

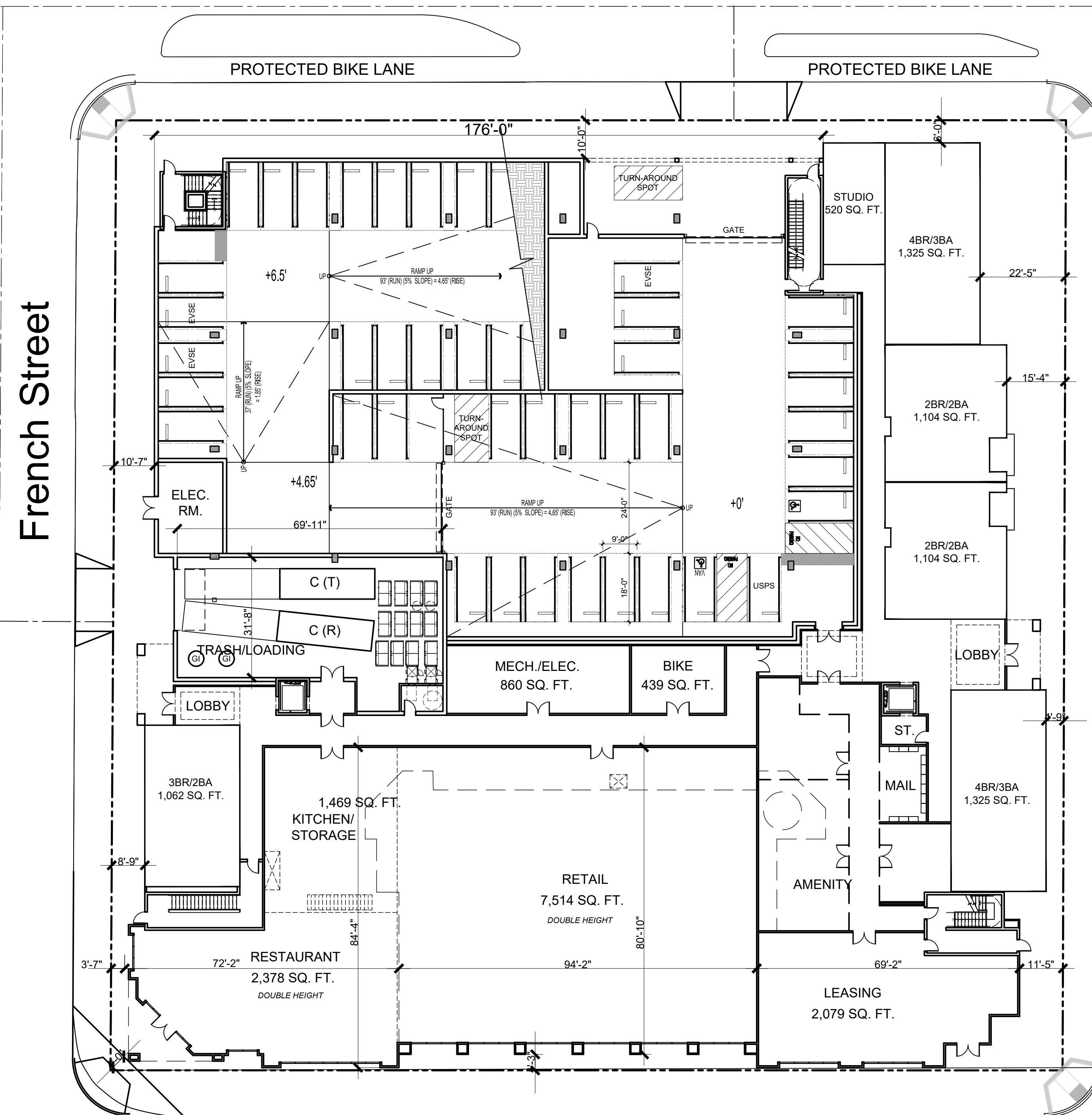








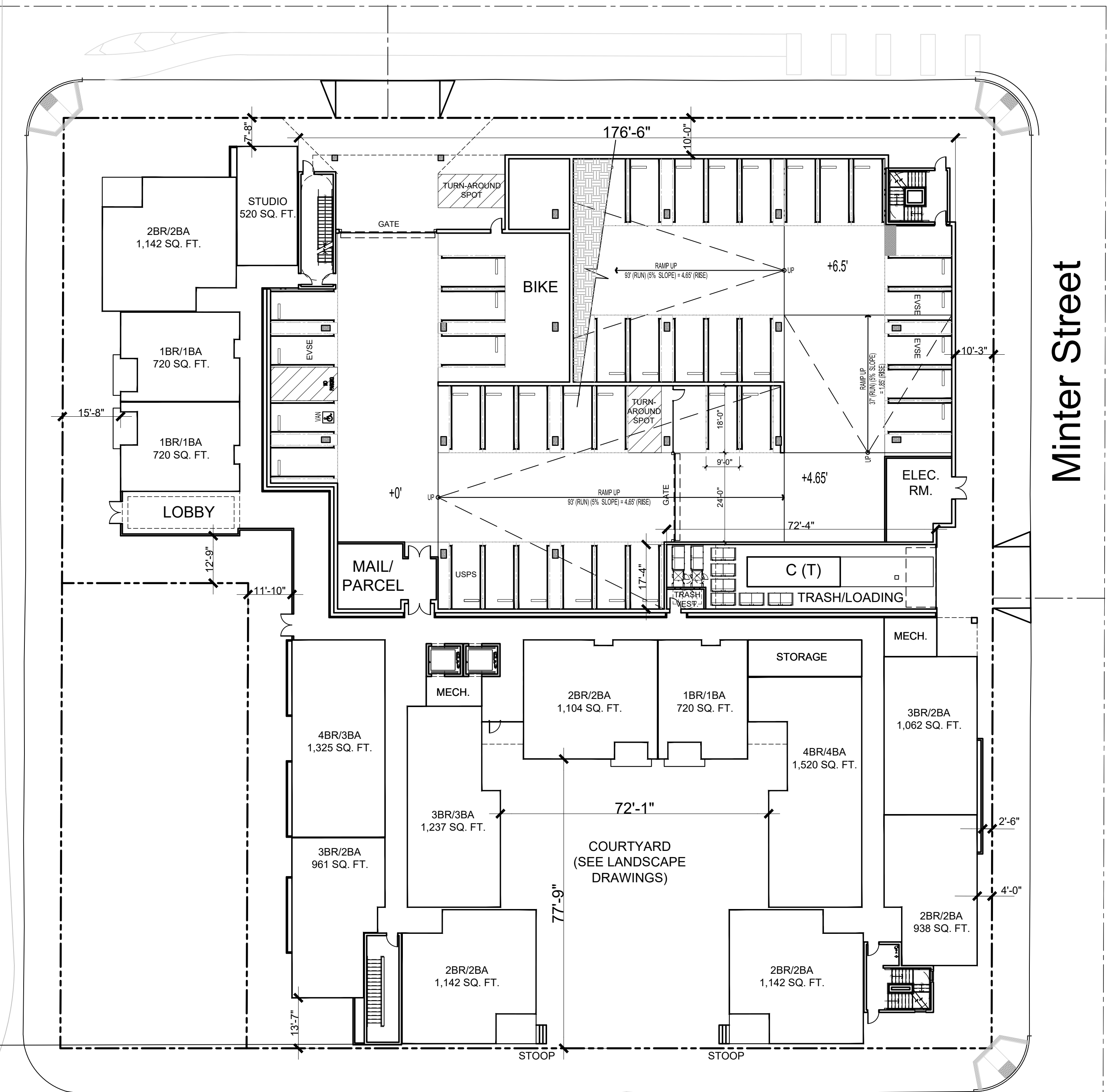
## Fifth Street



BA Level 1

## Fourth Street

FUTURE STREETCAR TRACK



BB Level 1



Fifth Street

Minter Street

French Street

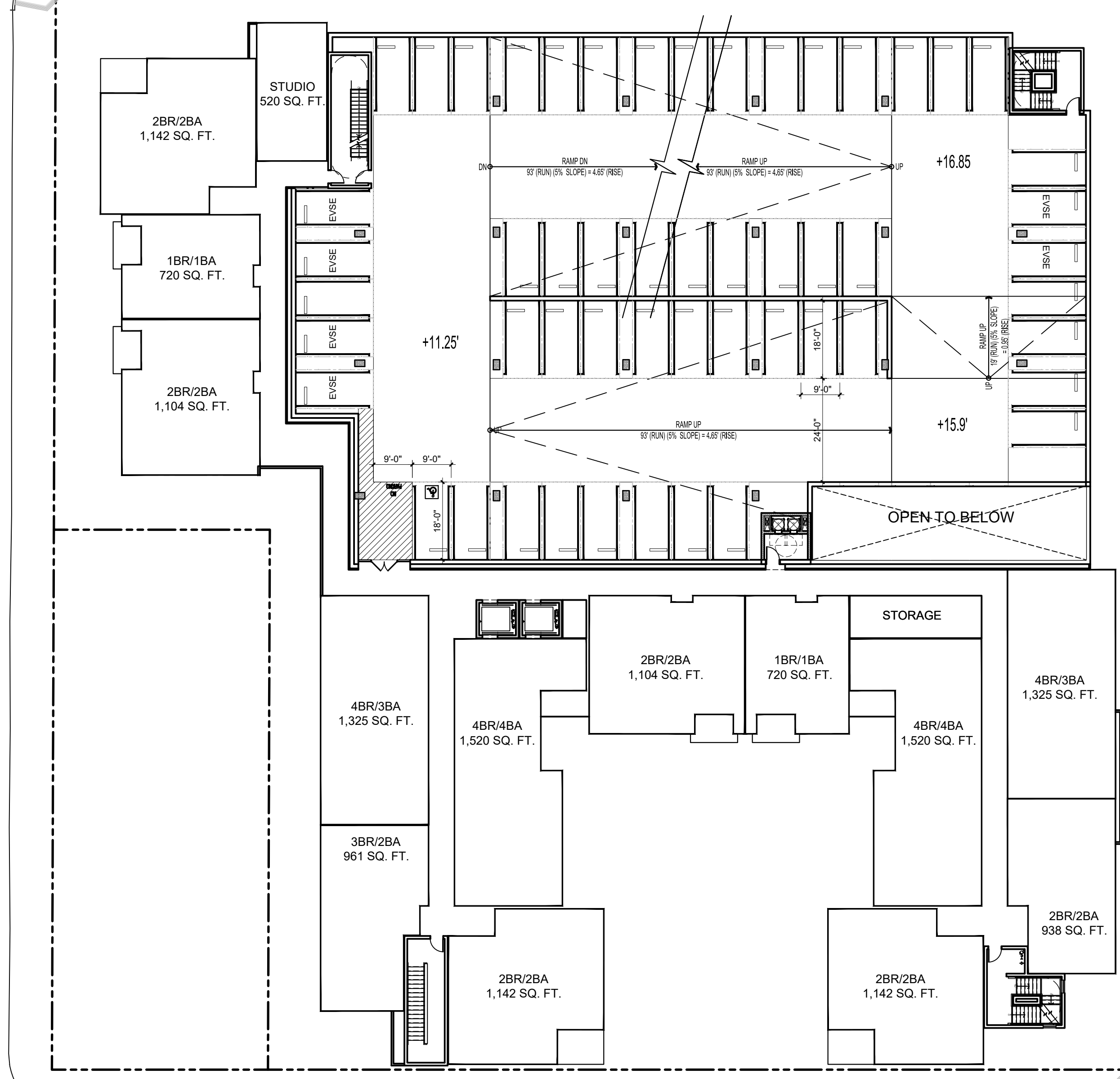
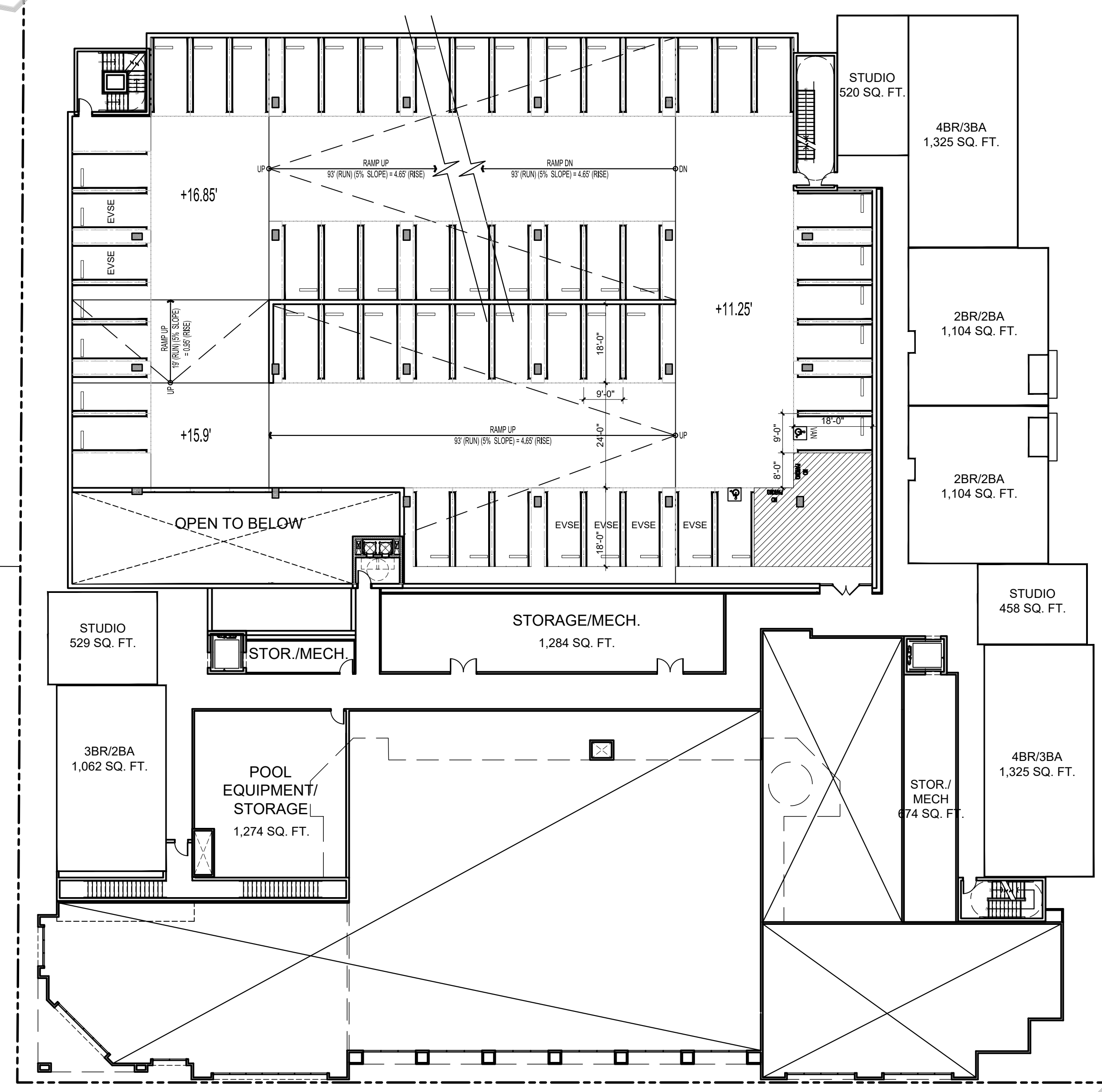
