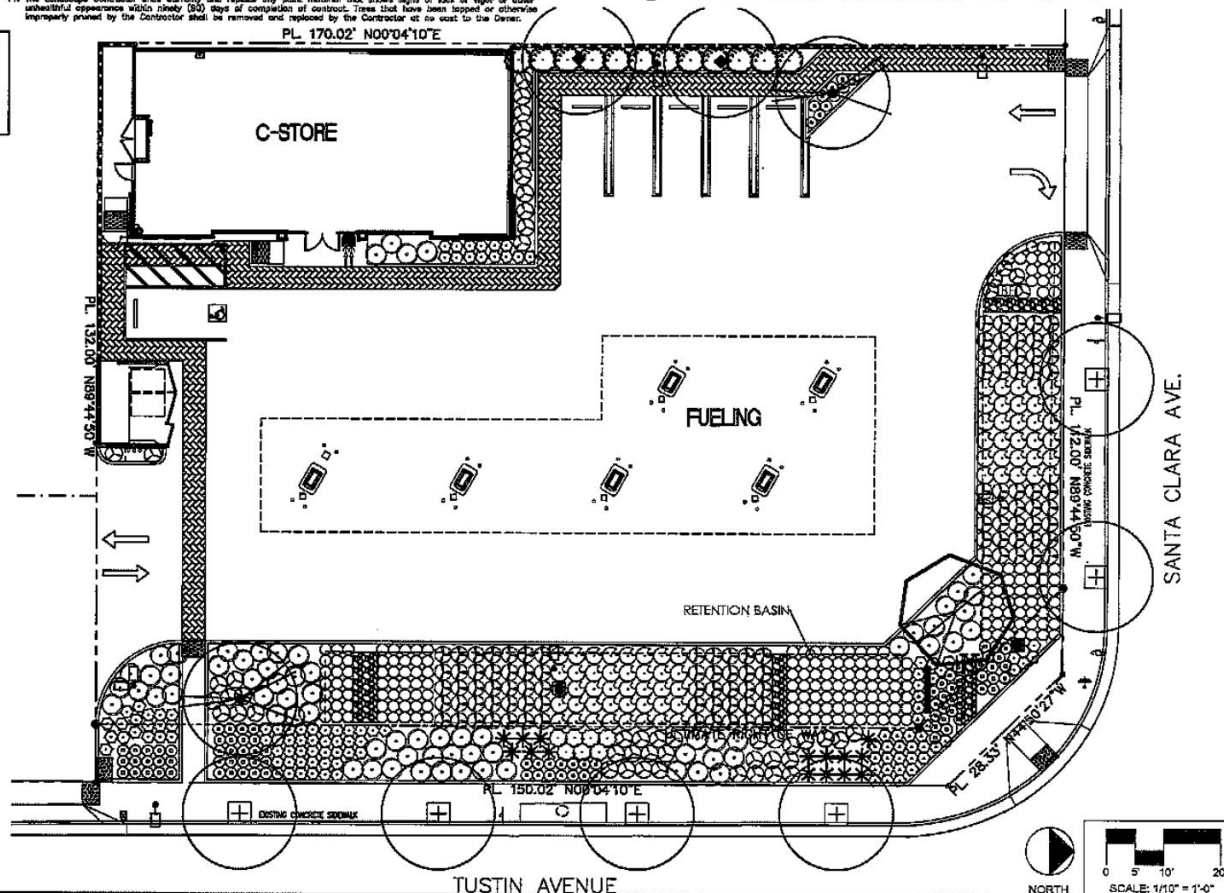
NOTE: SEE SHEET L-4 FOR PLANTING DETAILS

PLANTING NOTES

- Contractor is to review plans, verify site conditions and plant quantities prior to installation. Contractor shall take sole responsibility for any cost incurred due to damage of existing utilities. Plant material quantities are based for the convenience of the Contractor. Actual number of symbols shall have priority over quantity designated. Conflicts between the Owner and these plans or within these plans shall be brought to the attention of the Landscape Architect prior to landscape installation. Any installation(s) from the plans or specifications will require written approval from the Owner and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary permits due to future to give such notification.
- The Contractor shall maintain a qualified supervisor on the site at all times during construction through completion of pick-up work.
- The Contractor shall receive site graded within 0.10 foot of finish grade. Commencement of work indicates Contractor's acceptance of existing grades and conditions. Final grades shall be adjusted by Contractor as directed by Owner's representative. All grading shall be completed prior to commencement of planting operation.
- The Contractor shall furnish and pay for all container grown trees, shrubs, vines, seeded/seeded turf, hydromulches, and finished groundcovers. The Contractor shall also be responsible for and pay for planting, staking, and guarantee of all plant materials. See planting details for stocking/growing requirements.
- The Landscape Architect and/or Owner shall approve plant material placement by Contractor prior to installation.
- Contractor shall follow the soil's report recommendations, and shall uniformly broadcast amendments over planting areas only. Landscape contractor to obtain Agricultural Soil report after all major grading has been completed.
- The planting pits for trees shall be dug below the diameter of the root ball and two inches shallower than the method. Planting pits for shrubs and perennials shall be dug below the original root ball width, and shallow-half times as deep as the rootball. Planting pits for groundcovers shall be dug one-and-a-half times the original root ball size in all directions.
- Provide root barriers to all new trees planted within five(5) feet of paved areas. The root barrier shall be installed per manufacturer specifications. For trees planted in square or circular tree wells, the root barrier shall be installed around entire perimeter edge of the well planter.
- Provide joint setting on all slopes 4:1 or greater.
- The Landscape Contractor shall maintain all planted areas shown on the plans, including (but not limited to) watering, pruning, edging, and weeding, for a period of thirty (30) days after completion of project and acceptance by Owner.
- The Landscape Contractor shall warranty and replace any plant material that shows signs of loss of vigor or other unsatisfactory appearance within thirty (30) days of completion of contract. Trees that have been topped or otherwise improperly pruned by the Contractor shall be removed and replaced by the Contractor at no cost to the Owner.

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUOLS FACTOR	REMARKS
	<i>Lagotisraemia l. 'Tuscanum'</i>	Crope Myrtle	24" box	2	M	Standard trunk
	<i>Lophostemon confertus</i>	Bristle box	24" box	2	M	Standard trunk
	<i>Geijera parvifolia</i>	Australian Willow	24" box	1	M	Standard trunk
	Install 24" box street trees per city standards and approved plans as needed (typ.)					
	<i>Agave attenuata</i>	Foxtail Agave	5 gal	15	L	
	<i>Ligustrum j. 'Texanum'</i>	Texas Privet	5 gal	12	L	
	<i>Salvia g. 'Navajo Bright Red'</i>	Bright Red Autumn Sage	5 gal	7	L	
	<i>Westringia fruticosa 'Smokey'</i>	Dwarf Coastal Rosemary	5 gal	51	L	
	<i>Chodropetalum lectrum</i>	Dope Rush	1 gal	70	L	Perennial planter
	<i>Dianella revoluta 'Little Rev'</i>	Flax Lily	1 gal	24	L	
	<i>Dianella l. 'Variegata'</i>	Variegated Flax Lily	1 gal	84	L	
	<i>Elymus a. 'Canyon Prince'</i>	Canyon Prince Rye Grass	1 gal	135	L	Perennial planter
	<i>Juniper p. 'Blue Dart'</i>	Blue Dart Juniper	1 gal	200	L	Perennial planter
	<i>Sesleria autumnalis</i>	Meadow Grass	1 gal	65	L	
	<i>Verbena purple</i>	Purple Verbena	1 gal	27	L	
	<i>Rosmarinus p. 'Hunt, Carpet'</i>	Hunt Carpet Rosemary	1 gal	70	L	



REVISIONS	BY



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pmay@philmaydesign.com
www.philmaydesign.com



PLANTING PLAN

FARZ INC.
GAS AND MART
2230 N. TUSTIN AVENUE
SANTA ANA, CA 92705

DATE
REVISION
DATE
09-21-2022

L-2
OF 4 SHEETS
JOB NO
22103

1. N/A is the responsibility of the Irrigation Contractor to familiarize himself with all grade differentials, location of walls, retaining walls, structures and utilities. The Contractor shall repair or replace, at no additional cost to the owner, all damaged or missing items. He shall coordinate with the owner and/or utility companies for the location and installation of pipe sleeves and trenches through walls, under roadways and paving, etc.

2. The Contractor shall not utilize lateral line irrigation systems as shown on the drawings when it is evident in the field that the system is not suitable for the site conditions or if different conditions exist that might not have been depicted in the design of the irrigation system. Such conditions or differences must be brought to the attention of the Owner and the Contractor shall be responsible for the design of the system. If no such conditions or differences exist, the Contractor shall assume full responsibility for any necessary alterations to the work.

3. The Contractor shall install, maintain, and pay for any and all irrisegations as required.

4. The Contractor shall be responsible and liable for any anchorage into adjacent property, R.O.W.'s, easements, setbacks or for any other legal property restrictions other marked or unmarked.

5. The irrigation system design is based on a minimum exposure pressure of 40 PSI and a maximum flow demand of 15.0 GPM. The Contractor shall be responsible for determining the actual pressure and flow demand at the actual location of the system indicated on the drawings and the actual pressure required at the irrigation point of connection to the landscape facilities.

6. This notice is dispositive. All pipe valves, etc., shown within paved areas is for design conception only and shall not be utilized in placing areas whenever possible. The Contractor shall locate valves in shrub or grassy areas.

7. Trenching within the depths of large existing trees shall be performed by hand, and with extreme care not to sever roots 1'-1 1/2' in diameter and deeper. Where roots 1 1/2" in diameter and larger are encountered, the Contractor shall be responsible for the removal of such roots. Deepened roots that have been laminated under shall be wrapped in wet burlap and kept moist while the trench is open.

8. All purple lines in piping, lateral line piping, and control wires under paving shall be installed in Purple Stranded 40 PVC sleeves at a minimum depth of 18" sleeves shall be installed below and in place. All lateral lines shall be at a minimum 6" below the surface of the pipe to be installed. Control wire sleeves shall be of sufficient size for the required number of wires under paving.

9. Pipe sizes shall conform to those shown on the drawings. No substitution of smaller pipe shall be permitted, but larger pipe sizes may be approved. All overruns and rejected pipe shall be removed from the site at the time of final rejection.

10. The Contractor shall mark and reject all sprinkler heads, drip tubing, and valves for optimum coverage with minimal overlap. The Contractor shall be responsible for the proper installation, operation, and repair of the system. The Contractor shall assume responsibility of contractor.

11. As Irrigation equipment not otherwise defined or specified shall be installed as per manufacturer's recommendations and specifications.

12. Drip tubing shall be installed in parallel rows (wherever possible) 18" apart on top the final grade (unless stated otherwise) and shall be installed in parallel rows and covered with 3" of compacted granular materials as planting plan. The spacing of adjacent rows staggered. Tubing shall be firmly staked in place with U-staples at 5' on center (24" on ground right corners), in steeply sloped areas, install tubing rows perpendicular to the direction of the slope. Install all tubing in 6" deep trenches. Drip tubing shall be connected to Schedule 40 PVC supply line and exhaust manifolds where indicated on the drawings.

13. As remote control valves, gate valves, flush valves, and pressure relief valves shall be installed in subbase valve boxes as shown on the final plan. The Contractor shall install all remote control valves, gate valves, flush valves, and pressure relief valves for gate valves, "X" for gate valves, "X" for remote control valves, etc. Provide expansion coils at start wire connection in valve boxes.

14. Install all backflow prevention devices and all piping between the point of connection and the backflow prevention in place. Final location of the backflow prevention and automatic controller shall be approved by the Owner.

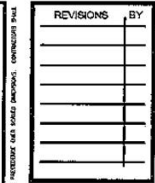
15. 120 VAC electrical power source at remote location shall be provided by Electrician or General Contractor. The Contractor shall install the final wiring to the backflow prevention and the controller.

16. Pressure test. Minimum at 150 PSI per (hr)(3) hours minimum.

17. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARD UNIFORM BUILDING CODE.

WEATHER STATION INSTALL
PER MANUF. SPECS.

IRRIGATION CONTROLLER
MOUNT TO WALL FACE
VERIFY LOCATION W/
GENERAL CONTRACTOR

PHIL MAY
LANDSCAPE
ARCHITECTURE

2532 Wallace Ave.
Fullerton, CA 92631

Phone: (909) 373-1959

Ray@philmaydesign.com
www.philmaydesign.com

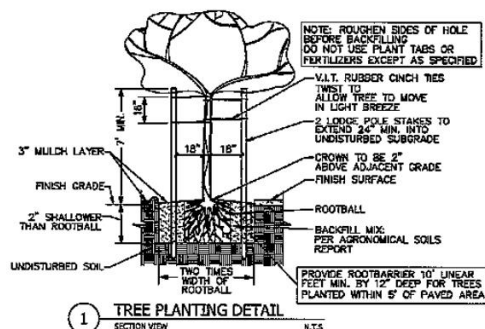
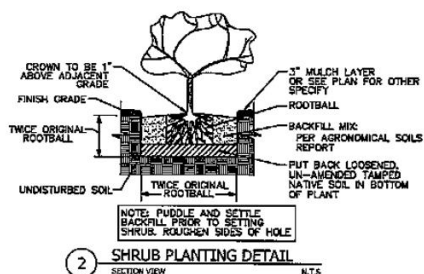
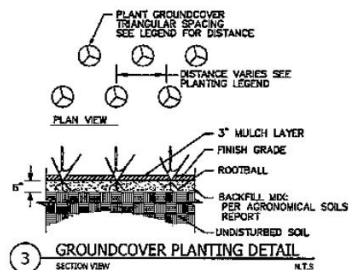