Mortimer Street

BA Level 2

Fourth Street

FUTURE STREETCAR TRACK

BB Level 2



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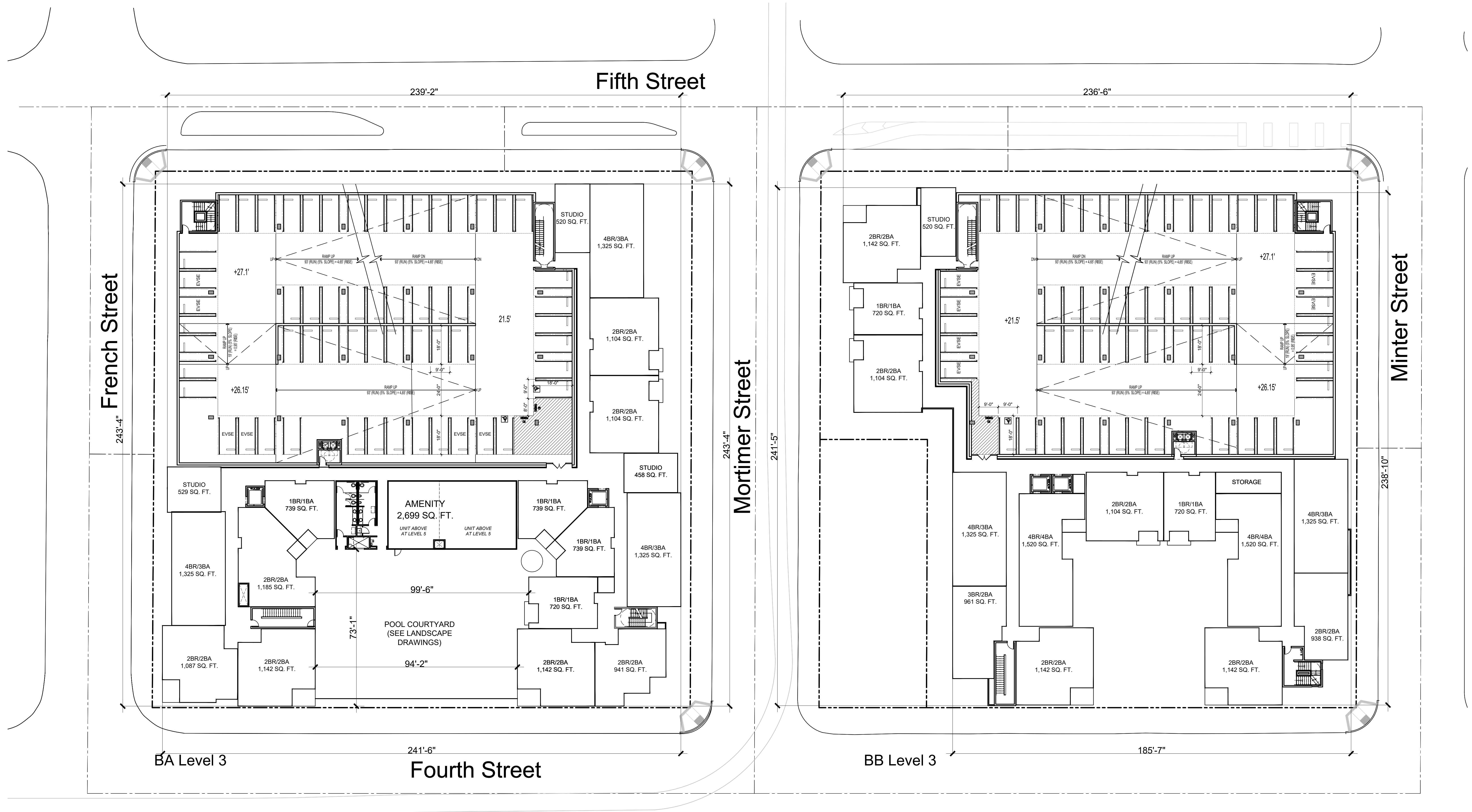
DEVELOPMENT PROJECT  
REVIEW PACKAGE  
APRIL 6, 2020



BUILDING PLAN  
LEVEL 2

A3.1







41'-3"

Minter Street

# Mortimer Street

## Fourth Street

BB Level 4



Fifth Street

Minter Street

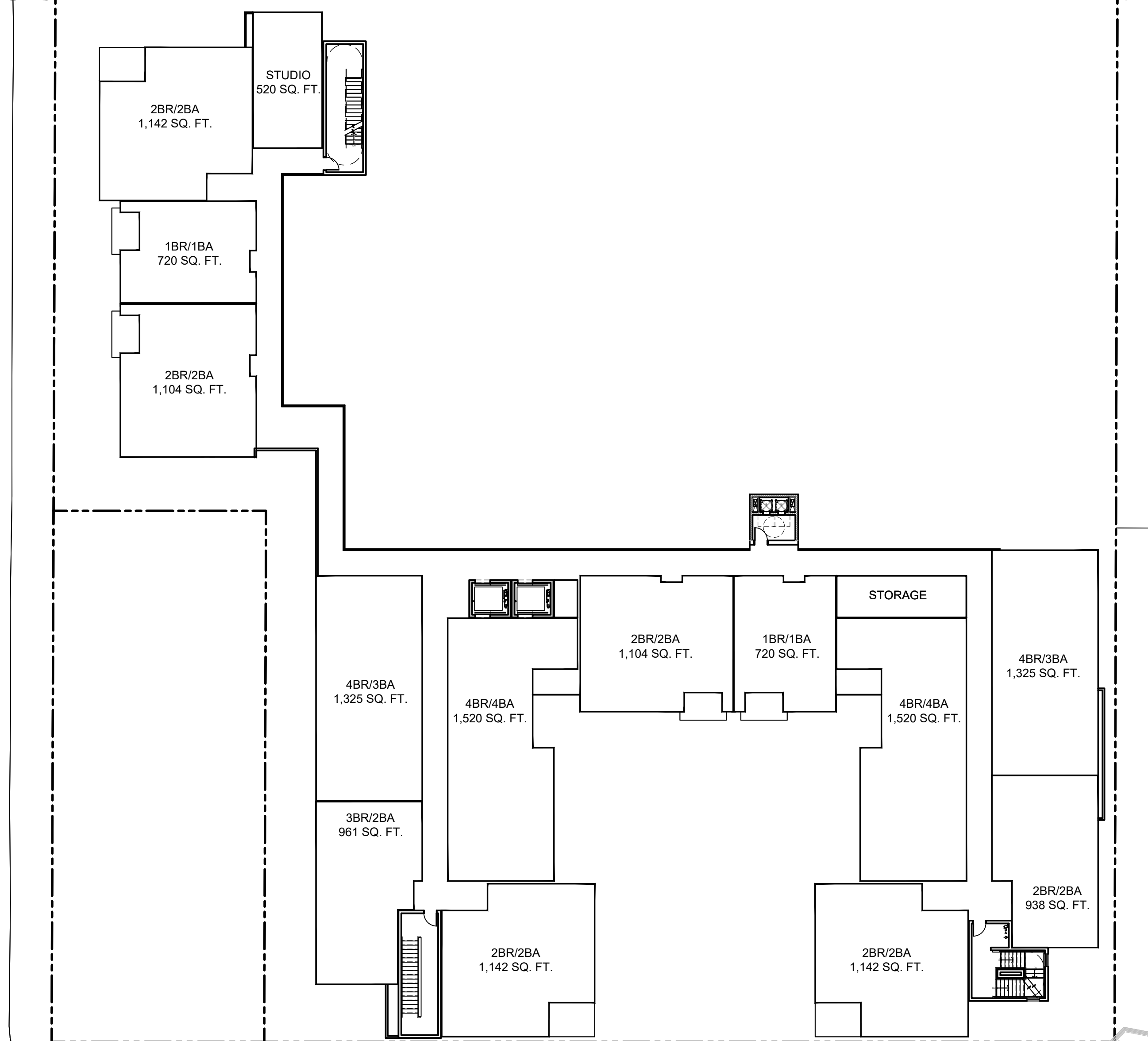
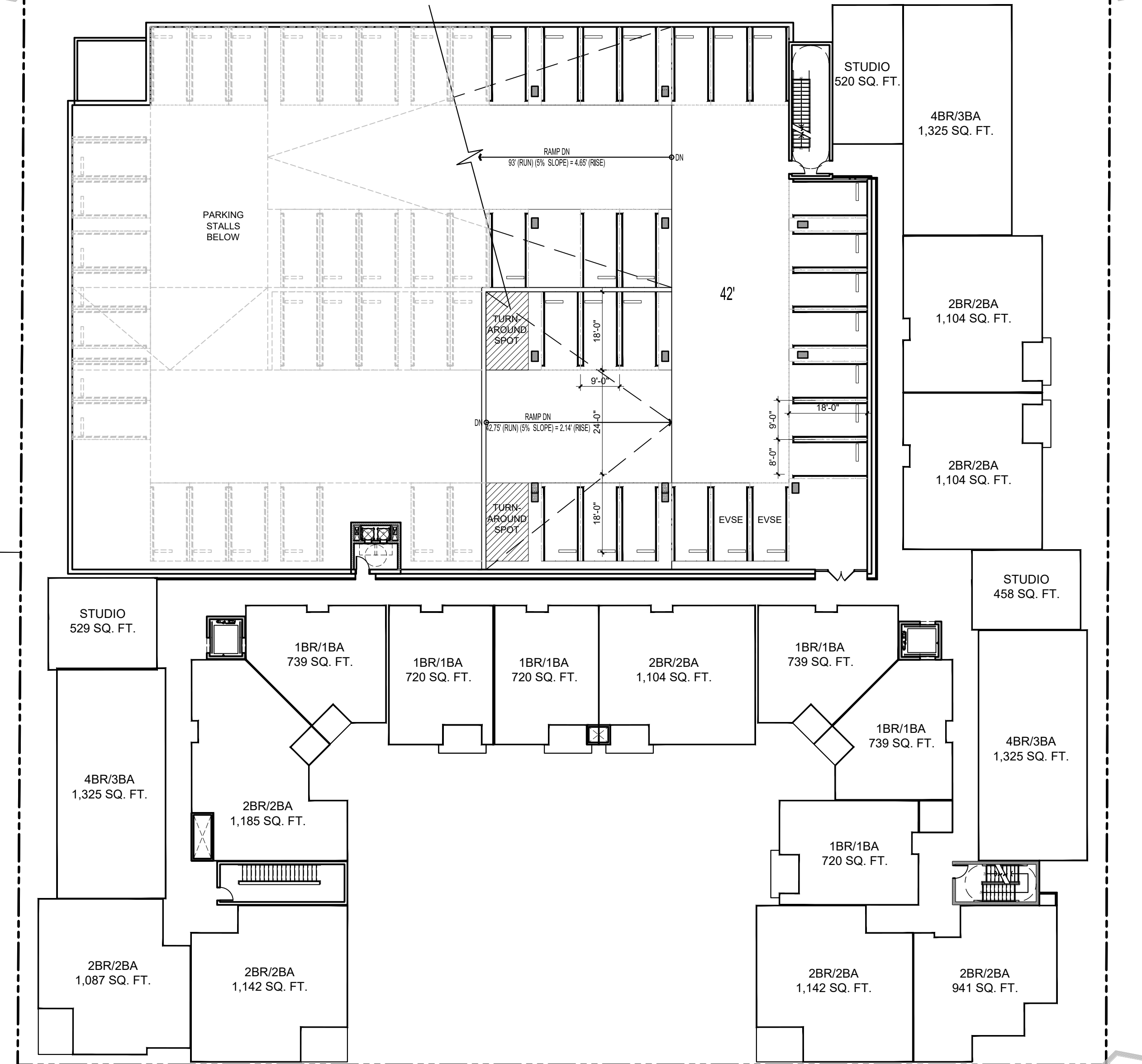
French Street

Mortimer Street

BA Level 5

Fourth Street

BB Level 5

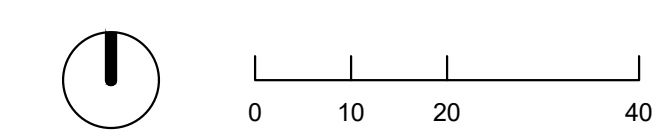


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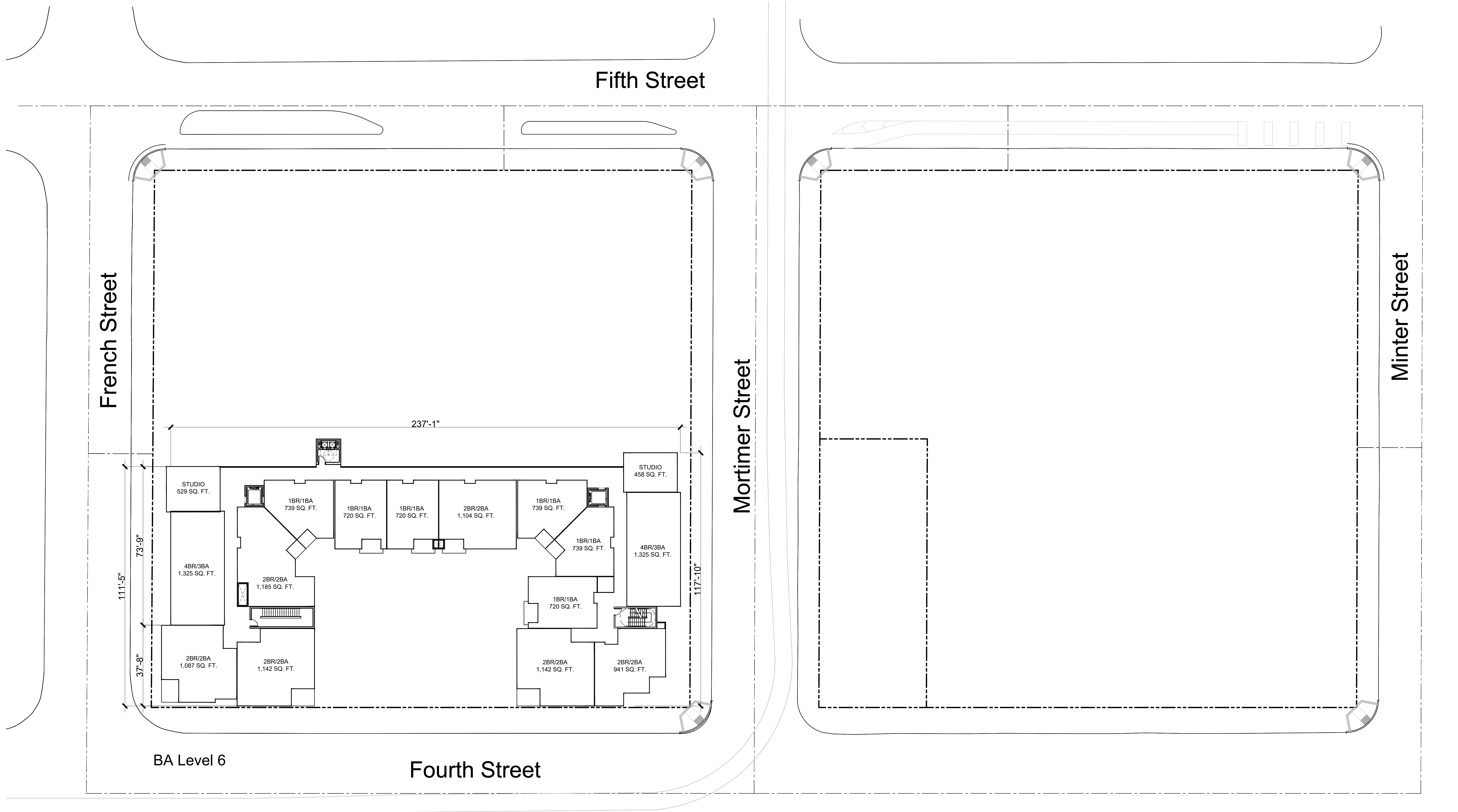
DEVELOPMENT PROJECT  
REVIEW PACKAGE  
APRIL 6, 2020