IRRIGATION PLAN

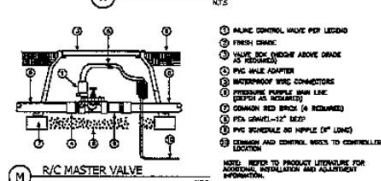
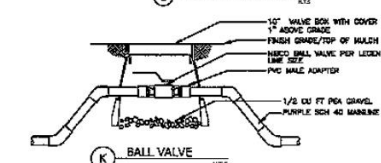
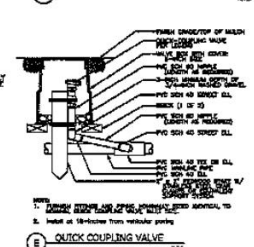
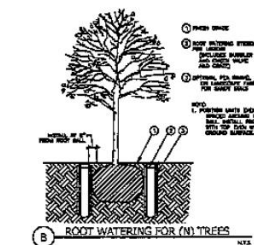
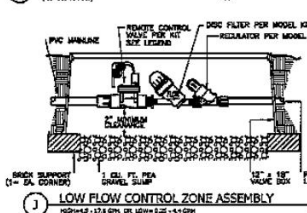
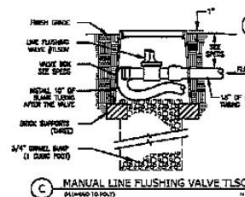
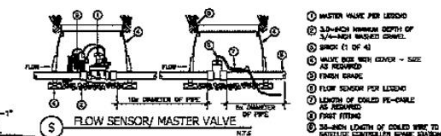
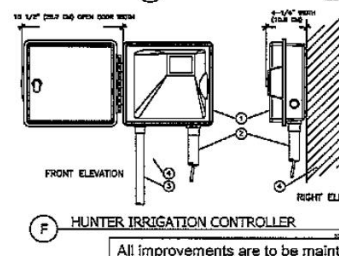
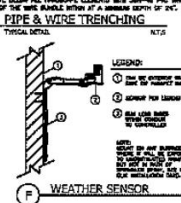
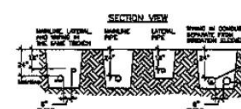
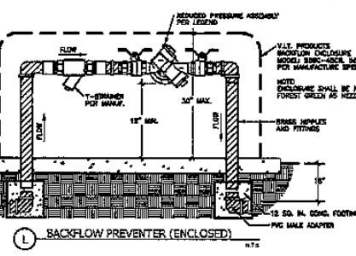
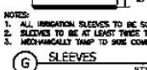
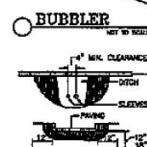
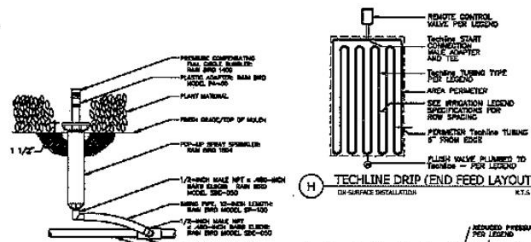
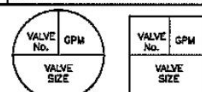
FARZ INC.
GAS AND MART
2230 N. TUSTIN AVENUE
SANTA ANA, CA. 92705

DRAWN
R.S.
CHECKED
R.S.
DATE
09-21-2022

L-3



IRRIGATION SYSTEM VEGETATION LOCATION					
SYMBOL	MFG	MODEL/DESCRIPTION	PATN.	GPM	PSI @ 30'
	RAN/RSD	1400 SERIES BUBBLER MODEL:1402, 12" RISER	FULL	0.3	30"
	NETA/M	MANUAL FLUSH VALVE IN 6" VALVE BOX MODEL: FLSVSB			
	HUNTER	1" QUICK COUPLER, MODEL: HQS-1BC INSTALL IN 6" VALVE BOX			
	HUNTER	WEATHER BOARD CONTROLLER, MODEL: PRO-HC VEGETY LOCUS IN REMOVAL CONTRACTOR'S (C.C.) NOTED: CONTROLLER TO BE INSTALLED ON A DEDICATED PERMIT AND CROWNED PER LOCAL CODES.			
	HUNTER	MOBILE SCOUR-SHEDDING, MOUNTED TO ROOF EAVE WITH MANUFACTURED SPECIES VEGETY LOCUS W/ G.C.			
	NOT APPROVED	PVC SCHEDULE 40 SLOTTED, INTERNAL UNDERGROUND (AT LEAST TWICE LINE SIZE)			
	NOT APPROVED	PVC SCHEDULE 40 LATERAL LINE SIZE AS INDICATED ON PLAN			
	NOT APPROVED	PVC SCHEDULE 40 MAIN LINE, SIZE AS INDICATED ON PLAN NOTE USE CLASS 315 PSI PVC FOR UNITS 2" AND LARGER			
	NETA/M	TREKLINE DR. TLEVS-12 LINE LAYOUT: 9' 10" O.C.		0.8/GP @ 30'	40
	BENTROL	7000 META FORM SERIES AUTOMATIC IRLINE VALVE CONTROL, 2" LINE VALVE MODEL: ULCB2007-7000, FLOW RATE 0.25-0.44 GPM MODEL: ULCB2007-7000, FLOW RATE 4.5-17.0 GPM			
	NETA/M	BRASS BALL VALVE, MODEL: T-FFR00A LINE SIZE: REDUCED PRESSURE ASSEMBLY, MODEL: 87XKL 1.25" SIZE, WITH "Y" TYPE STRAINER BRIDGE, WITH 40 MESH SCREEN, PRODUCT MATERIAL DISCREGARD W/ V.I. PRODUCTS, THIS EQUIPMENT IS JOINTLY AND ENCLOSURE SHALL BE PRINTED FORTHE GREEN.			
	ZLRN WALKERS	BRASS IRIG LINE VALVE, MODEL: BV-151F-P, SIZE= 1.5" NOMINAL O.D. LINE SIZE= 1.5" NOMINAL O.D. LINE SIZE= 1.5" SHALL BE IDENTIFIED AS MASTER VALVE.			
	HUNTER	FLOW-RATE CONTROL, MODEL: 1.5"-IN VALVE BOX INTERNAL-IRIG LINE VALVE OPERATIONS: SET 5-PPS MAXIMUM PER SHUT-OFF AFTER 2-MINUTES			



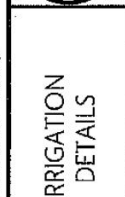
- ① MASTER VALVE PER LEISND
- ② 3.0-INCH MINIMUM DEPTH OF
3/4-INCH MAILED CHANNEL
- ③ SINK (1 OF 4)
- ④ VALVE BOX WITH COVER - SEE
AS REQUIRED
- ⑤ FINISH GRADE
- ⑥ FLOW SENSOR PER LEISND
- ⑦ LENGTH OF COILED PE-CABLE
AS REQUIRED
- ⑧ FIRST FITTING
- ⑨ 36-INCH LENGTH OF COILED WIRE TO
SATISFY CENTER-PIE SINKING, SINKING

-
- ① PRUNE BRANCHES
② SOAK WATERING SYSTEM
AND COVER (INCLUDES MULCHING
AND COVER)
③ OPTIMAL, PORE DRAINAGE
ON LANDSCAPE (IDEAL
FOR SHADY SPOTS)
- NOTE:
1. FURNISH WATER SIGHTLY
BEFORE WATERING (DO NOT
WATER WITH SHADY SPOTS
WITH THE TRUNK)
- WATERING FOR (N) TREES
- NOTE

- [illegible]

- RAJINE CONTROL VALVE PER LEGEND
FRESH CHARGE
VALVE BOX (HEIGHT ABOVE GRADE
AS REQUIRED)
PVC W/ILE ADAPTER
WATERPROOF W/ING CONNECTORS
PRESSURE PURPLE SPAN LINE
CONTROL AND SIGNAL
COMMON RED BRICK (AS REQUIRED)
PEX GEMINI-12" (25')
PVC BUSHINGS AND NIPPLE (8" LONG)
COMMON AND CONTROL LINES TO CONTROLLER
LOCATION
SEE REFER TO PRODUCT LITERATURE FOR
OPTIONAL INSTALLATION AND ADJUSTMENT
CONNECTION.

- LEGEND:**
- 1. FURNISH CONTROLLER (240-4C) PER PLAN
 - 2. CONNECTION CONTROL, 800C IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - 3. ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, 3-INCH RIGID CONTROLLER
 - 4. ADJUSTED SUPPLY TO MOUNT CONTROLLER PER PLAN
- NOTE: MOUNT CONTROLLER LED INDICATOR AT THE LEVEL. CONTROLLER SHALL BE WATERTIGHT TO DISCHARGES 110 AND POWER SOURCE. DISCHARGES TO BE RESULTS ON A STIFFER GROUND AND GROUNDING PER LOCAL CODES.

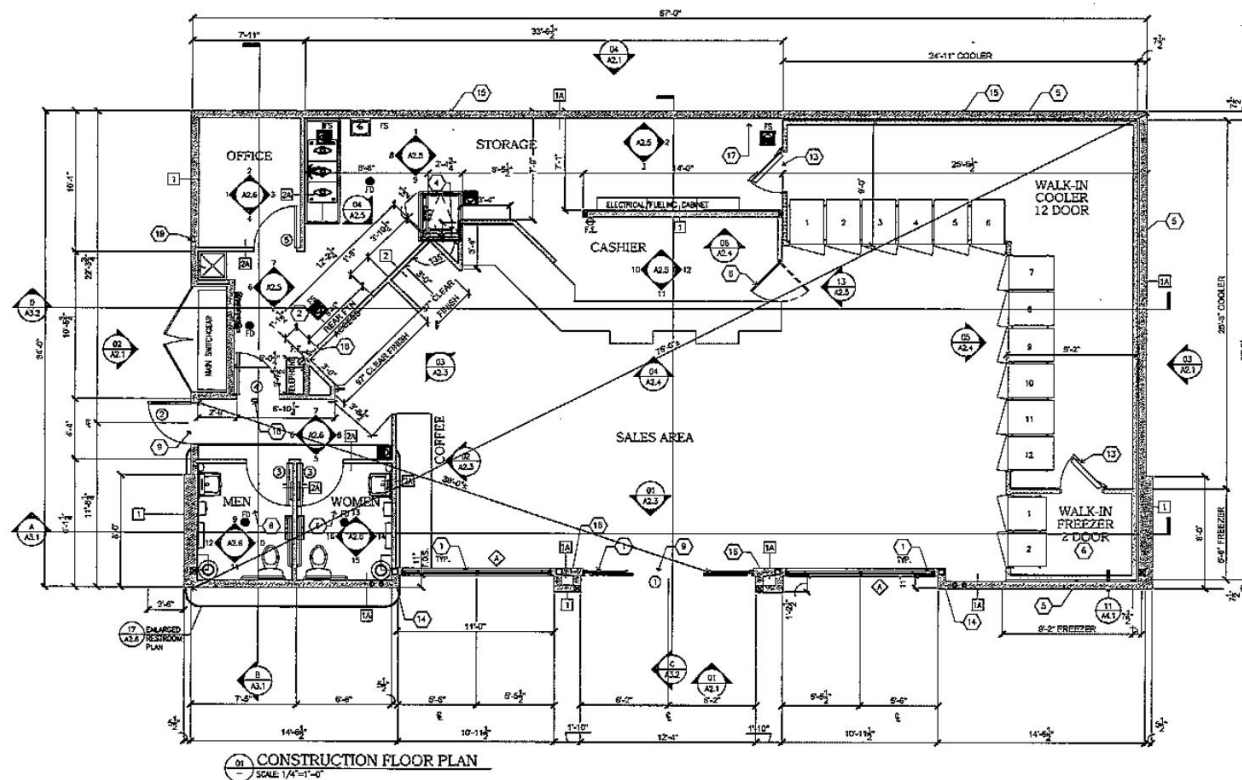
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FARZ INC.
GAS AND MART
2230 N. TUSTIN AVENUE
SANTA ANA, CA. 92705

DRAWN
R.S.
 CHECKED
R.S.
 DATE
09-21-2022

L-4

OF 4 S-SLOTS



CONSTRUCTION FLOOR PLAN
SCALE 1/4"=1'-0"

LANDSCAPE MATERIAL - SEE LANDSCAPE PLAN				
KEY	SYMBOLICAL NAMES	COMMON NAMES	HEIGHT	WIDTH
(*)	HESPERALOE PARVIFLORA	RED YUCCA	3'-6"	3'-6"
(X)	ANACARDIUM CULINARIUM (A. FLAVUS)	KANGAROO RED PINE	5'	2'-3"
(I)	FESTUCA BLANDENSIS (BOTTOM OF BASIN)	FESCUE	14"	10"

ROOM FINISH SCHEDULE

INTERIOR FINISHES	SALES	CASHIER	RESTROOMS	OFFICE	PREP/UTILITY	WALK-IN
FLOOR	GLAZED PORCELAIN TILE REFER TO FINISH CALLOUT ON A1.2.			GLAZED TILE REFER TO FINISH CALLOUT ON A1.2.		CLEAN CONCRETE SLAB REFER TO FINISH CALLOUT ON A1.2.
BASE	CERAMIC SANITARY TOE BASE REFER TO FINISH CALLOUT ON A1.2.		PORCELAIN TOE BASE REFER TO FINISH CALLOUT ON A1.2.	GLAZED SANITARY TOE BASE REFER TO FINISH CALLOUT ON A1.2.		INTERIOR METAL TOE BASE REFER TO FINISH CALLOUT ON A1.2.
WALLS	PAINTED SMOOTH FINISH 5/8" OPSIDEM BOARD. REFER TO CALLOUT ON SHEET A2.3 - A2.6.		WALL TILE OVER 5/8" WATER RESISTANT OPSIDEM BOARD. REFER TO CALLOUT ON A2.6.	PAINTED SMOOTH FINISH 5/8" OPSIDEM BOARD. REFER TO CALLOUT ON A2.6.	WALL TILE AND TRIP DAM 5/8" WATER RESISTANT OPSIDEM BOARD. REFER TO CALLOUT ON A2.6.	SMOOTH-GALVALUM BY COOLER MFG. REFER TO SPECIFICATION ON G1.2.
FASCIA/SOFFIT	FASCIA PAINTED SMOOTH FINISH 1/2" OPSIDEM BOARD. REFER TO CALLOUT ON A2.3 & A2.6. SOFFIT PAINTED SMOOTH FINISH 5/8" WATER RESISTANT OPSIDEM BOARD. REFER TO CALLOUT ON A1.2.		NOT APPLICABLE			
CEILING	PAINTED FIBRODOL AND OPEN WEB RUSSES. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" OPSIDEM BOARD. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" WATER RESISTANT OPSIDEM BOARD. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" OPSIDEM BOARD. REFER TO CALLOUT ON A1.3.	WASHABLE SUSPENDED WHITE CEILING TILE REFER TO CALLOUT ON A1.3.	SMOOTH-GALVALUM BY COOLER MFG. REFER TO CALLOUT ON G1.2 AND A1.3.

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL NOTED DIMENSIONS ARE TO BE USED. PLANS SHALL NOT BE SCALED.
- EXTERIOR WALL ARE 24" INTERIOR WALLS 24" UNLESS NOTED OTHERWISE.
- SEE PLUMBING PLANS FOR DIMENSIONS TO PLUMBING FIXTURES.
- REFER TO SHEET G1.1 FOR EQUIPMENT PLANS.
- REFER TO SHEET G1.1 FOR EQUIPMENT SCHEDULE.
- ALL EQUIPMENT SHALL MEET ACCURATELY REACH REQUIREMENTS.
- PROVIDE PLASTIC CORNER GUARDS AT EDGES BELOW 6'-0".
- ALL COUNTERTOPS SHALL BE 3/4" 3/4" 1/2" WITH A 5'-0" WIDE TRANSPORT AREA AT COUNTER. CONTRACTOR SHALL COORDINATE WORK WITH CABINET INSTALLER FOR CABINET INSTALLATION. CONTRACTOR TO ROUTE UTILITIES THROUGH CABINETS. CONTACT CABINET INSTALLER FOR SEE SPECIFIC CABINET SHEET DIMENSIONS.
- 4" HIGH BACKSPLASH AT ALL COUNTERTOPS THAT TERMINATE AT WALL. BACKSPLASH TO MATCH COUNTERTOP MATERIAL.
- THE CONTRACTOR SHALL ASSIST STORE PERSONNEL BY ASSEMBLING INTERCHANGABLE HOOKS AND SHEDS AS SHOWN ON G1.1.
- ALL EQUIPMENT AND CABINETS SHALL BE FREE OF SWAMP EDGES. CONTACT MANUFACTURER OR PROVIDE FOR SAFETY.
- CONTRACTOR SHALL ROUTE ALL CONDENSATE DRAIN LINES TO FLOOR SINKS.
- CONTRACTOR SHALL INSTALL NEW PARTITIONS/WALLS WITH OPSIDEM WALL BOARD AND FINISHES AS NOTED ON FINISH SCHEDULE AND INTERIOR ELEVATIONS ON SHEET A2.3 THRU A2.6. ALL PARTITIONS/WALLS SHALL BE BRICK FOR LATERAL FORCES. PER BUILDING CODE REQUIREMENTS.
- FLAME SPRINKLER HEADS FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
- PER FIRE EXTINGUISHER (CALIFORNIA) SHALL BE INSTALLED AT SALES COUNTER, BACK ROOM, OFFICE, & FULL CLOSET LOCATIONS IF NOT SHOWN OTHERWISE ON THESE DRAWINGS. VERIFY WITH OWNER FOR DETAILS. CONTACT FIRE DEPARTMENT WITH LOCAL FIRE INSPECTOR.
- CONTRACTOR SHALL ASSIST THE OWNER WITH STORE EQUIPMENT TO PROVIDE A DELAYED SHEDDING AREA, COORDINATE WITH OWNER FOR THE SCHEDULE AND SHIPPING CHARGES, AS APPLICABLE.
- CONTRACTOR SHALL PROVIDE A CLEAN, SMOOTH SURFACE FOR GRAPHICS INSTALLATION.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR FROM CABINET AND EQUIPMENT CLEARANCES PRIOR TO ERECTION. DIMENSIONS SHALL BE DIRECTED TO OWNER.
- WATER HEADERS SHALL BE CAPABLE OF CARRYING MIN. 120' WATER TO ALL SALES.
- ALL FLOOR/WALL TILE AND CEMENT BASE SHALL BE INSTALLED BY THE GENERAL CONTRACTOR ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- ALL DOORS MUST HAVE NO MORE THAN 5 LBS OPERATING FORCE AND MUST HAVE A SWEEP PLACED ON A SCHEDULE TO COMPLY WITH 72" OPEN TO 3" FROM THE LATCH.
- CONTRACTOR SHALL PROVIDE A DOWN LINE OUTLET SHALL BE TO HIGH FLOOR SINK PROVIDED FOR THIS AREA.

KEYED NOTES

- ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.1 & SPECIFICATION.
- INSTALL 1/2" PVC CHASE FOR FOUNDATION DRAIN LINES.
- FLOOR RECEPTIONS, REFER TO ELECTRICAL PLANS.
- ROOF LADDER PER DETAIL 7/A.1.
- 1" MINIMUM AIR GAP AT PRE-INSULATED COOLER/FREEZER.
- DEPRESSED SLAB, REFER TO SLAB PLAN.
- NOT USED
- DOUBLE SHING METAL CASE PROVIDED BY SHOPPO.
- THRESHOLD, REFER TO DOOR SCHEDULE ON SHEET A5.1.
- NOT USED
- NOT USED
- NOT USED
- TRANSITION STRIP
- STEEL COLUMNS UNDER WINDOW SILL FOR STOREFRONT PROTECTION. REFER TO STRUCTURAL PLANS FOR SIZE AND LOCATION.
- ROOF DRAIN AND OVERFLOW, REFER TO CIVIL PLANS FOR CONTINUATION.
- GARAGE DOWNPOUT, REFER TO CIVIL PLANS FOR CONTINUATION.
- FUTURE SOLAR EQUIPMENT
- GOZ SAFETY MONITORING EQUIPMENT, REFER TO SHEETS G1.1 AND G2.1 FOR LOCATION AND SPECIFICATION.
- REDUCED STAINLESS STEEL FILL BOX WITH GROUND-DISCONNECT MALE FILL AND VENT HOSE CONNECTION FOR GOZ TANK.

LEGEND

- WOOD FRAMED WALL
 ■ INSULATED PREFABRICATED COOLER/FREEZER WALL
 1 2x6 STUDS @ 16" o.c.
 2 2x6 STUDS @ 16" o.c. w/ THERMAL INSULATION
 3 2x4 STUDS @ 16" o.c.
 4 2x4 STUDS @ 16" o.c. w/ SOUND BATT INSULATION
 5 DOOR SYMBOL, REFER TO SHEET A5.1 FOR DETAILS
 6 WINDOW SYMBOL, REFER TO SHEET A5.1 FOR DETAILS

OCCUPANCY LOAD

SALES - 1,124 S.F. (1124/60)	= 19
OFFICE - 87 S.F. (87/100)	= 1
RESTROOMS - 112 S.F. (112/60)	= 2
PREP/UTILITY - 369 S.F. (369/200)	= 2
COOLER/FREEZER - 400 S.F. (400/200)	= 2
TOTAL (INT.) 2,091 S.F.	
TOTAL (EXTERIOR) 1,150 S.F.	
	= 24 OCCUPANTS

*OCCUPANT IS A NON OCCUPYABLE SPACE PER SECTION 302 DEFINITION OF AN OCCUPYABLE SPACE.

DATE REQUIRED: 2
DATE PROVIDED: 2

PROJECT: 2230 N. TUSTIN AVENUE
SANTA ANA, CA 92705
FLOOR PLAN

REVISIONS

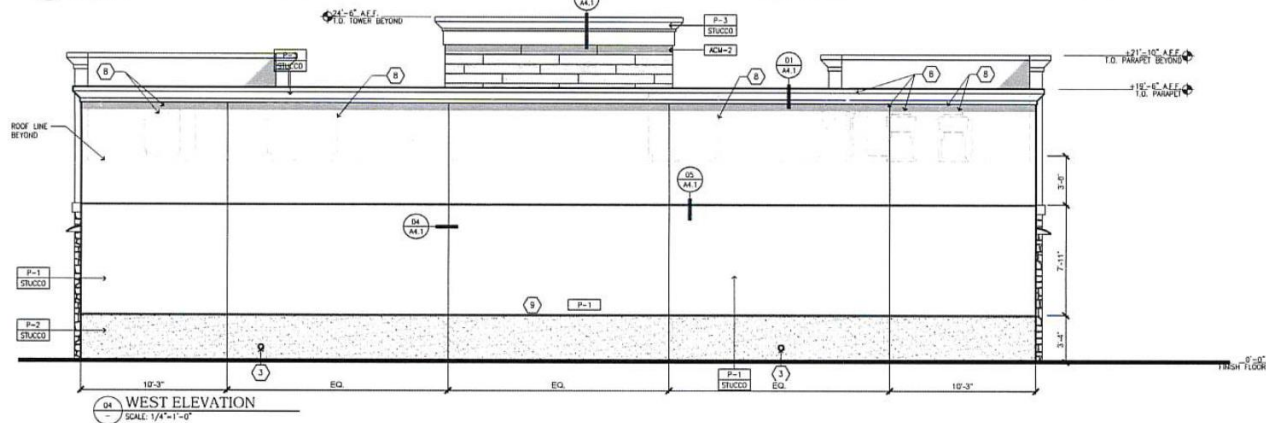
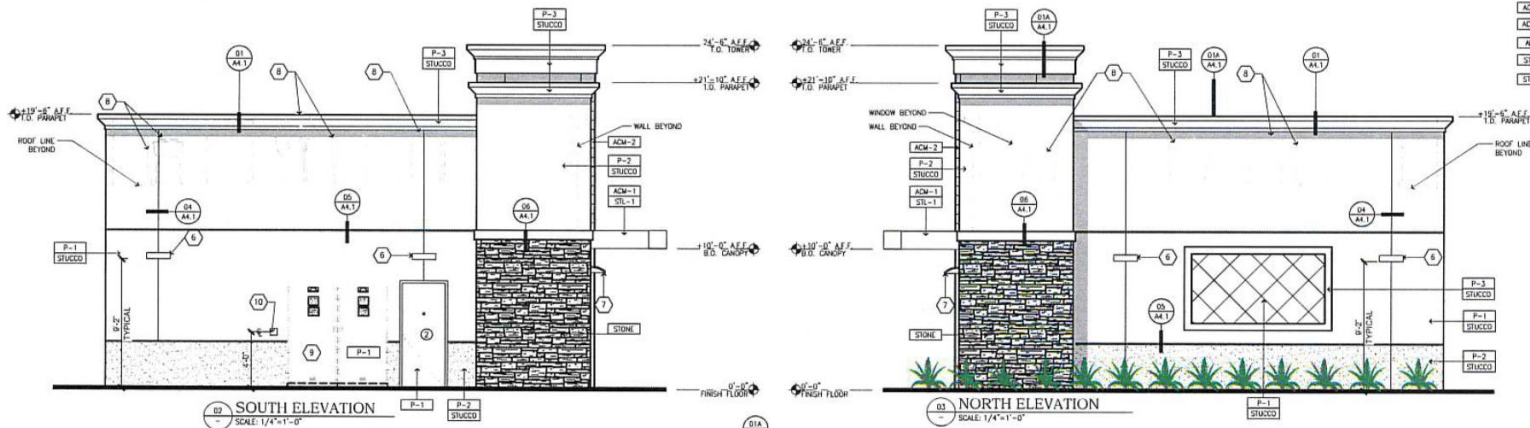
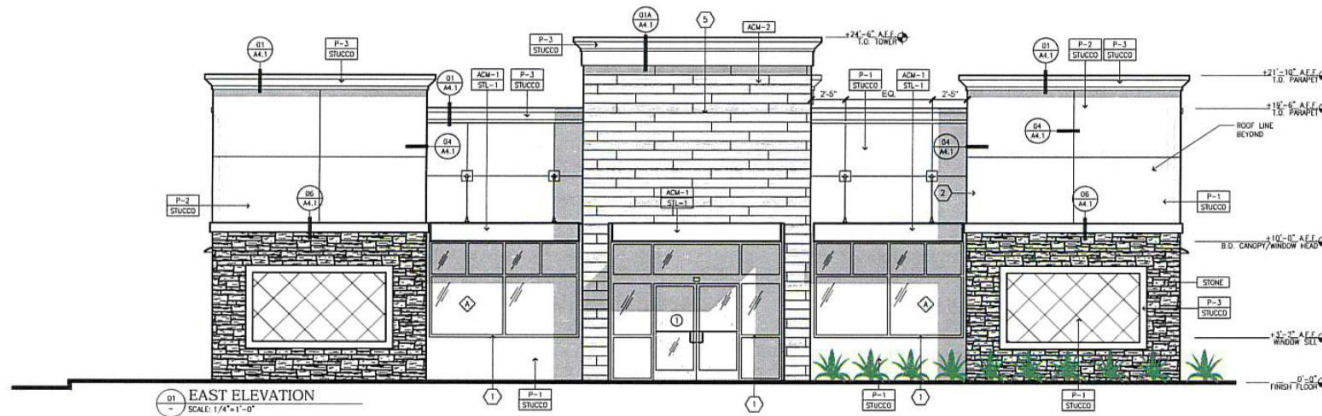
NO.	DATE	DESCRIPTION
1	07/20/21	REVISED PER COMMENTS
2	08/03/21	REVISED PER COMMENTS

C/C Design, Inc.
 Design: [Signature]
 Drawn: [Signature]
 2230 N. Tustin Avenue, Suite 200, Santa Ana, CA 92705
 Tel: (949) 815-2666
 Fax: (949) 815-2667
 WWW.CCDP.COM

FARZ INC.
 GAS AND MART

SHEET: 04/01/21
 DRAWN BY: F. COHEN
 CHECKED BY: F. COHEN
 PROJECT NUMBER: 21008
 STORE NUMBER: FARZ, INC.
 SHEET:

A.1.1



GENERAL NOTES

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

- (1) ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A0.3 & SPECIFICATION
- (2) STEEL ANCHOR ROD AND ELEV
- (3) OVERFLOW DRAIN
- (4) WALL POSTER
- (5) LARGE INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- (6) WALL MOUNTED LED FIXTURE
- (7) WALL MOUNTED SIGN LIGHTING
- (8) ROOFTOP EQUIPMENT BEYOND
- (9) MAIN SWITCHGEAR
- (10) CO2 FILL/VENT BOX, VERIFY LOCATION PRIOR TO INSTALLATION

COLOR LEGEND

- P-1 SHERWIN WILLIAMS 7512 PAVILION BEIGE (MAIN WALLS)
P-2 SHERWIN WILLIAMS 6067 MOCHA (TOWERS)
P-3 SHERWIN WILLIAMS 6063 NICE WHITE (CORNICHE/TRIMS)

MATERIAL LEGEND

- STUCCO 5/8" CELESTINE PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
ACM-1 ALUMINUM COMPOSITE MATERIAL ANWING (5/8" SIZE FIRE WEED)
ACM-2 6" ALUMINUM SONG DARK CHERRY PLANKS BY LONGBOARD FACADE
ALUM CLEAR ANODIZED ALUMINUM
SIS-1 STEEL ANCHOR & TRUSS TRELIS
STONE PANELLED STONE VENEER
WPC CORNBOLD, SERIES: OLD COUNTRY LEDGE
COLOR: "CARAMEL MOUNTAIN"