BUILDING PLAN  
LEVEL 5

A3.4



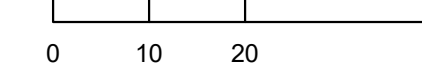
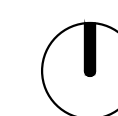


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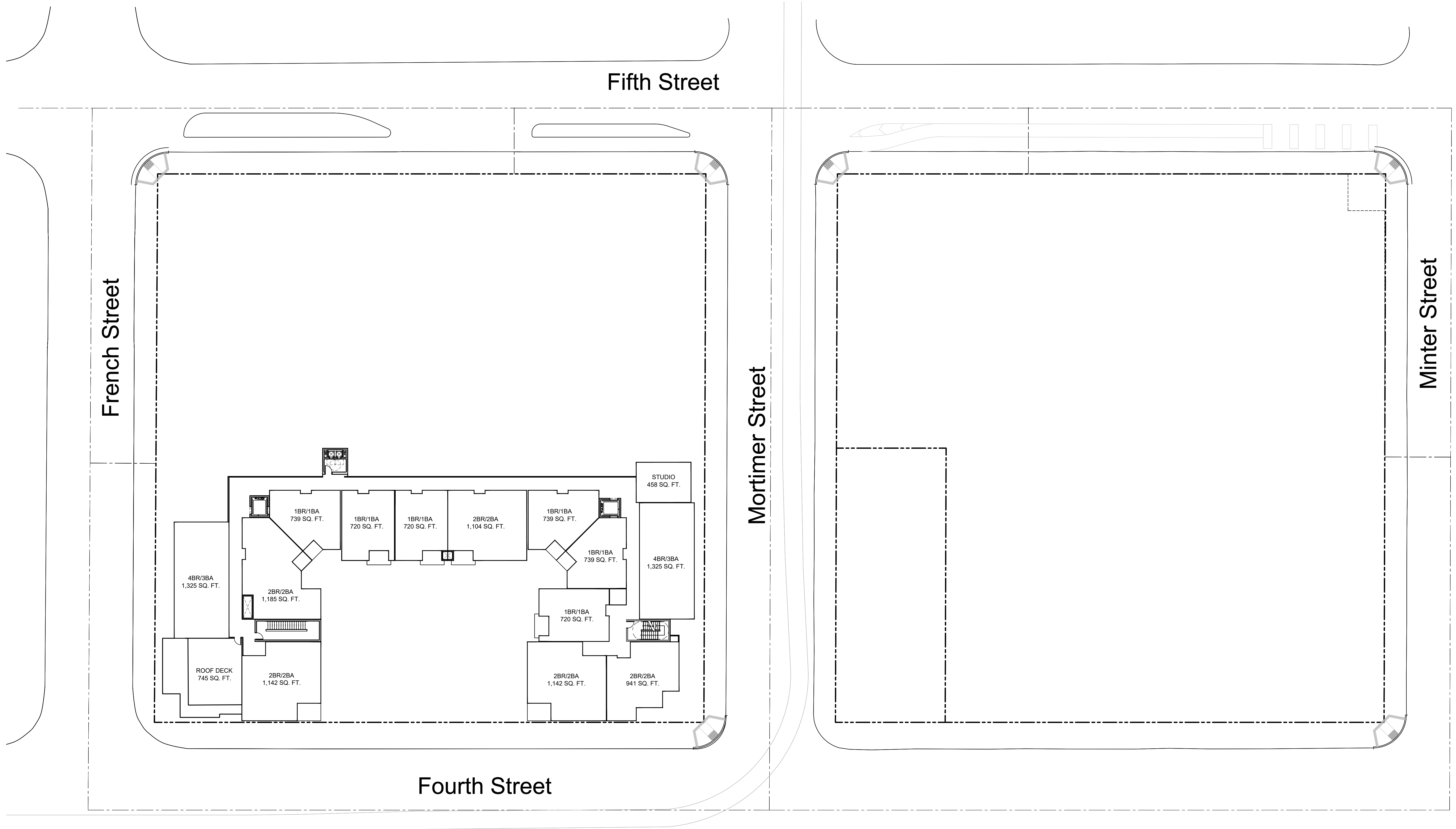
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REVIEW PACKAGE  
APRIL 6, 2020