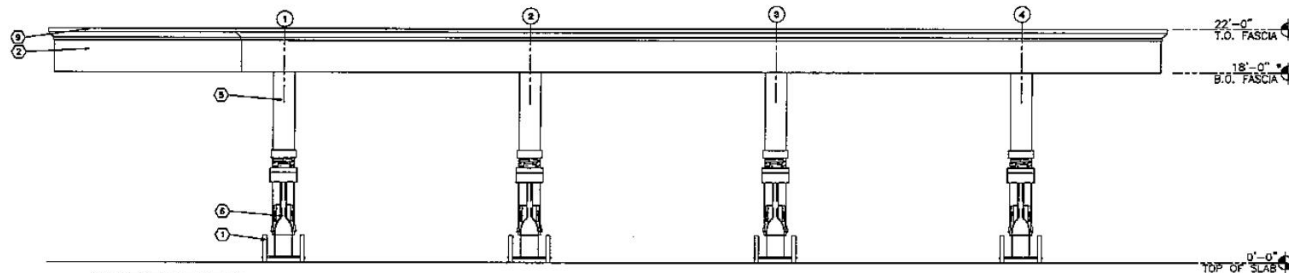
REVISIONS			
NO.	DATE	DESCRIPTION	REVISIONS
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2	09/08/22	REVISED PER COMMENTS	REVISED PER COMMENTS

FARZ INC.
GAS AND MART

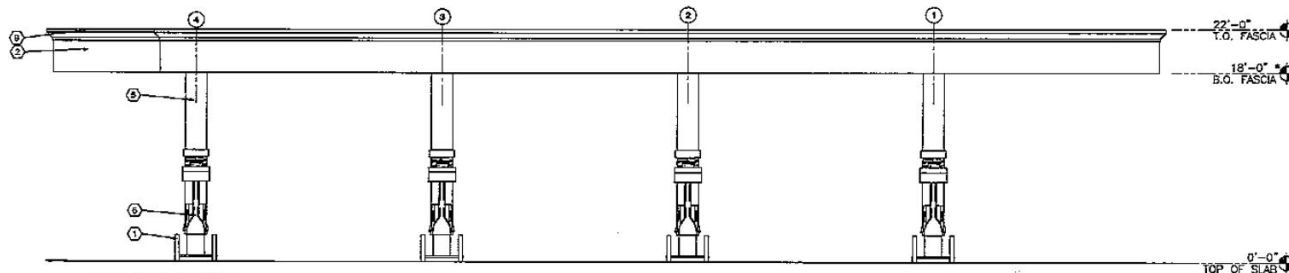
PROJECT:
2230 N. TUSTIN AVENUE
SANTA ANA, CA 92705
BUILDING ELEVATIONS

DATE ISSUED: 04/01/21
SCALE:
DRAWN BY: P. COHEN
CHECKED BY: F. COHEN
PROJECT NUMBER: 21008
STORE NUMBER: FARZ, INC.
SHEET:

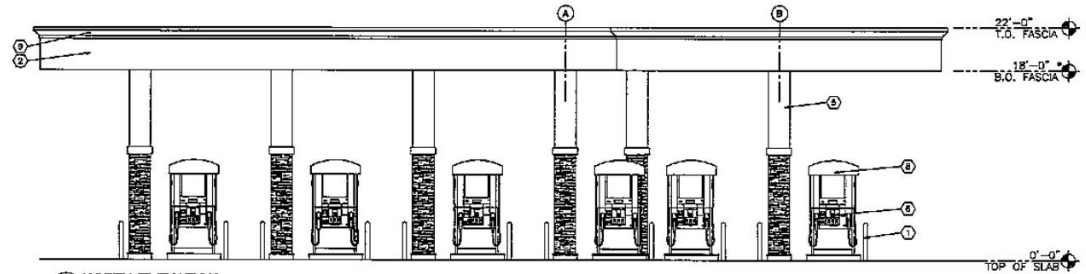
A.2.1



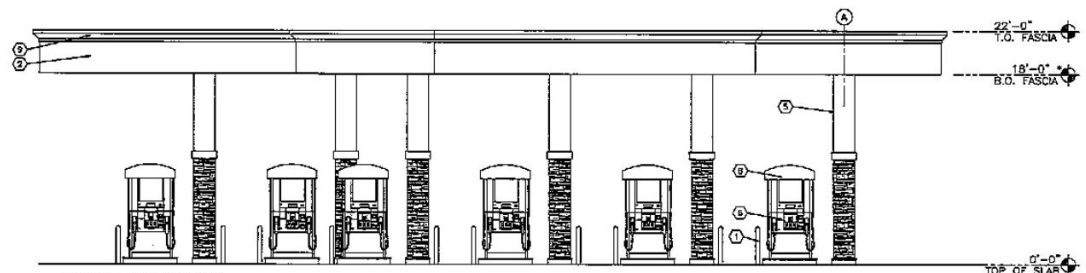
01 WEST ELEVATION
SCALE: 3/16"=1'-0"



02 EAST ELEVATION
SCALE: 3/16"=1'-0"



03 NORTH ELEVATION
SCALE: 3/16"=1'-0"



04 SOUTH ELEVATION
SCALE: 3/16"=1'-0"

KEYED NOTES

- 1 BOLLARD
- 2 SHEET METAL FASCIA PANEL (TERAZO FINISH SINTERED PAVEMENT BEIGE)
- 3 ILLUMINATED SHELL PROTRUSION SIGN BOX
- 4 NOT USED
- 5 STEEL COLUMN WITH CORRODED STEEL COLUMN GLASSING BASE AND STEEL
- 6 FUEL DISPENSER AND CUP
- 7 METAL DISPENSER TOPPER
- 8 STEEL COLUMN WITH CORRODED STEEL COLUMN GLASSING BASE AND STEEL
- 9 STEEL COLUMN WITH CORRODED STEEL COLUMN GLASSING BASE AND STEEL

REVISIONS

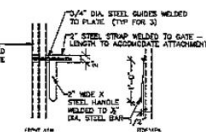
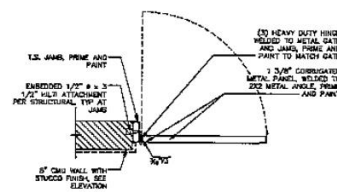
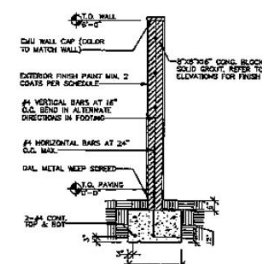
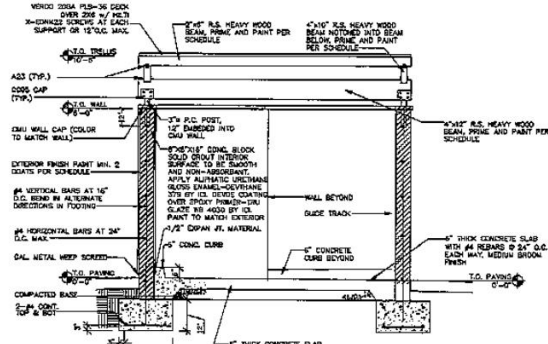
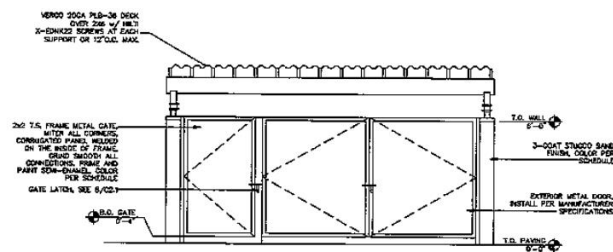
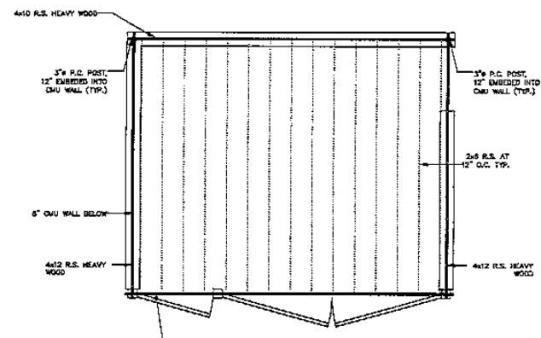
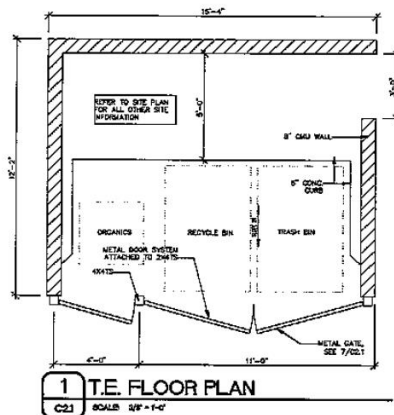
NO.	DATE	DESCRIPTION

FARZ INC.
GAS AND MART

PROJECT
2230 N. TUSTIN AVENUE
SANTA ANA, CA. 92705
CANOPY ELEVATIONS

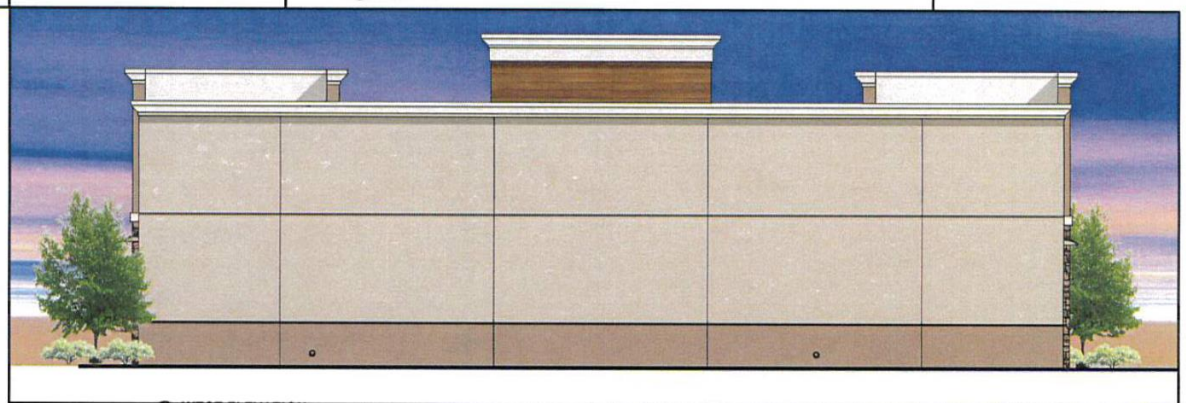
DATE ISSUED	04/01/21
DRAWN BY	P. COHEN
CHECKED BY	P. COHEN
PROJECT NUMBER	21008
DATE NUMBER	FARZ INC.
DATE	

CA.11

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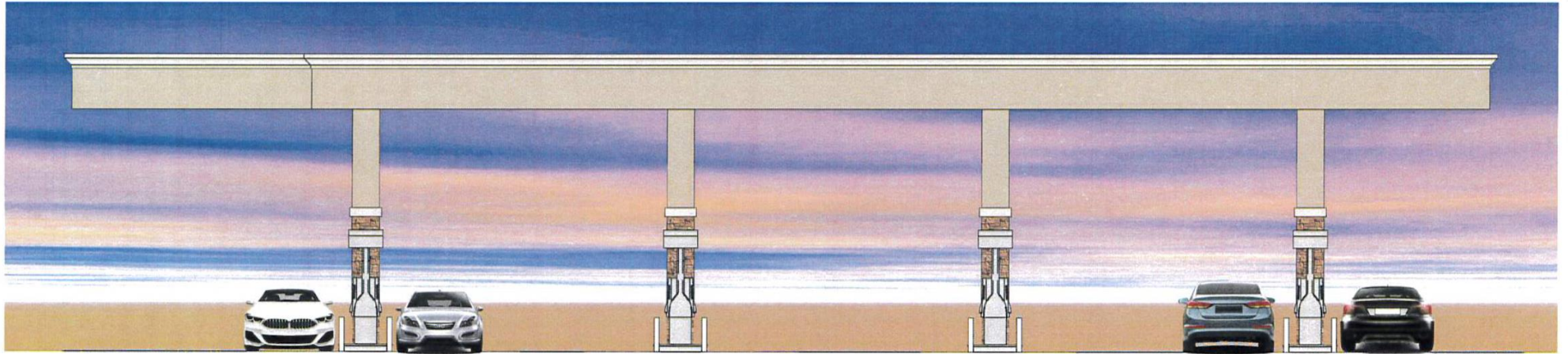
FARZ INC.
GAS AND MART

PROJECT:		2230 N. TUSTIN AVENUE SANTA ANA, CA. 92705	
DATE REVISED:		06/01/21	
SHEET:			
DRAWN BY:		CHECKED:	
F. COHEN		F. CO	
PROJECT NUMBER:		21003	
SHEET NUMBER:		FARZ INC.	
SHEET:		Q321	



2230 NORTH TUSTIN AVENUE, SANTA ANA, CA. 92705





WEST ELEVATION



NORTH ELEVATION



2230 NORTH TUSTIN AVENUE, SANTA ANA, CA. 92705

COLOR BOARD and SITE AMENITIES PACKAGE

*Gas Station & Convenience store
2230 N. Tustin Avenue
Santa Ana, CA 92705
August 10, 2021*

Prepared by:



CJC Design, Inc.

Design

Planning

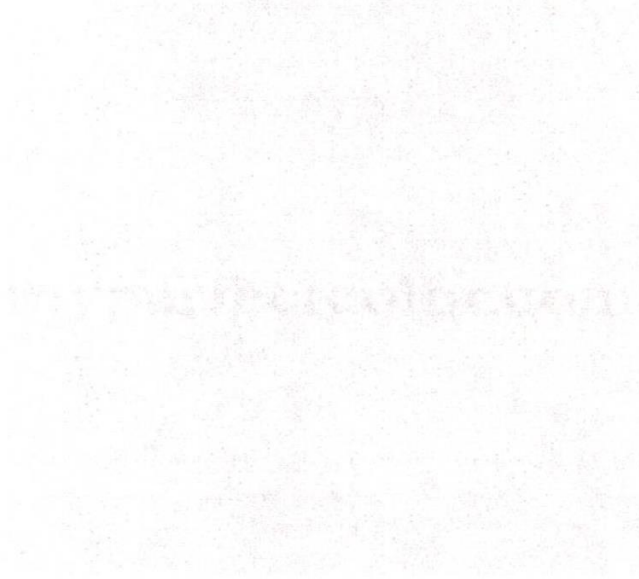
Permitting

22485 La Palma Avenue, Suite 202
Yorba Linda, CA 92887
P: 714.920.9643 F: 714.917.0250
www.cjccorp.com

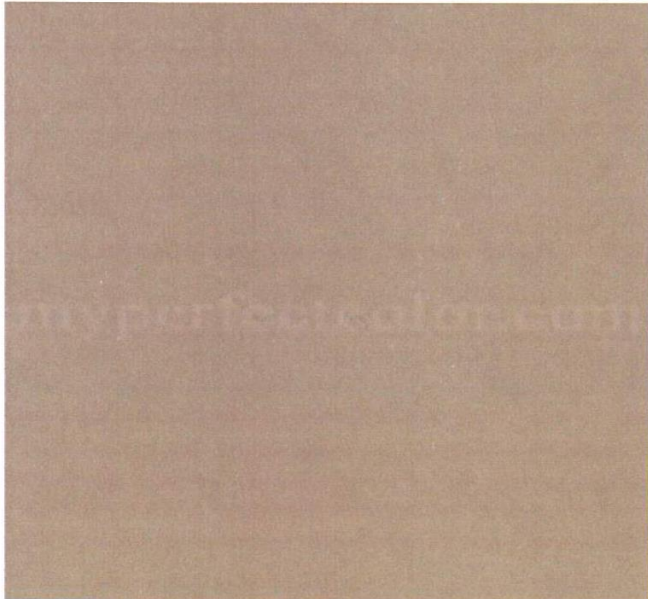
Prepared for:
Farz Inc.

I. Exterior Colors

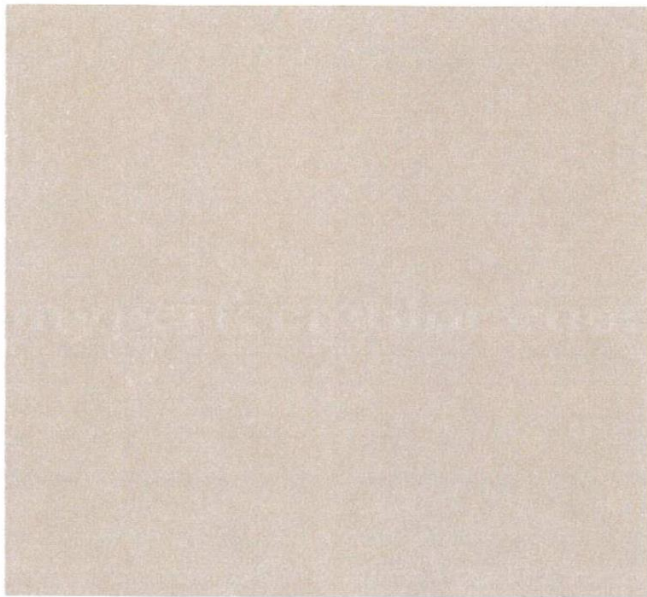
A. SHERWIN WILLIAMS SW6063 NICE WHITE (TRIMS)



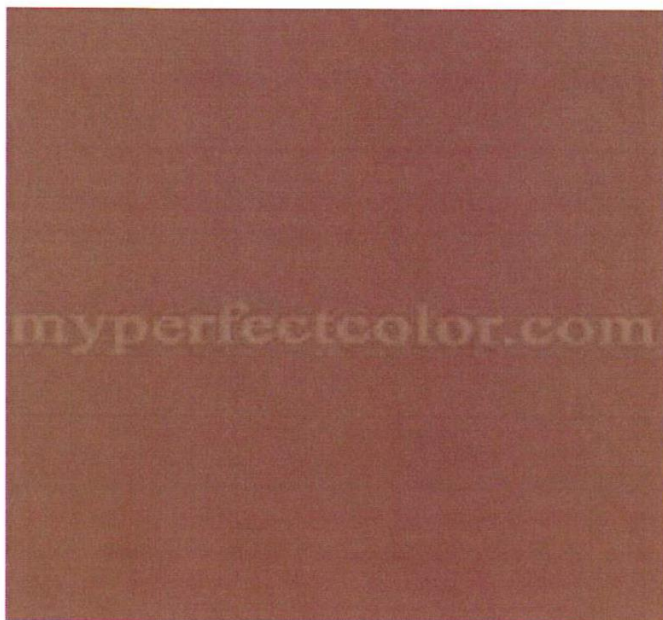
B. SHERWIN WILLIAMS SW6067 MOCHA (TOWERS)



C. SHERWIN WILLIAMS 7512 PAVILION BEIGE (MAIN WALLS)



D. SHERWIN WILLIAMS 6328 FIRE WEED (AWNINGS)



II. Exterior Wall / Base
A. Simulated Stone Veneer

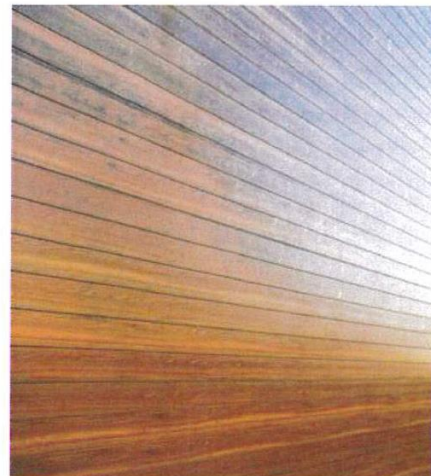
Old Country Ledge – Color: Carmel Mountain
Coronado Stone Products
11191 Calabash Avenue
Fontana, CA 92337
P: 800.847.8663; F: 909.357.7362
www.coronado.com