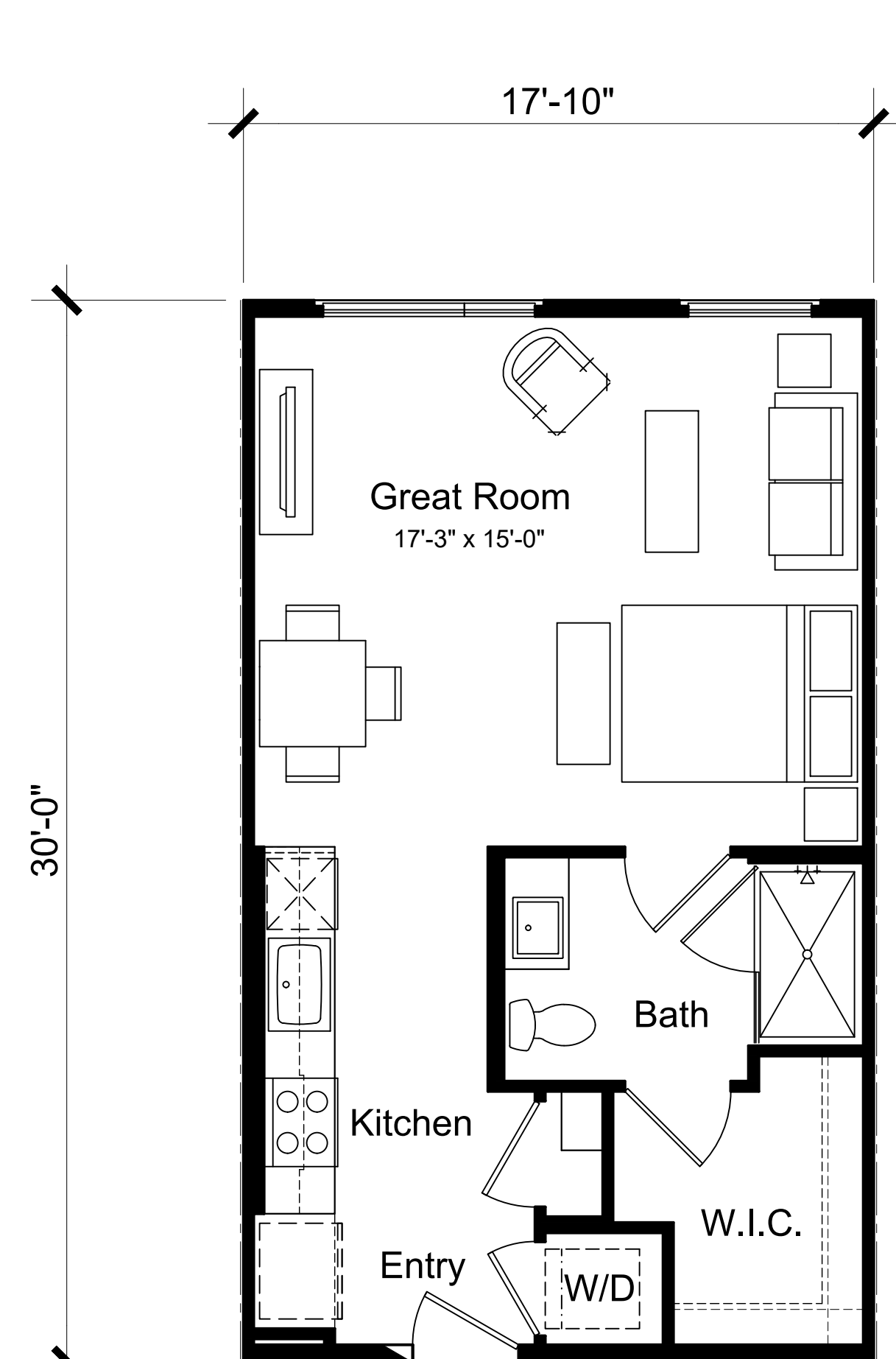
BUILDING PLAN  
LEVEL 6

**A3.5**

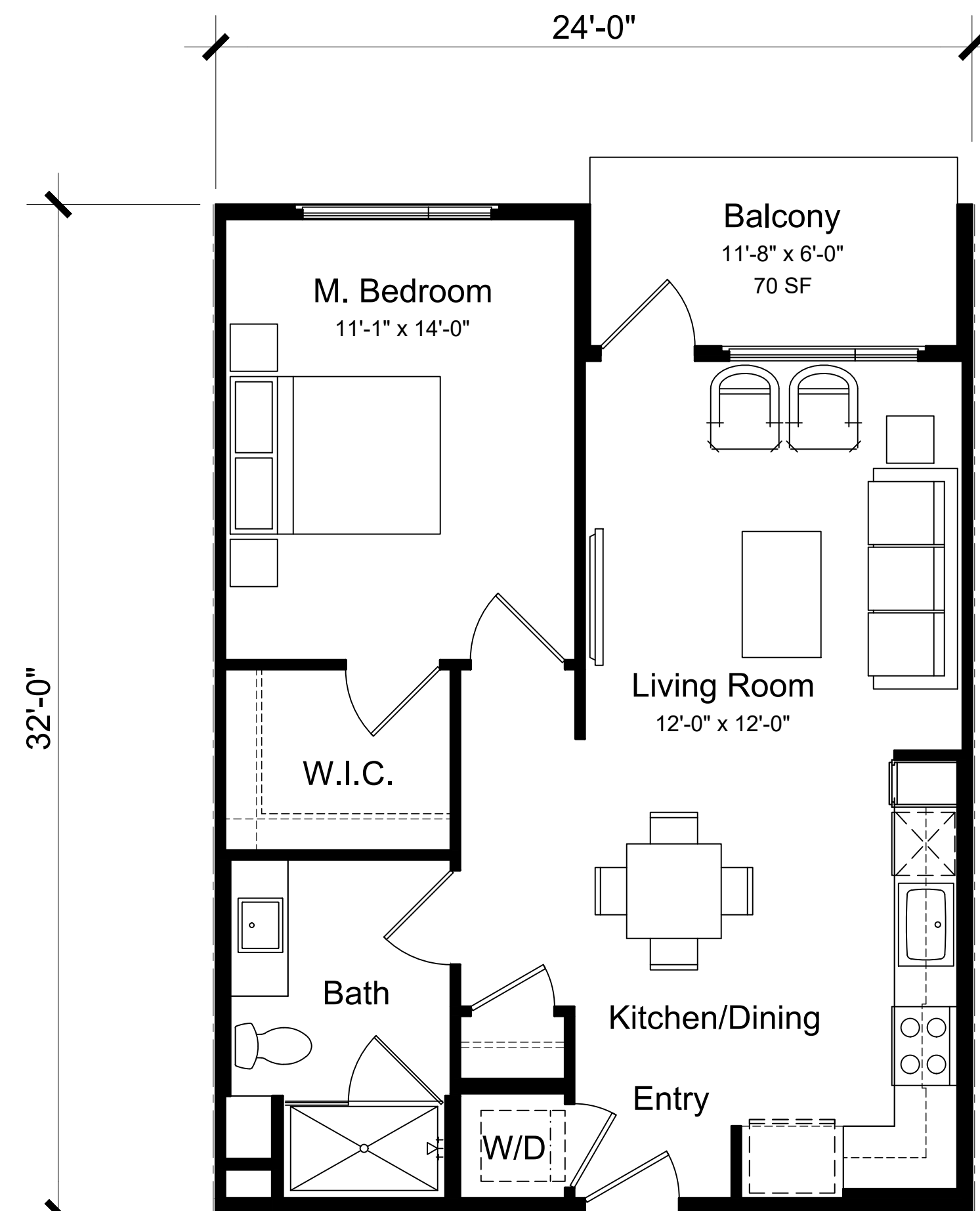




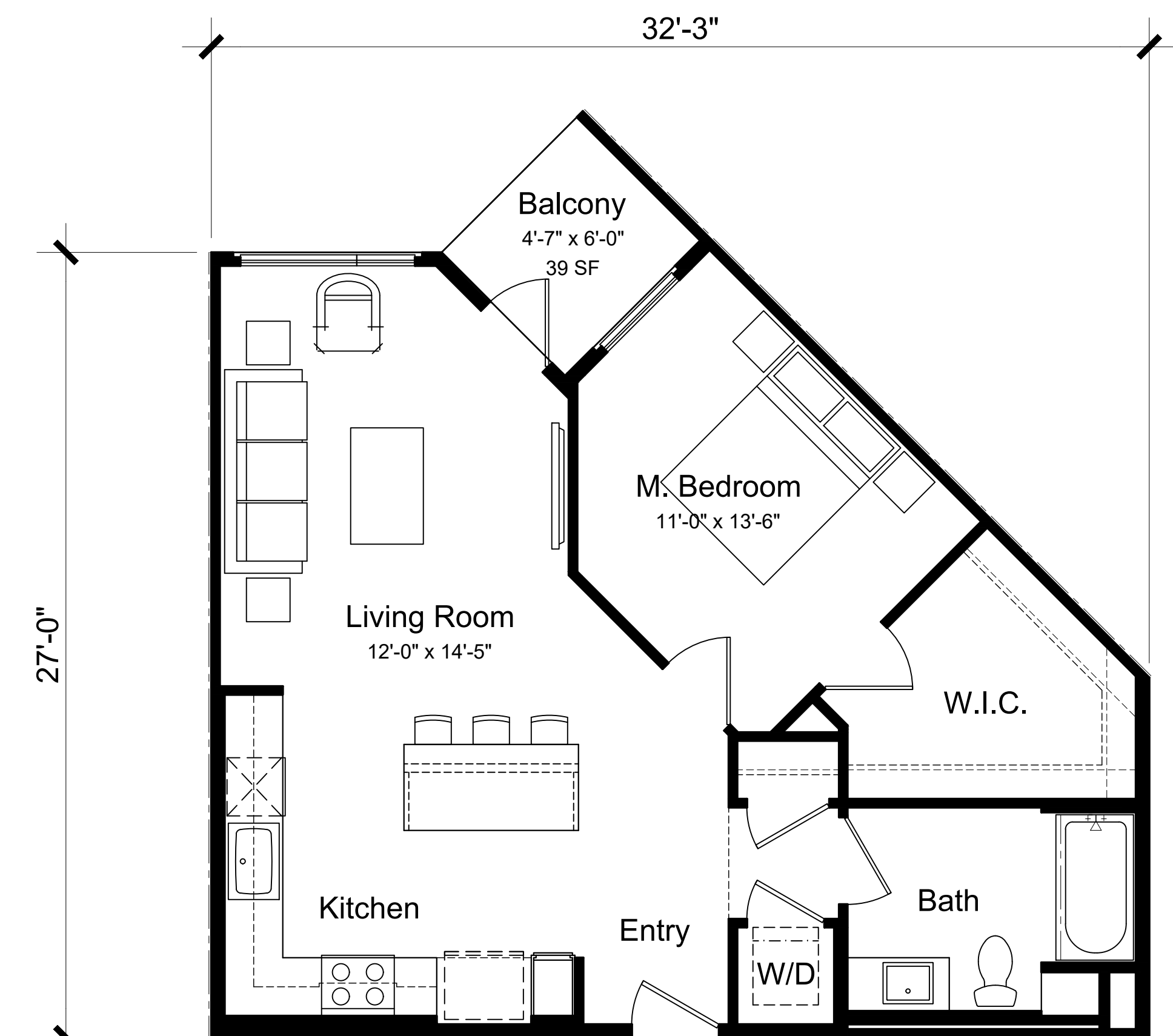




**Plan 0-1**  
Studio / 1 Bathroom  
520 SF

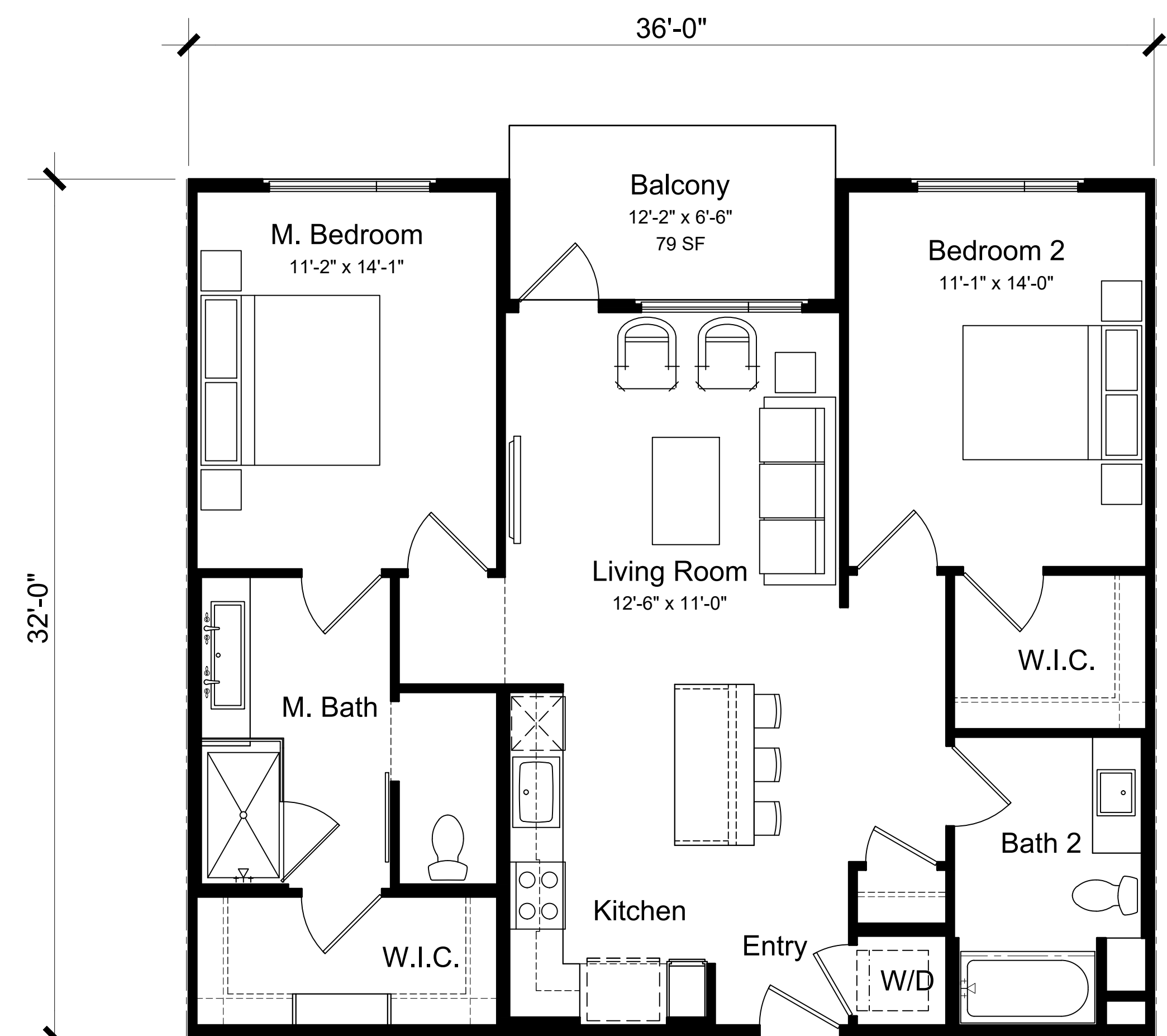


**Plan 1-1**  
1 Bedroom / 1 Bathroom  