B. Sand Finish Stucco
La Habra Stucco

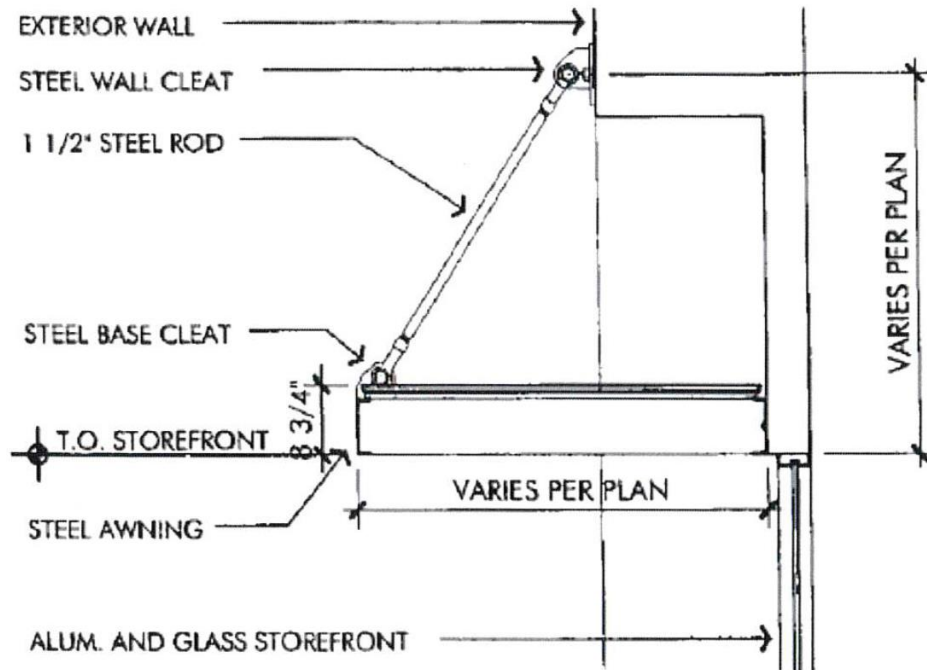


C. ALUMINUM SIDING
LONG BOARD FACADES – Cherry planks



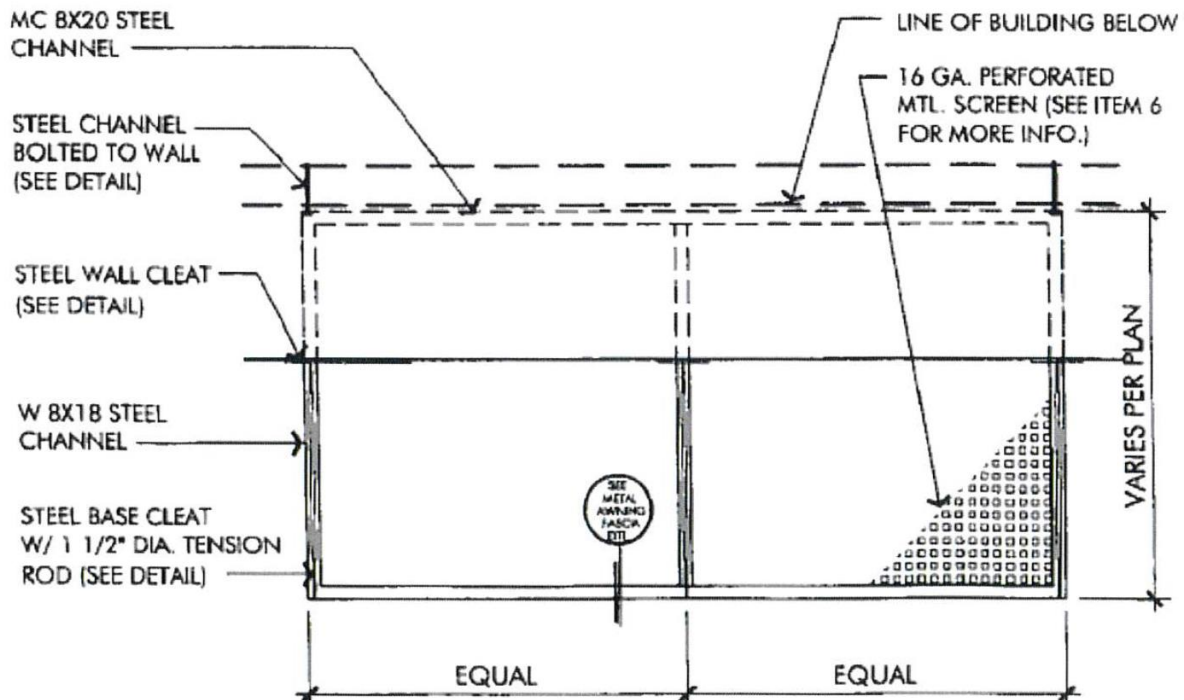
III. Awnings

A. Metal Awning Wall Section

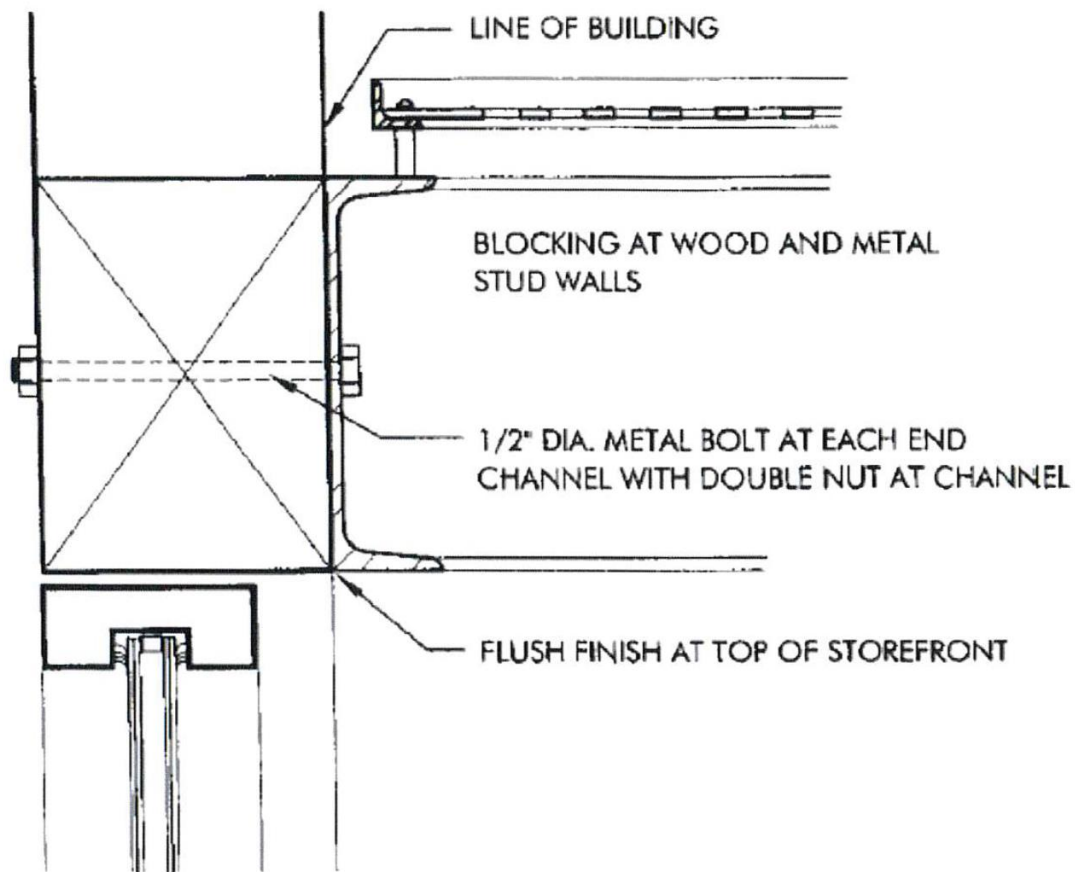


NOTE:
 1. ALL STEEL TO BE PAINTED, (TYP.)
 2. PROVIDE BLOCKING AT ATTACHMENTS

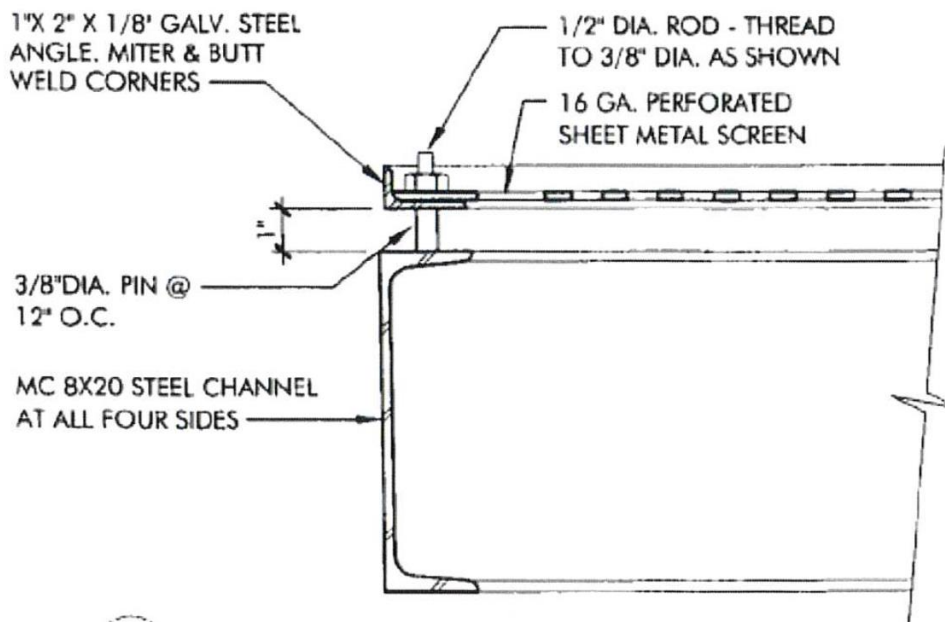
B. Metal Awning Plan



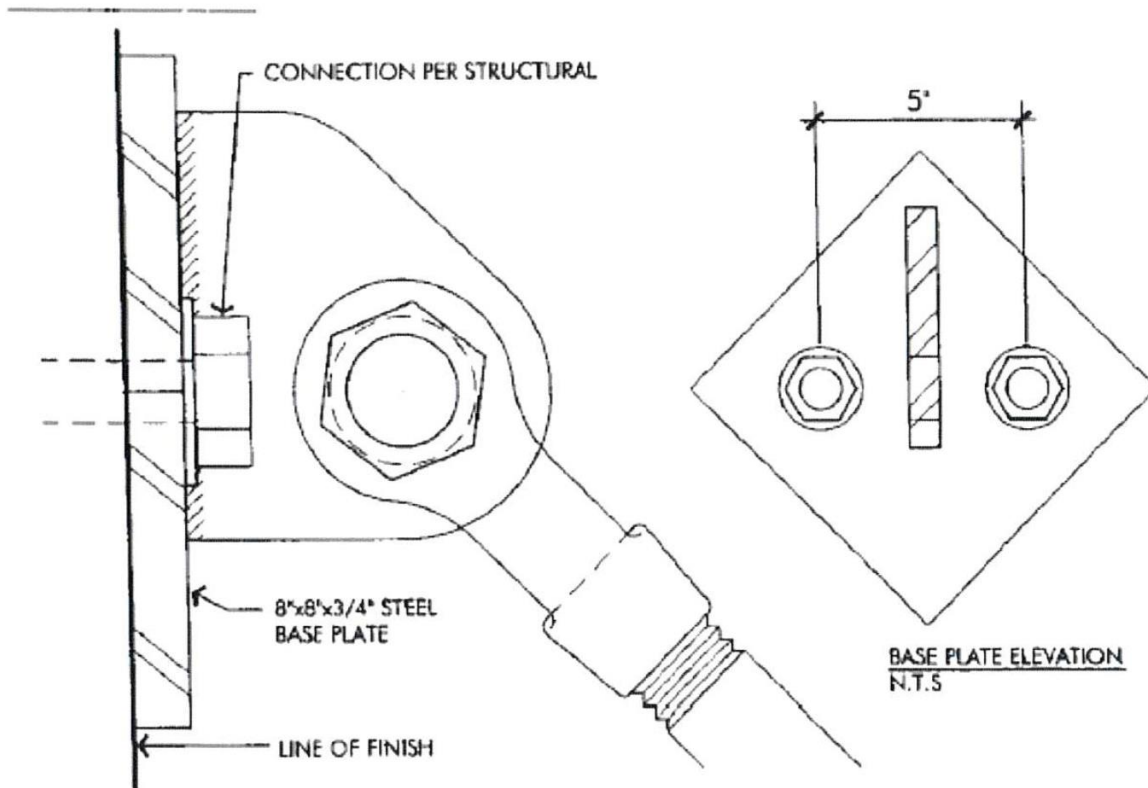
C. Metal Awning Connection At Storefront



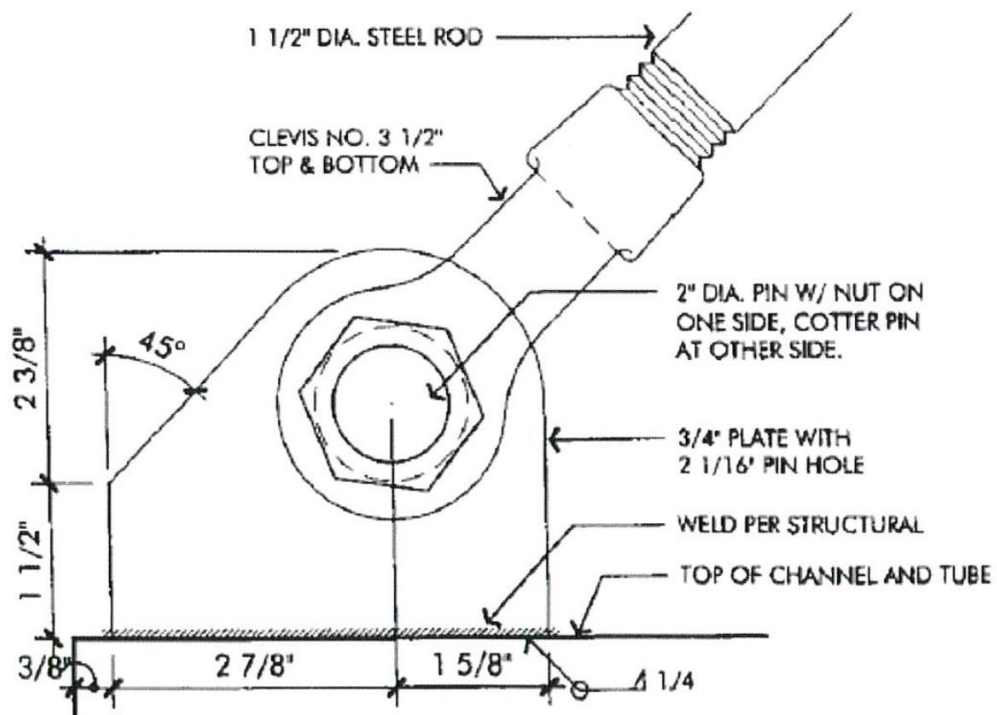
D. Metal Awning Fascia



E. Wall Cleat At Metal Awning

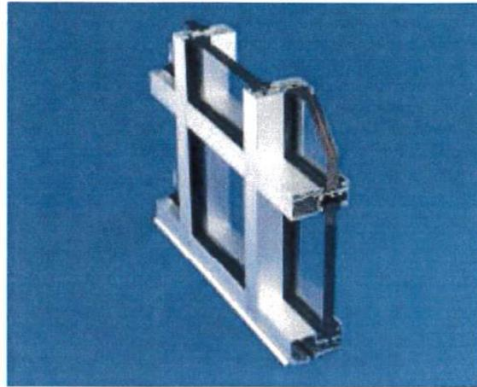


F. Base Cleat At Metal Awning



IV. Window Glazing

Tubelite Aluminum Glazing
#14000 series I/O



RETAIL STORE GROSS FLOOR AREA
2,600 SF
NUMBER OF PARKINGS REQUIRED:
- RETAIL FACILITY 13
- SUBTRACT FUEL ISLAND
PARKING - 4
TOTAL NUMBER OF PARKINGS
REQUIRED: 9
TOTAL NUMBER OF PARKINGS
PROVIDED: 11
- 8 STANDARD
- 2 STANDARD (REPLACING
REMOVED PARKINGS FROM ADJACENT
LOT)
+ 1 ADA VAN ACCESSIBLE

- NO FREE-STANDING SIGNS OR VISUAL OBSTRUCTIONS HIGHER THAN 2'5" ARE ALLOWED WITHIN THE DRIVEWAY SIGN TRIANGLE.
- NO FREE-STANDING SIGNS OR VISUAL OBSTRUCTIONS HIGHER THAN 2'5" ARE ALLOWED WITHIN THE STREET CORNER SIGN TRIANGLE (PER SANTA ANA MUNICIPAL CODE SECTION 36-45 TO 36-47).
- ABANDONED DRIVEWAYS TO BE REPLACED WITH SIDEWALK, CURB AND GUTTER PER CITY STANDARDS.
- REQUIRED GRINDING AND CAPPING OF A MINIMUM OF 2'-3" OF THE EXISTING ASPHALT FOR CURB RAMP ALONG THE PROPERTY LINE ON TUSTIN AVENUE AND SANTA CLARA AVENUE. PAVING MAY BE REQUIRED DURING STREET IMPROVEMENT PLAN CHECK IF UTILTY CUTS ARE NEEDED BEYOND THESE

1. REFER TO PAGE C-2 TOPOGRAPHY SURVEY FOR EXISTING TOPOGRAPHY, WITHIN THE PUBLIC RIGHT-OF-WAY, ALONG THE PROPERTY FRONTAGE AND WITHIN THE PROPERTY LINES.
2. LOCATION OF EXISTING AND NEW WET AND DRY UTILITIES SHOWN ON PAGE C-3 & C-4.
3. REFER TO PAGE C-4 FOR PROPOSED SITE DRAINAGE PLANS.
4. EASEMENT AGREEMENTS FOR PARKING 10,11 AND DRIVEWAY ACCESS FROM ADJACENT PROPERTIES WILL BE SUBMITTED AS SEPARATE FOLDER TO THE CITY.

(E) 2 PARKING STALLS TO BE REMOVED AND REPROPOSED AS ADDITIONAL PARKING 10 AND 11. THE REPLACEMENT IS RECORDED BY MEANS OF EASEMENT AGREEMENT DATED 07.09.2019.

ALL TRAFFIC IMPACT ANALYSIS (ITA)
RECOMMENDATIONS WILL BE
IMPLEMENTED TO THE BEST OF THE
BUILDING DEVELOPER, SOLELY AT THE
DEVELOPER'S EXPENSE.

- INSTALL 24" BOX STREET TREES AT
30% ON CENTER ON TUSTIN AND SAN
CARLOS. TREES TO BE PLANTED
STANDARDS AND APPROVED PLAN, PLANT
A, EEEED?
- NO FOOD SERVICE ESTABLISHMENT
IS PROPOSED. IF A FOOD
ESTABLISHMENT IS PROPOSED IN THE
FUTURE, IT MUST COMPLY WITH THE
CITY ORDINANCE NO. 18-20077.

THE BMPs, SHOWN ON THE
APPROVED SITE PLAN, ARE ONLY
PRELIMINARY AND WILL BE REVISED
UPON COMPLETION OF THE WOMP. PRIOR
TO THE ISSUANCE OF THE GRADING
PERMIT, THE DEVELOPER SHALL
GRADING/UTILITY PLAN SHALL
INCORPORATE ALL REQUIRED
STRUCTURAL BMPs.

THIS SITE WILL BE DESIGNED AND
CONSTRUCTED IN ACCORDANCE WITH
THE CALIFORNIA REGIONAL WATER
QUALITY CONTROL BOARD, SAN JUAN
AN REGION ORDER NO. 18-2002003
DISCHARGE REQUIREMENTS (MS4
REQUIREMENTS).

- 45' MAX TURNING RADIUS FOR LONG
ESTIMATE MAX TRAILER LENGTH
69FT.
- PAYING MAY BE REQUIRED DURING
STREET IMPROVEMENT PLAN CHECK
AND CONSTRUCTION PERMITS. SEE
NEW UTILITY SERVICE.

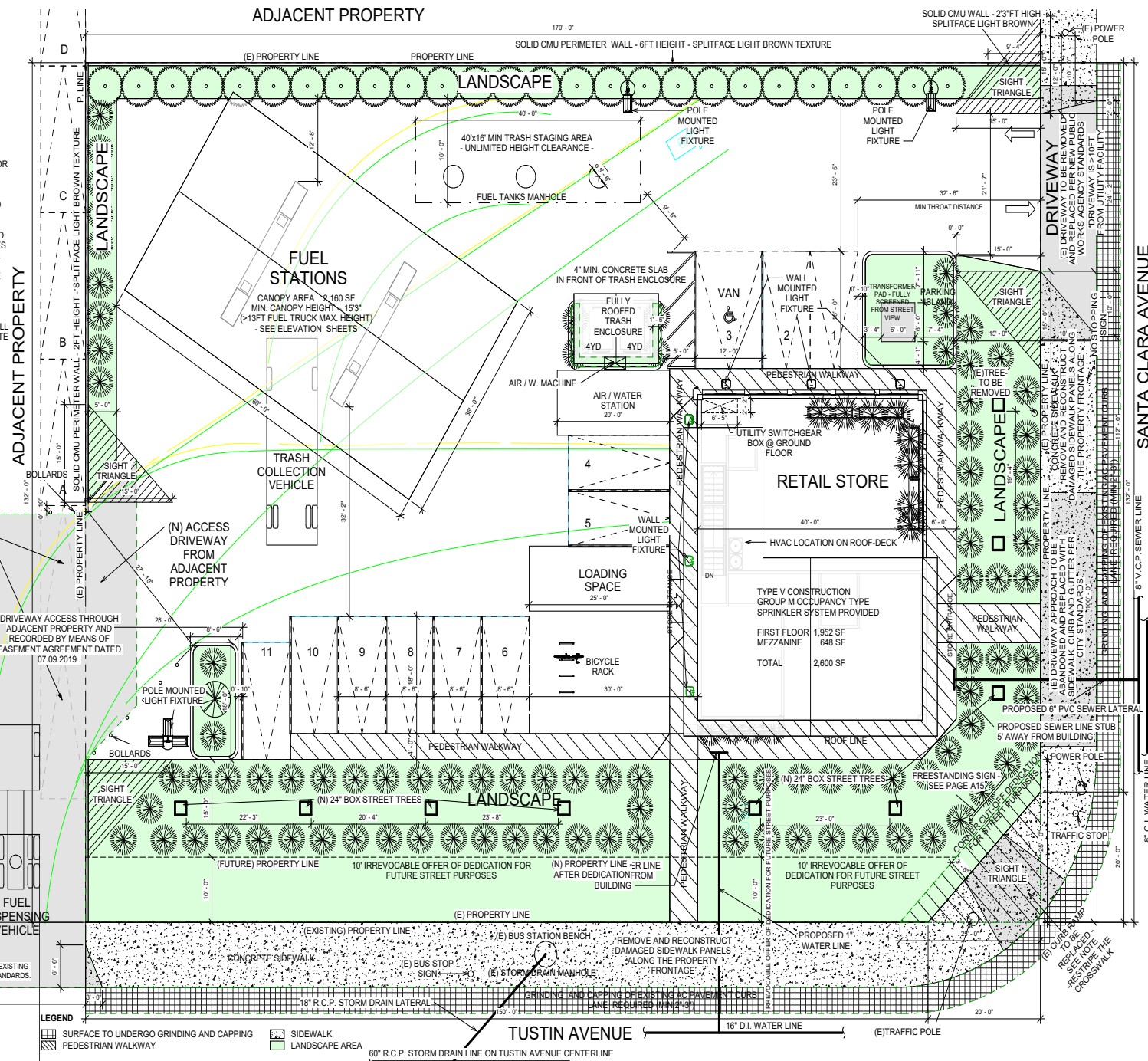
- INSTALL STREET LIGHTS ALONG THE
PROPERTY FRONTAGE ON TUSTIN AND
SAN CARLOS AVENUES, PER TYPE OF
USE.