720 SF

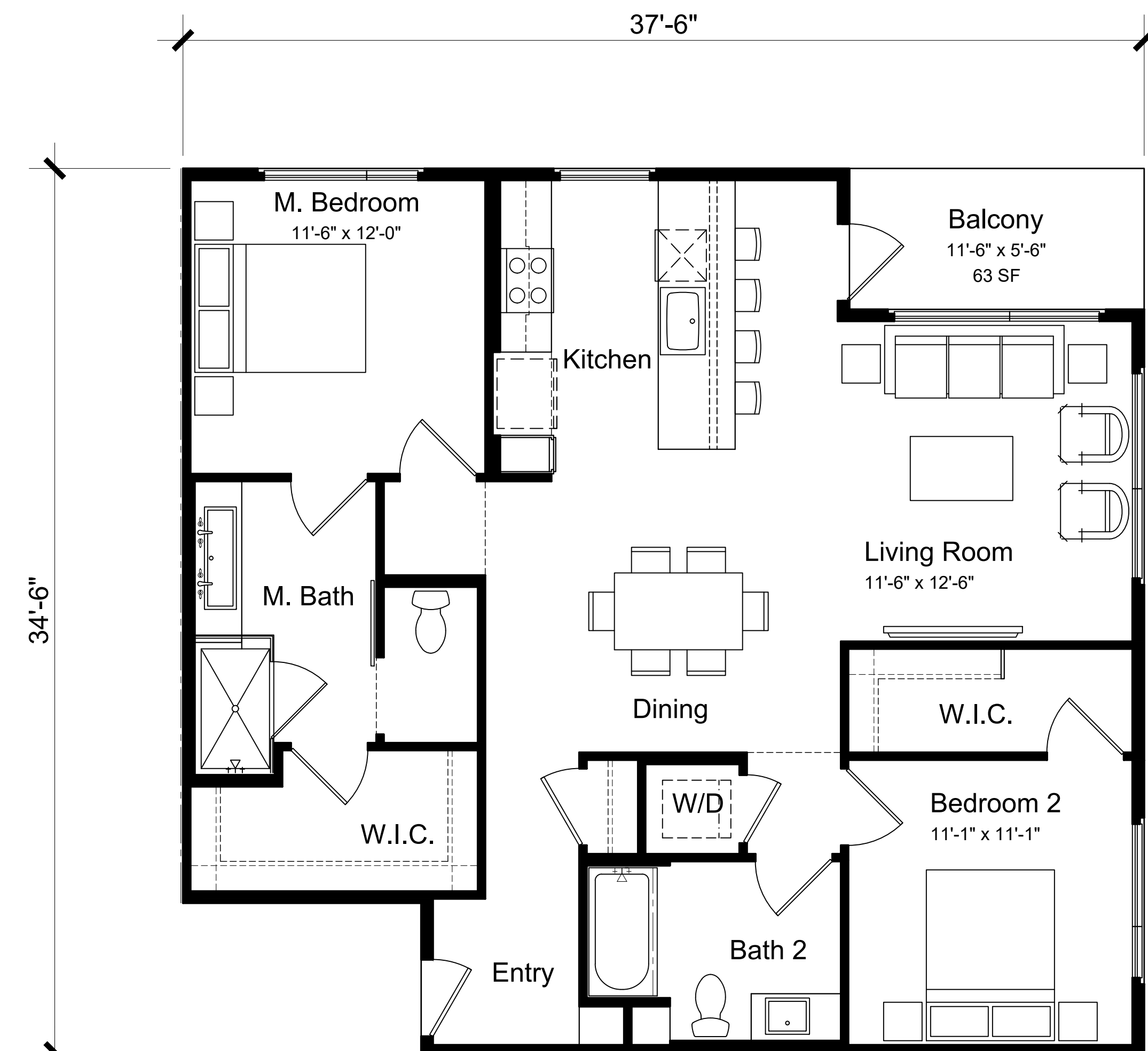


**Plan 1-2**  
1 Bedroom / 1 Bathroom  
739 SF



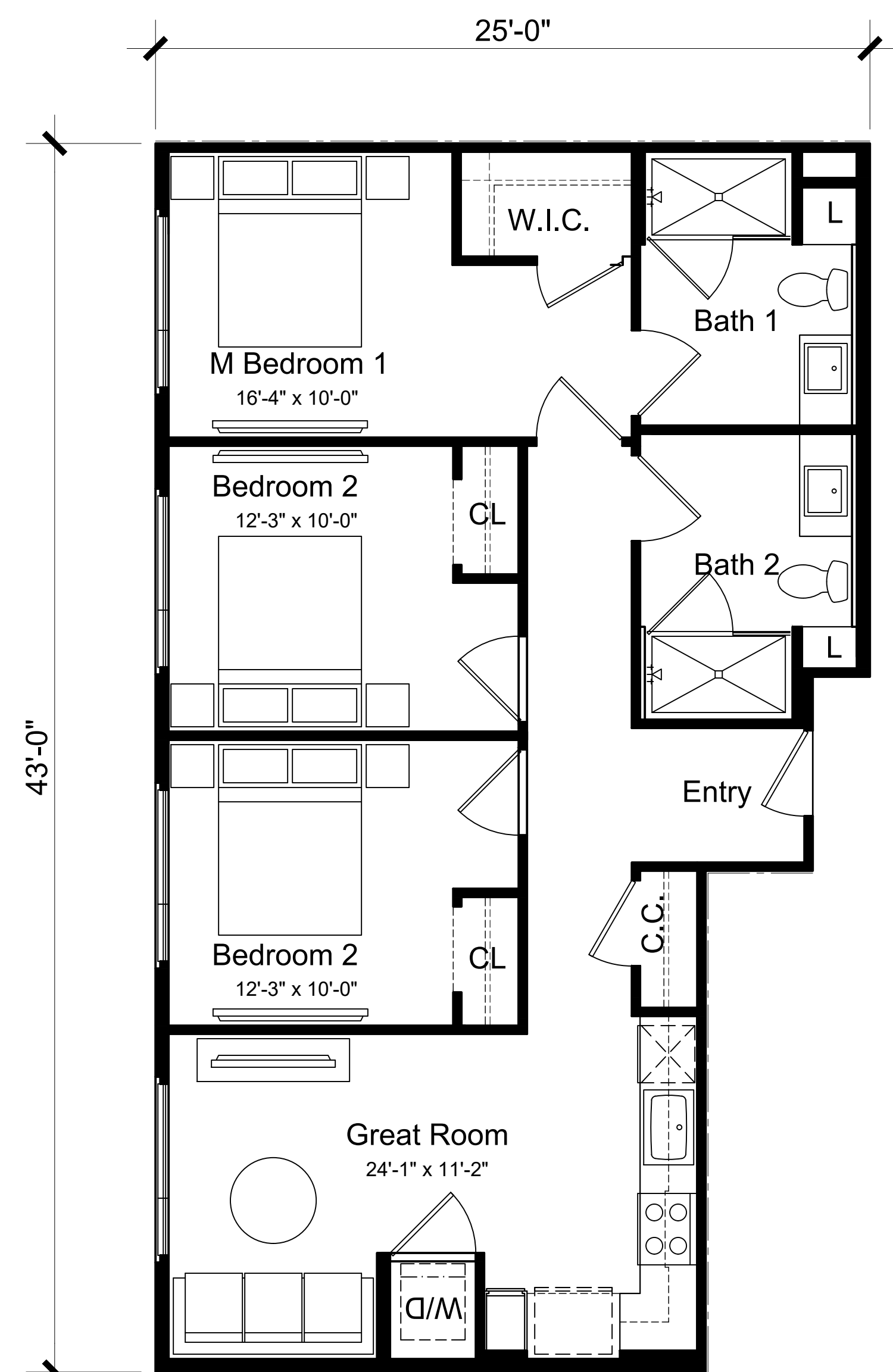


**Plan 2-1**  
2 Bedroom / 2 Bathroom  
1,104 SF

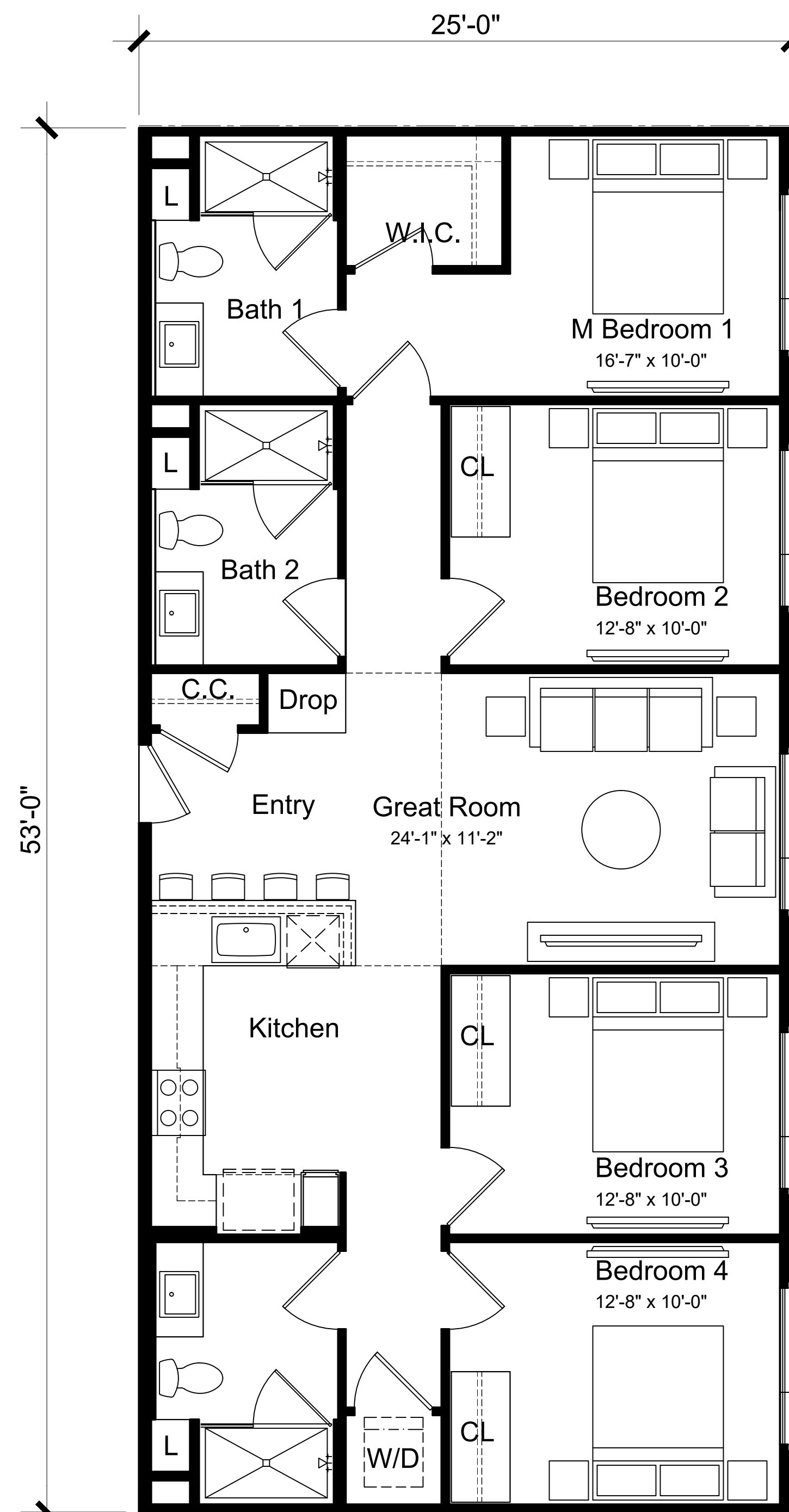


**Plan 2-2**  
2 Bedroom / 2 Bathroom  
1,142 SF

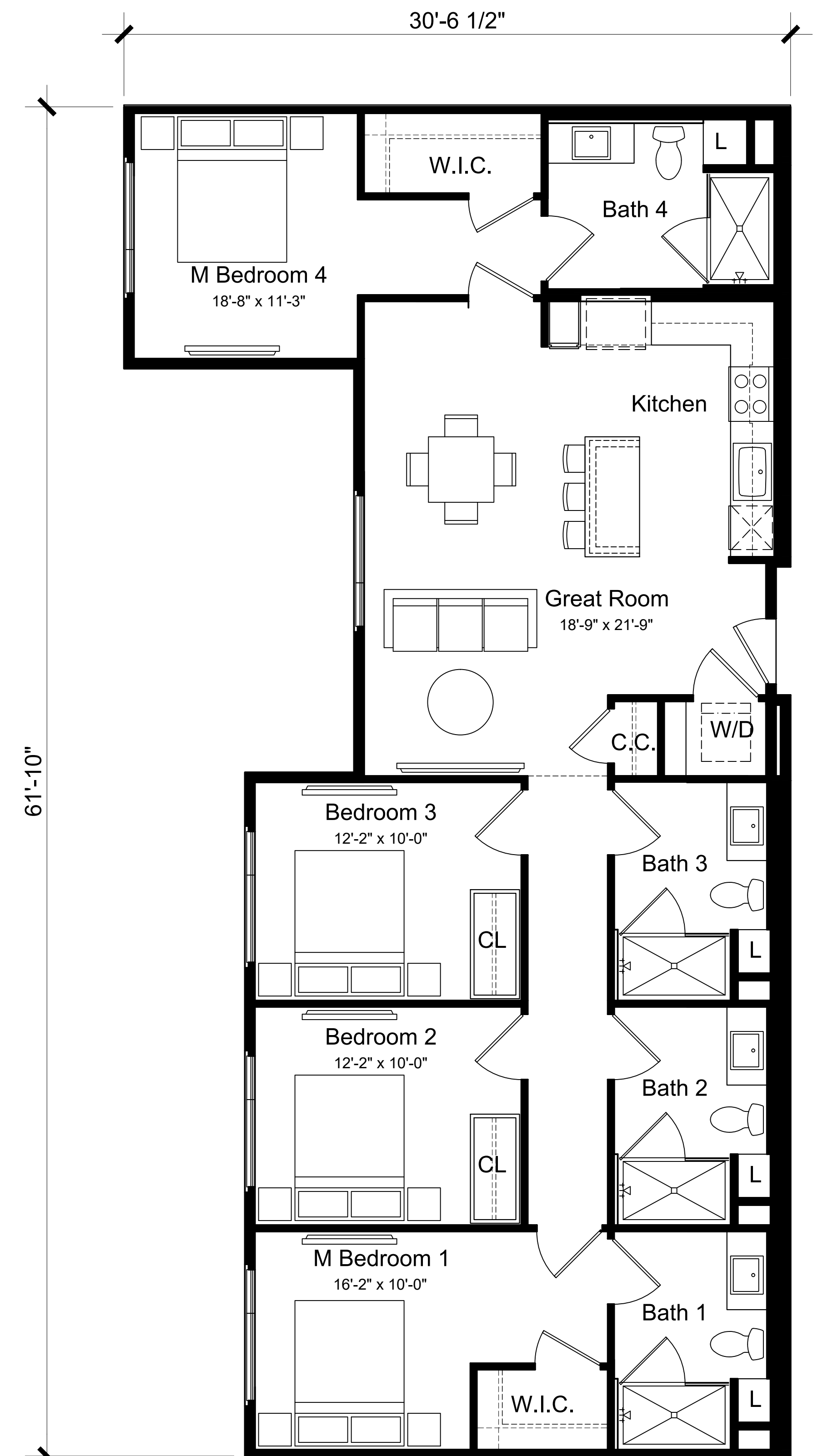




**Plan 3-2A**  
3 Bedroom / 2 Bathroom  
961 SF

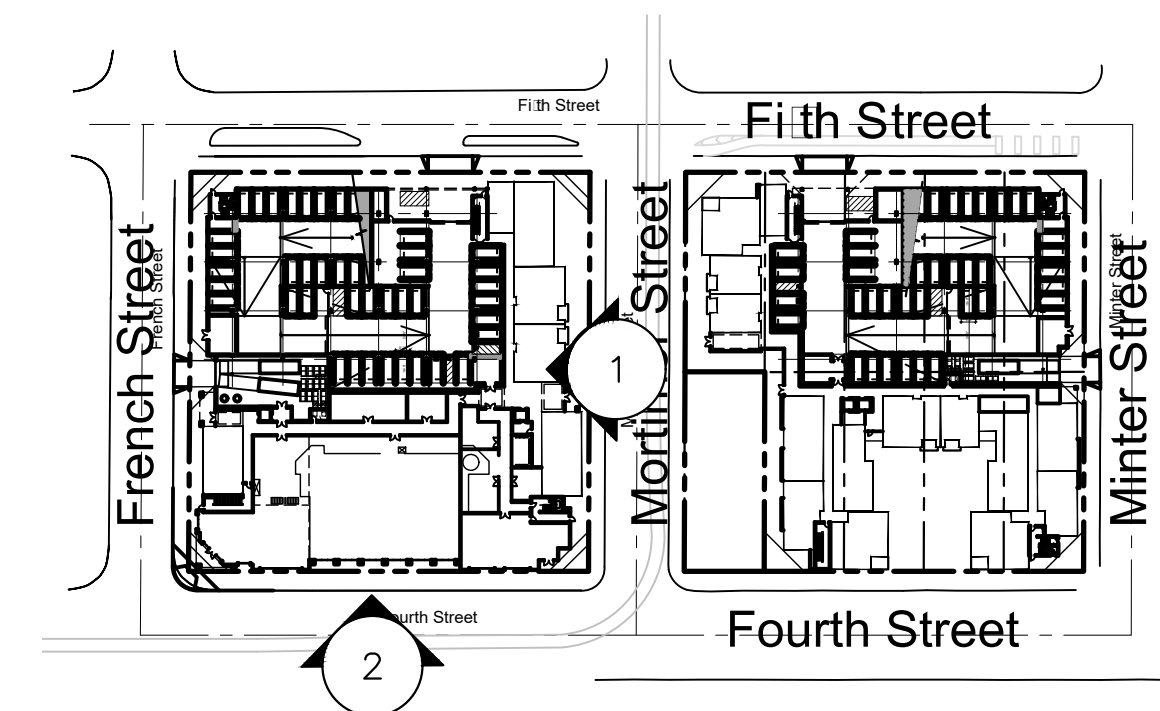


**Plan 4-3A**  
4 Bedroom / 3 Bathroom  
1,325 SF



**Plan 4-4**  
4 Bedroom / 4 Bathroom  
1,520 SF





Keymap - n.t.s.