WASTE STORAGE AREA REQUIRED
94 SF

(MATERIALS)

-TRASH COLLECTION TRUCK WITH MIN. TURNING RADIUS OF 42', TRUCK LENGTH OF 36' AND WIDTH OF 9'. FOR FUEL SUPPLY CIRCULATION PATTERN, SEE PAGE T-02.
-MINIMUM 40' x 16' WIDE STAGING AREA SHALL BE AVAILABLE ON SERVICE DAYS FROM 6AM TO 6PM;
-MINIMUM VERTICAL CLEARANCE OF 25' AT THE STAGING AREA FOR BIN SERVICE CLEARANCE;
-MINIMUM 15' VERTICAL CLEARANCE FOR SCRAP TRUCKS TO BE STAGING IS PERMITTED;
-ALL STAGING AREAS ARE TO BE 6'x26'x20'3"
-ALL DRIVEWAY AND STAGING AREAS SHALL BE CAPABLE OF SUSTAIN A MINIMUM GROSS WEIGHT OF 60,000LBS PER VEHICLE;
-MAXIMUM SIZE OF BIN SHALL BE 4 CUBIC YARDS.

- 10'-0" RIGHT-OF-WAY IRREVOCABLE OFFER TO BE DEDICATED TO THE CITY OF SANTA ANA FOR FUTURE STREET PURPOSES.
- 25'x25' CORNER CUT-OFF DEDICATION TO THE CITY OF SANTA ANA FOR STREET PURPOSES.
- FOR LIGHTING FIXTURE DETAILS, SEE PAGE A-10.
- TOTAL STREET FRONTAGE IS 290.562' PER SASEC SECTION 41.862 ONLY ONE FREESTANDING SIGN IS ALLOWED



ORANGE COUNTY REPORTER

~SINCE 1921~

Mailing Address : 600 W SANTA ANA BLVD STE 812, SANTA ANA, CA 92701
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NUVIA OCAMPO
CITY OF SANTA ANA/PLANNING & BUILDING AGENCY
20 CIVIC CENTER PLAZA 2ND FLR
SANTA ANA, CA 92702

COPY OF NOTICE

Notice Type: GPN GOVT PUBLIC NOTICE

Ad Description
2230 N Tustin Ave (June)

To the right is a copy of the notice you sent to us for publication in the ORANGE COUNTY REPORTER. Thank you for using our newspaper. Please read this notice carefully and call us with any corrections. The Proof of Publication will be filed with the County Clerk, if required, and mailed to you after the last date below. Publication date(s) for this notice is (are):

06/16/2023

The charge(s) for this order is as follows. An invoice will be sent after the last date of publication. If you prepaid this order in full, you will not receive an invoice.

Publication	\$117.80
Total	\$117.80

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LOS ANGELES DAILY JOURNAL, LOS ANGELES	(213) 229-5300
SAN FRANCISCO DAILY JOURNAL, SAN FRANCISCO	(800) 640-4829
SAN JOSE POST-RECORD, SAN JOSE	(408) 287-4866
THE DAILY RECORDER, SACRAMENTO	(916) 444-2355
THE DAILY TRANSCRIPT, SAN DIEGO	(619) 232-3486
THE INTER-CITY EXPRESS, OAKLAND	(510) 272-4747

OR# 3711439

NOTICE OF PUBLIC HEARING BEFORE THE SANTA ANA PLANNING COMMISSION

The City of Santa Ana encourages the public to participate in the decision-making process. We encourage you to contact us prior to the Public Hearing if you have any questions.

Planning Commission Action: The Planning Commission will hold a Public Hearing to receive public testimony, and will take action on the item described below. Decision on this matter will be final unless appealed within 10 calendar days of the decision by any interested party or group.

Project Location: 2230 North Tustin Avenue located within the Arterial Commercial (C5) zoning code

Project Applicant: Fred Cohen (Applicant) Heinecke Gould Properties LLC (Property Owner)

Proposed Project: Applicant is proposing to modify Conditional Use Permit No. 2019-41 to construct a new service station with a 2,880 square foot canopy and a 2,150 square foot mini-mart. A conditional use permit is required to allow a service station the C5 zone. A second conditional use permit is required for businesses requiring a regional, state, or federal permit to discharge, handle, emit, or store regulated compounds, materials, or substances and is located within 500 ft. of a school, public park, or residence.

Environmental Impact: Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review and Categorical Exemption ER No. 2017-83 will be filed for this project.

Meeting Details: This matter will be heard on **Monday, June 26, 2023 at 5:30 p.m.** in the City Council Chambers, 22 Civic Center Plaza, Santa Ana, CA 92701. **Members of the public may attend this meeting in-person or join via Zoom.** For the most up to date information on how to participate virtually in this meeting, please visit www.santa-ana.org/pb/meeting-participation.

Written Comments: If you are unable to participate in the meeting, you may send written comments by e-mail to PBACComments@santa-ana.org (reference the Agenda Item # in the subject line) or mail to Nuvia Ocampo, Recording Secretary, City of Santa Ana, 20 Civic Center Plaza – M20, Santa Ana, CA 92701. Deadline to submit written comments is **4:00 p.m.** on the day of the meeting. Comments received after the deadline may not be distributed to the Commission but will be made part of the record.

Where To Get More Information: Additional details regarding the proposed action(s), including the full text of the discretionary item, may be found on the City website 72 hours prior to the public hearing at: <https://santa-ana.primegov.com/public/portal>.

Who To Contact For Questions: Should you have any questions, please contact Cristian Santana with the Planning and Building Agency at CSantana@santa-ana.org or 714-667-2728.

Note: If you challenge the decision on the above matter, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission or City Council of the City of

Santa Ana at, or prior to, the public hearing.

Si tiene preguntas en español, favor de llamar a Nuvia Ocampo (714) 667-2732. Nêu cần liên lạc bằng tiếng Việt, xin đi ện thoại cho Tony Lai số (714) 565-2627.

6/16/23

OR-3711439#



* A 0 0 0 0 0 6 3 3 4 2 2 7 *

6/26/2023

Planning Commission



CITY OF SANTA ANA Planning and Building Agency

20 Civic Center Plaza • P.O. Box 1988
Santa Ana, California 92702
www.santa-ana.org/pba

NOTICE OF PUBLIC HEARING BEFORE THE SANTA ANA PLANNING COMMISSION

The City of Santa Ana encourages the public to participate in the decision-making process. This notice is being sent to those who live or own property within 1000 feet of the project site or who have expressed an interest in the proposed action. We encourage you to contact us prior to the Public Hearing if you have any questions.

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Nếu cần liên lạc bằng tiếng Việt, xin điện thoại cho Tony Lai số (714) 565-2627.**

1000' RADIUS NOTIFICATION MAP



**2230 North Tustin Avenue
1,000 Foot Buffer Map**



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(714) 667-2732.**

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(714) 565-2627.**



Ocampo, Nuvia

From: lauren hartshorne <lhartshorne21@gmail.com>
Sent: Monday, June 26, 2023 4:03 PM
To: eComments, PBA
Subject: 2230 North Tustin Avenue opposition

I vote to oppose the gas station at this address.

My concerns are the following:

1. The proximity of a gas station near a school (it is important to stress Kindergarten). A conditional use permit (CUP) is required for businesses requiring a regional, state, or federal permit to discharge, handle, emit, or store regulated compounds, materials, or substances and is located within 500 ft of a school (K-12), public park, or residence. In this case, this station is within 500 feet of both a school and residences. Effective December 22, 2022, a CUP is required!
2. Our concerns surround the health and safety of the children. While measures will be put in place to reduce the emissions of fumes, the risk is not zero. Deliveries will only be allowed after hours, but who will manage that? There are frequent accidents in this intersection, what prevents a car from entering the station and clipping a pump? Obviously, these are not every occurrence and the risk is likely low, but it is still a risk.
3. Traffic impact: The existing driveway on Santa Clara will remain. This is very close to our driveway. Additionally, Santa Clara is 2 lanes in front of the school. Increased traffic will impact the flow of daily travel.
4. Homeless: The existing gas stations in the area, in particular, the 7-11 at 17th and Tustin Ave., have major issues with homeless people. We have worked very hard to reduce this on our property, but a gas station with mini market will increase the likelihood. Again, this is a safety concern.
5. There are 5 gas stations within approximately 1/2 mile of the proposed site (17th/Tustin, 55/17th, Tustin/Fairhaven, and 2 at Santa Clara/Grand). How does a 5th station provide additional services to the residents, workers, and visitors?
6. The sale of alcohol: While this is not a concern with the city, as I understand it, they will apply for an alcohol sales license in the future. Currently, alcohol can be purchased at Stater Brothers, the Liquor Store next to Stater Bros, the Mini Mart behind Starbucks, and definitely at 7-11 (I assume all the other gas stations as well). Again, this is a safety concern as well as an unneeded service in the area.

I am happy to discuss this further with anyone! My goal is not to keep this lot empty as I do believe in the development of the site, but I do oppose it being a gas station.

Ocampo, Nuvia

From: Jeff Jensen <jj@chapteronetml.com>
Sent: Monday, June 26, 2023 3:54 PM
To: eComments, PBA
Subject: 2230 North Tustin Avenue

Good Afternoon Commission & Staff,

WOULD YOU ENROLL YOUR KID AT A SCHOOL NEXT DOOR TO A GAS STATION?????????????

My name is Jeffrey Jensen with my wife Amy and our daughter and niece go to Plumfield Preschool. We live in the city and love that our daughter & niece love going to school at such a great preschool in the city. The teachers and staff at Plumfield are amazing and work really well with all of the kids at all of the different age groups.

If there would have already been a gas station on the corner, we would have never enrolled our daughter at Plumfield. Just the thought of all of the potential cancerous fumes from gas, traffic and a driveway (with cars rushing in and out of to get to get gas) so close to the entrance of the school would deter me from having my daughter attend. Kids should be able to play and learn with clean air, not with fumes and carcinogens. Also, there are plenty of other gas stations in the area, what benefit is there from adding another station? 4-5 stations within a few blocks of the location.

It also doesn't seem like a good use of land for a business that the state of CA is moving away from. I love the forward thinking of the city of Santa Ana and know that the city can see a better use than another gas station. Sounds like a great school can be around a lot longer than a gas station according to the state. A gas station on the corner will be detrimental to Plumfield. Wasn't there a gas station there a long time ago that didn't work out when it was just gas powered cars before EV's hit the market?

Starting in 2035, California will prohibit the sale of new gas-powered cars. A measure approved by the California Air Resources Board requires all new cars, SUVs and pickup trucks sold in the state to generate zero tailpipe emissions by then.

Governor Newsom Announces California Will Phase Out Gasoline-Powered Cars & Drastically Reduce Demand for Fossil Fuel in California's Fight Against Climate Change

Link below:



Governor Newsom Announces California Will
Phase Out Gasoline-Powered Cars & Drastically
Reduce Demand for Fossil Fuel in California's
Fight Against Climate Change | California
Governor
gov.ca.gov

Thank you,

JJ

Jeffrey Jensen

Chapter One: the modern local

227 N. Broadway

Downtown Santa Ana, CA 92701

(714) 352-2225 MAIN

www.chapteronetml.com

Ocampo, Nuvia

From: Carol Purvis <capurvis@cox.net>
Sent: Monday, June 26, 2023 3:22 PM
To: eComments, PBA
Subject: 2230 North Tustin Avenue

I am an owner, Purvis Enterprises, LLC, of the property adjacent to the proposed development. My property is a Pre-School and Kindergarden which has been utilized for this purpose since 1972.

While I am in no way opposed to the adjacent property being developed, I have serious concerns about the gas station/mini market and the toxic fumes, traffic, and alcohol being sold and/or consumed on the premises.

I am aware that the State of California requires a CUP for the development of any type of business which emits (or has the ability to emit) toxic fumes within 500 feet of a school. This property is adjacent to a school with young children who play in outside play areas several hours a day. I cannot help but believe this is the exact situation that this requirement was intended for. How is it that just 6 months after enacting this requirement, the City is willing to issue a CUP to negate what was deemed as an unhealthy situation?

While I realize that the City has attempted to improve traffic conditions by installing a left turn light at the intersection of Tustin Ave and Santa Clara, with the addition of a driveway within a few feet of the intersection and 2 additional driveways (into the Stater Bros/Del Taco center and my property), already a congested intersection, I cannot believe that this is not asking for traffic accidents and I have major concerns for the safety of my families. Please also note that you are adding additional traffic to the area with the proposed McDonalds' just across the street from my property. Have traffic studies been done with the addition of a service station on the subject property? I do not believe that when prior traffic studies were performed this project was a factor.

Lastly, the issue of a mini-mart -- I have experienced considerable disruptions due to homeless people using my property at night. While I recognize and sympathize with the homeless situation, private property should not be jeopardized by the City allowing magnet type businesses. We all recognize that substance abuse is a major cause or result of homelessness. We have taken all recommended steps to discourage the use of our property by this group, having spent several thousand dollars on cameras, security lighting, signage, etc. The development of a mini-market/service station is a magnet for this, just look at the 7/11 at Tustin and 17th! There is a mini-mart on the NE corner of Santa Clara and Tustin Ave, liquor is sold in the shopping center directly across Santa Clara. Why would you authorize a mini market that sells alcohol adjacent to a school? The State of California Liquor Licensing Board has always supported not selling liquor or consuming liquor within 300 Feet of a school. While I realize the City of Santa Ana does not issue the liquor license, this is just one more example of why the CUP's being requested should be denied.

In conclusion, please keep in mind that child care in the State of California, and for that matter in most states, has fallen far behind the need and families are looking for safe, respected, loving care for their children. We have offered that for more than 45 years. Please do not jeopardize that service by allowing a gas station/mini-mart right next door.

Carol

Owner

Purvis Enterprises, Inc.

Ocampo, Nuvia

From: Adam Tichy <adamtichy@yahoo.com>
Sent: Monday, June 26, 2023 3:39 PM
To: eComments, PBA
Subject: Gas station concern

Please do not build a gas station right next to our preschool. I don't want my children breathing in toxic fumes all day.

Thank you

-Adam Tichy

A concerned parent

Sent from my iPhone

Ocampo, Nuvia

From: Jasmine Young <jasminesolei@gmail.com>
Sent: Monday, June 26, 2023 3:23 PM
To: eComments, PBA
Subject: 2230 North Tustin Avenue PUBLIC COMMENT

To whom it may concern,

Please consider denying the construction of a gas station right next to my child's school. For several reasons this is a bad idea. Some points of concern are as follows:

1. The proximity of a gas station near a PRESCHOOL AND KINDERGARTEN.

A conditional use permit (CUP) is required for businesses requiring a regional, state, or federal permit to discharge, handle, emit, or store regulated compounds, materials, or substances and is located within 500 ft of a school (K-12), public park, or residence. In this case, this station is within 500 feet of both a school and residences. Effective December 22, 2022, a CUP is required!

2. Our concerns surround the health and safety of the children. While measures will be put in place to reduce the emissions of fumes, the risk is not zero. Deliveries will only be allowed after hours, but who will manage that? There are frequent accidents in this intersection, what prevents a car from entering the station and clipping a pump? Obviously, these are not every occurrence and the risk is likely low, but it is still a risk.

3. Traffic impact: The existing driveway on Santa Clara will remain. This is very close to our driveway. Additionally, Santa Clara is 2 lanes in front of the school. Increased traffic will impact the flow of daily travel.

4. Homeless: The existing gas stations in the area, in particular, the 7-11 at 17th and Tustin Ave., have major issues with homeless people. We have worked very hard to reduce this on our property, but a gas station with mini market will increase the likelihood. Again, this is a safety concern.

5. There are 5 gas stations within approximately 1/2 mile of the proposed site (17th/Tustin, 55/17th, Tustin/Fairhaven, and 2 at Santa Clara/Grand). How does a 5th station provide additional services to the residents, workers, and visitors?

6. The sale of alcohol: While this is not a concern with the city, as I understand it, they will apply for an alcohol sales license in the future. Currently, alcohol can be purchased at Stater Brothers, the Liquor Store next to Stater Bros, the Mini Mart behind Starbucks, and definitely at 7-11 (I assume all the other gas stations as well). Again, this is a safety concern as well as an unneeded service in the area.

All of us parents and community members are put into uncomfortable situations if this lot is turned into a gas station.

Please consider these points before granting a permit to this cause.

-Jasmine Young-Lynch
13642 Dall Lane
Santa Ana CA 92705

--

CSUF Class '24

Pronouns: She/her

Major: Art Education
Phone: 714-418-4826
Creative Focus OC

Ocampo, Nuvia

From: trina Andjani <trina.andjani@gmail.com>
Sent: Monday, June 26, 2023 2:48 PM
To: eComments, PBA
Subject: 2230 North Tustin Avenue

To whom it may concern,

I am writing to express my deep concerns about the proposed gas station near our children's kindergarten. Having a gas station in such close proximity poses serious safety risks that must be addressed.

The potential hazards of storing and dispensing flammable materials in the vicinity of a school are alarming. Accidents, fuel leakage, fires, or explosions could have devastating consequences for our children and the entire community.

Furthermore, the increased traffic from the gas station would exacerbate the already congested drop-off and pick-up areas, jeopardizing the safety of our children.

I implore you to reconsider the location and thoroughly evaluate the potential risks associated with this proposal. Our children's safety should always be our top priority, and we must take proactive measures to protect them from unnecessary dangers.

I urge you to prioritize the well-being of the school community and its neighborhood when making decisions that affect our children's lives.

Thank you for your immediate attention to this urgent matter.

Sincerely,

Petrina Andjani

Ocampo, Nuvia

From: Ariana Contreras <ladyredwrx@yahoo.com>
Sent: Monday, June 26, 2023 2:48 PM
To: eComments, PBA
Subject: 2230 N. Tustin Ave, Tustin, Ca 92705

To whom it may concern,

I am reaching out to express my deep concerns about the proposed gas station near our children's school. Having a gas station in such close proximity poses serious safety risks that must be addressed.

The potential hazards of storing and dispensing flammable materials in the vicinity of a school are alarming. Accidents, fuel leakage, fires, or explosions could have devastating consequences for our children and the entire community.

Furthermore, the increased traffic from the gas station would exacerbate the already congested drop-off and pick-up areas, jeopardizing the safety of our children.

I implore you to reconsider the location and thoroughly evaluate the potential risks associated with this proposal. Our children's safety should always be our top priority, and we must take proactive measures to protect them from unnecessary dangers.

I urge you to prioritize the well-being of the school community and its neighborhood when making decisions that affect our children's lives.

Thank you for your immediate attention to this urgent matter.

Ariana Contreras

Ocampo, Nuvia

From: Kyrstyn Goodall <kyrstyngoodall@yahoo.com>
Sent: Monday, June 26, 2023 2:55 PM
To: eComments, PBA
Subject: 2230 north Tustin ave

Good afternoon,

I am writing to request that there not be a gas station built next door to a kindergarten due to it being a health and safety concern.

Thank you,
Kyrstyn Conners

Sent from my iPhone

Ocampo, Nuvia

From: Amie Grenfell <amiegrenfell@gmail.com>
Sent: Monday, June 26, 2023 2:26 PM
To: eComments, PBA
Subject: Regarding 2230 North Tustin Avenue

Hello,

I am writing to express my opposition to the development of a gas station at the address referenced in the subject. While I do not believe this lot should remain vacant, there are already so many gas stations available in the nearby vicinity that renders another one unnecessary and unwanted.

Furthermore, I am a parent. I, and several of our neighbors, have children enrolled in the adjacent school. It's a respected institution in our neighborhood (we live along Santa Clara Ave.). My child in particular has asthma, and while I know that my individual child wouldn't have much of an impact on your decision, I hope that the knowledge that residents in the nearby community love the school and are all concerned about the health impacts to your vulnerable residents.

I would love for some small businesses, restaurants or retail, to revitalize the area and give residents a more pedestrian friendly environment. A gas station would contribute absolutely nothing for the community.

I hope you will take the opposition from the residents into consideration. Thank you.

Warm Regards,

Amie Grenfell
Santa Ana Resident

Ocampo, Nuvia

From: Patty Gutierrez <ptorres2183@gmail.com>
Sent: Monday, June 26, 2023 2:37 PM
To: eComments, PBA
Subject: 2230 North Tustin Avenue

Good Afternoon,

We recently heard that there is to be a gas station built in the area. I have a niece that attends Plumfield Preschool. We are concerned that a gas station will bring more traffic to this already busy area. If they will be selling Alcohol this may also attract Homeless to the area.

Why would we want this type of environment around any small children? Please reconsider this new build for our kids.

Concerned Community Member
Thank you.

Ocampo, Nuvia

From: Curt Hixson <curthixson5@gmail.com>
Sent: Monday, June 26, 2023 2:47 PM
To: eComments, PBA
Subject: Parent opposing gas station at 2230 North Tustin Avenue

Hello,

I am writing in opposition to the issuance of a Conditional Use Permit for the property located at 2230 N. Tustin Ave. The development is located within 500 feet of the school my child attends. I am opposed to this development due to the health and safety concerns of the current and future children in the care of Plumfield School.

Additionally, there are 5 other gas stations within 1/2 mile radius of the proposed project, therefore, it is not bringing new nor additional services to the area.

Thank you for your time and consideration,

Curt Hixson

Ocampo, Nuvia

From: Catherine Hoang <cat.hoang84@gmail.com>
Sent: Monday, June 26, 2023 2:58 PM
To: eComments, PBA
Subject: Proposed gas station at 2230 North Tustin Avenue

To Whom it may concern,

It was brought to my attention the proposed gas station facility at or near 2230 North Tustin Avenue.

My family and I are highly opposed to this as it poses not only an environmental exposure concern but a physical safety concern if built right next door to an educational facility with young children and toddlers.

--

Catherine M. Hoang
cat.hoang84@gmail.com
949-331-8214 cell

Ocampo, Nuvia

From: Jana Lichtenwalter <fsb2g2@gmail.com>
Sent: Monday, June 26, 2023 2:36 PM
To: eComments, PBA
Subject: 2230 N Tustin Ave

To whom it may concern

I am strongly against having a gas station right next to a kindergarten. There are so many health concerns and traffic situations that is very concerning.

Sent from my iPhone

Ocampo, Nuvia

From: Gabriela Morales <msgabrielamorales@gmail.com>
Sent: Monday, June 26, 2023 2:29 PM
To: eComments, PBA
Subject: Parent opposing gas station at 2230 North Tustin Avenue

Hello,

I am writing in opposition to the issuance of a Conditional Use Permit for the property located at 2230 N. Tustin Ave. The development is located within 500 feet of the school my child attends. I am opposed to this development due to the health and safety concerns of the current and future children in the care of Plumfield School.

Additionally, there are 5 other gas stations within 1/2 mile radius of the proposed project, therefore, it is not bringing new nor additional services to the area.

Thank you for your time and consideration,

Gabriela (Morales) Hixson

Ocampo, Nuvia

From: Crystal Nguyen <crystal.m.nguyen@gmail.com>
Sent: Monday, June 26, 2023 2:28 PM
To: eComments, PBA
Subject: 2230 North Tustin Avenue

To Whom This May Concern:

As a concerned parent of the Kindergarten next door, I am extremely against a gas station going in to the lot. I am concerned for my children's health and SAFETY. As a Santa Ana resident, I know there is a big homeless problem and a gas station is only going to bring more of that around. Especially with alcohol sales. There are already plenty of gas stations and liquor stores within 1/2 mile. Please do not put a gas station next door to a Kindergarten

Ocampo, Nuvia

From: Jack Potter <nyscouse@hotmail.com>
Sent: Monday, June 26, 2023 2:29 PM
To: eComments, PBA
Cc: Kim Cordoba
Subject: Development on the corner of Santa Clara/Tustin Ave. - Parent of Plumfield School Children

To Whom it May concern,

We have had children attending Plumfield since 2018 and still have one child there currently. The potential development of the corner of Santa Clara/Tustin Ave into a gas station is concerning with regard the health and safety of our child. There is already a very noticeable homeless/vagrant presence around the school and they have had some trespass issues already. With the gas station (gas/mini-mart) it brings even more reason for the homeless to stay in the area of the school.

It is also a VERY busy and difficult intersection to navigate in/out of the school premises and this will make the safety of the children/cars entering and leaving the school property even worse.

Please use common sense in the development of this corner as there is already gas stations nearby with homeless issues.

The gas stations and grocery stores already serve the need for gas/food/beverages....why are you considering putting one IMMEDIATELY next to our school?

We appreciate your kind consideration on this matter.

Thanks,

Jack Potter
Parent of Plumfield School Child

Ocampo, Nuvia

From: Jessica PrechtI <jsteaffens@gmail.com>
Sent: Monday, June 26, 2023 2:56 PM
To: eComments, PBA
Subject: 2230 North Tustin Ave

Hi,

My two year old daughter attends the preschool at Plumfield neighboring the corner of Santa Clara and Tustin Avenue. I am writing to strongly oppose the development plan to put in a gas station on the property at 2230 N. Tustin Ave. This potential project would have significant health impacts on the growing minds and bodies of hundreds if not thousands of young people in Santa Ana over the next generation. The community does not need a new gas station, especially in close proximity to where there are five other gas stations in a 1/2 mile radius that are easily accessible (17th/Tustin, 55/17th, Tustin/Fairhaven, and 2 at Santa Clara/Grand).

That land should be used to develop something that would clearly meet a community need and promote community health, such as a parklet with exercise equipment, an urban farm or anything with open space and trees. Any other developments would be fine, just please not a gas station!

Thank you,
Jessica PrechtI
626-225-0301
--
Jessica PrechtI
Cell: [\(626\) 225-0301](tel:6262250301)

Ocampo, Nuvia

From: Leslie Skorheim <leslieskorheim@gmail.com>
Sent: Monday, June 26, 2023 2:32 PM
To: eComments, PBA
Subject: 2230 North Tustin Ave.

To whom this may concern -

I do not want a gas station built and operating next door to Plumfield Kindergarten. It will cause extreme health and safety issues for the children (and their families) that attend the school.

Thank you.
Leslie Skorheim

Ocampo, Nuvia

From: Nikki Tichy <nikki@877termite.com>
Sent: Monday, June 26, 2023 2:17 PM
To: eComments, PBA
Subject: Re: 2230 North Tustin Avenue

Importance: High

To Whom It May Concern:

I am writing today as a concerned parent of the Kindergarten next door to the empty lot. My children attend the Kindergarten and I do not want my children exposed to any gas fumes.

Also, it is already a high traffic area with cars and people. If a gas station is put in by the school, I'm extremely worried about the likelihood of homeless people, as that is a rising problem in Santa Ana already.

Furthermore, I cannot imagine alcohol being sold next door to a Kindergarten and what type of traffic that will bring around my kids. There's a liquor store across the street and a grocery store. We don't need anymore near the school. There are also 5 other gas stations within ½ mile.

Please reconsider a gas station being put in right next door to a KINDERGARTEN where our children play outside.

Nikki Tichy

REGIONAL OFFICE MANAGER | THE TERMITE GUY + PEST CONTROL
FREE: 1.877.TERMITE | PHONE: 714.835.0135 | FAX: 714.835.0140

Ocampo, Nuvia

From: Mel U <6uribemelitza@gmail.com>
Sent: Monday, June 26, 2023 2:50 PM
To: eComments, PBA
Subject: 2230 North Tustin Avenue

I understand your concern about the construction of a new gas station near a kindergarten. It is indeed important to prioritize the safety and well-being of young children, especially in their immediate environment. The proximity of a gas station to a kindergarten raises several potential issues that should be carefully considered.

Firstly, the presence of a gas station introduces increased vehicular traffic in the area, which can pose a risk to the safety of children and pedestrians. The heavy flow of vehicles, combined with the hustle and bustle of a gas station, may lead to congestion, making it harder for parents, caregivers, and kindergarten staff to navigate through the area safely.

Secondly, gas stations inherently involve the handling and storage of flammable materials. While safety precautions are typically in place, accidents can still happen, and the close proximity of such a facility to a kindergarten raises concerns about potential hazards. A gas station is not an ideal neighbor for a location where young children spend their time learning and playing.

Moreover, the emissions from vehicles and fuel-related activities at a gas station can contribute to air pollution. Exposure to pollutants can have adverse health effects, particularly on young, developing lungs. Considering the vulnerability of kindergarteners and their developing respiratory systems, it becomes crucial to ensure their exposure to clean air.

Given these concerns, it would be advisable for the relevant authorities and local community to thoroughly evaluate the potential risks and benefits of having a gas station in such close proximity to a kindergarten. Alternative locations or stricter regulations regarding the construction and operation of gas stations near educational institutions might need to be considered to prioritize the safety and well-being of the children.

Melitza Uribe

06/26/2023

714-605-9709