Material Legend

1. Stucco
2. Brick Veneer
3. Decorative Panels
4. Foam Trim / Cornices
5. Glass Railing
6. Metal Railing
7. Storefront Glazing
8. Metal Trellis
9. Metal Awnning
10. Precast Wainscot
11. Artwork/Mural TBD
12. Decorative Juliet Balconies
13. Painted Concrete
14. Women Mesh Screen
15. Landscape Buffer (See Landscape Drawings)
16. Flat Concrete Tile Roof
17. Gateway Architectural Feature

2. Building 'A' - South Elevation



1. Building 'A' - East Elevation

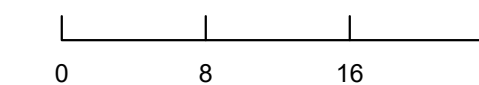


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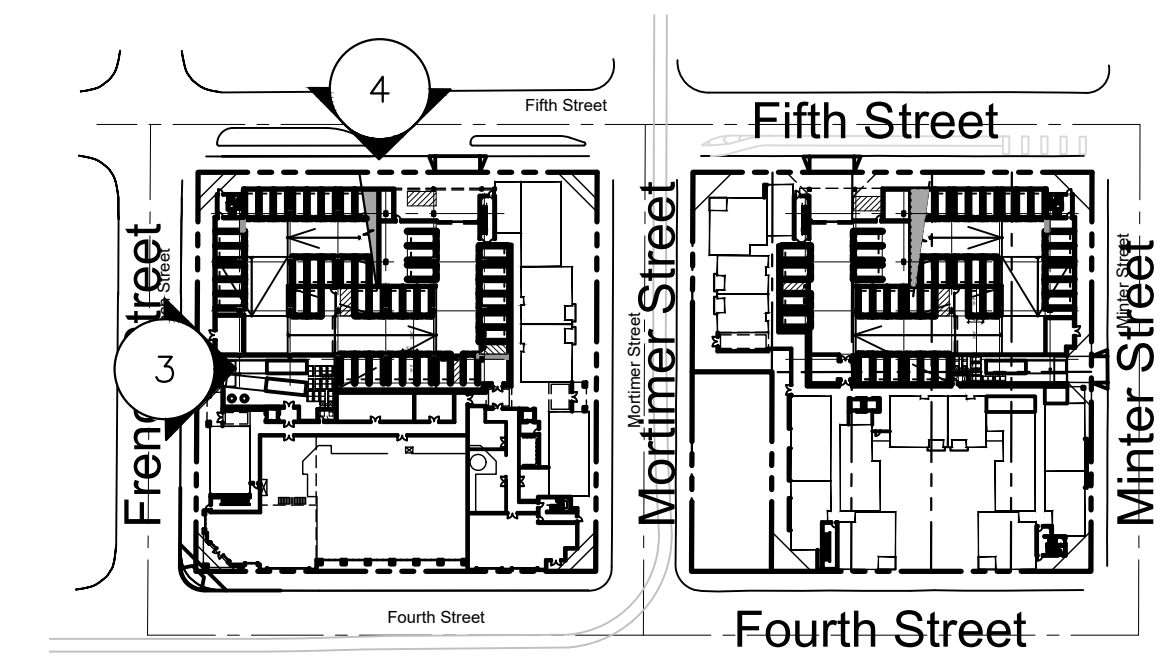
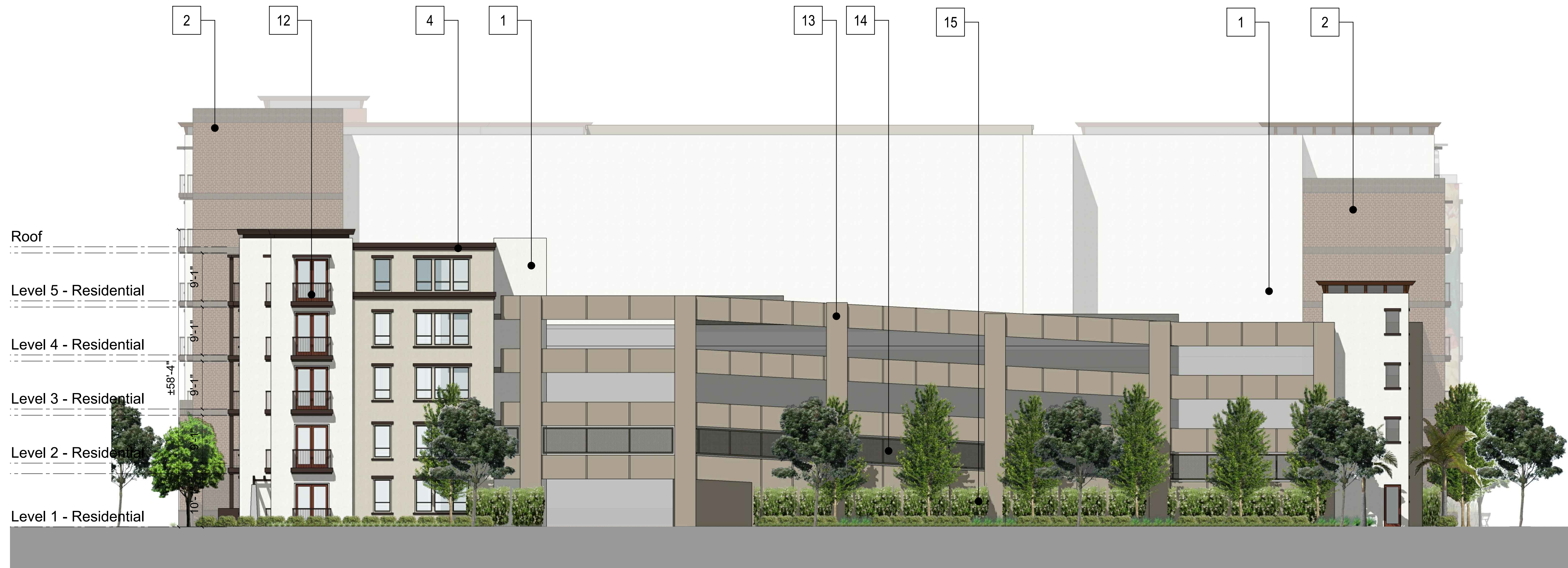
DEVELOPMENT PROJECT  
REVIEW PACKAGE  
AUGUST 24, 2020



BUILDING ELEVATIONS  
BUILDING A

A2.0





Keymap - n.t.s.

- Material Legend
1. Stucco
  2. Brick Veneer
  3. Decorative Panels
  4. Foam Trim & Corbels
  5. Glass Railing
  6. Metal Railing
  7. Storefront Glazing
  8. Metal Trellis
  9. Metal Awning
  10. Precast Wainscot
  11. Artwork/Mural TBD
  12. Decorative Juliet Balconies
  13. Painted Concrete
  14. Woven Mesh Screen
  15. Landscape Buffer (See Landscape Drawings)
  16. Flat Concrete Tile Roof
  17. Gateway Architectural Feature

4. Building 'A' - North Elevation

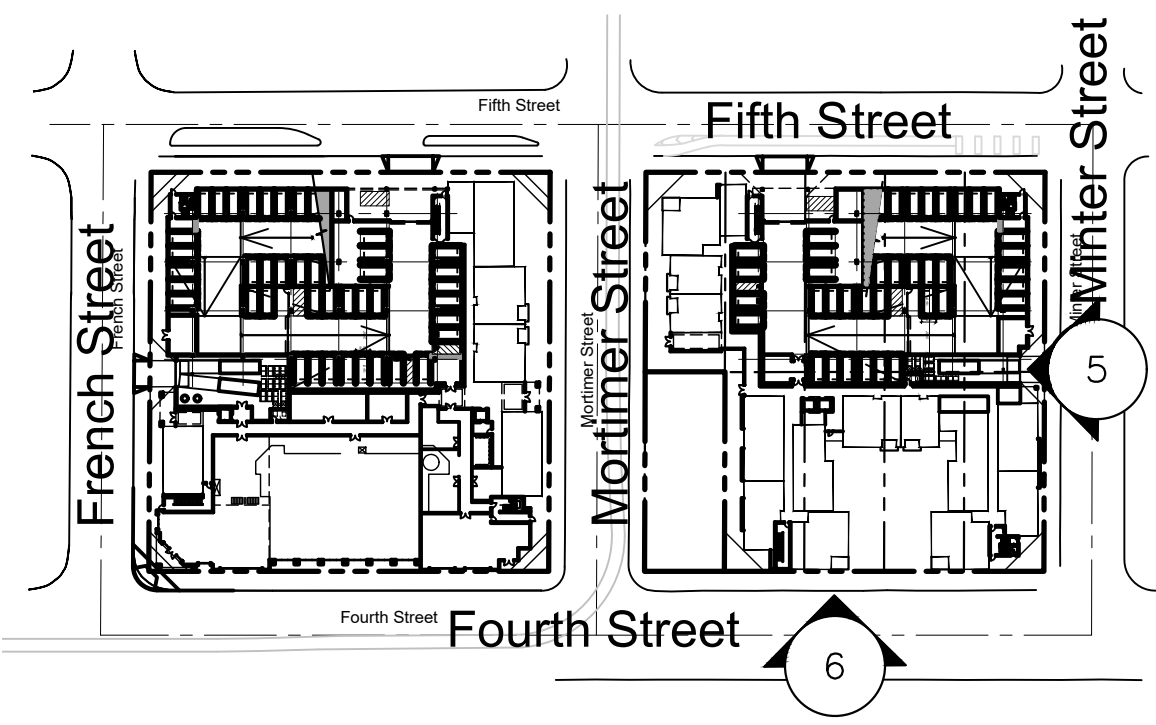


3. Building 'A' - West Elevation





6. Building 'B' - South Elevation



Keymap - n.t.s.

- Material Legend
- 1. Stucco
  - 2. Brick Veneer
  - 3. Decorative Panels
  - 4. Foam Trim & Corbels
  - 5. Glass Railing
  - 6. Metal Railing
  - 7. Storefront Glazing
  - 8. Metal Trellis
  - 9. Metal Awning
  - 10. Precast Wainscot
  - 11. Artwork/Mural TBD
  - 12. Decorative Juliet Balconies
  - 13. Painted Concrete
  - 14. Woven Mesh Screen
  - 15. Landscape Buffer (See Landscape Drawings)
  - 16. Flat Concrete Tile Roof
  - 17. Gateway Architectural Feature



5. Building 'B' - East Elevation

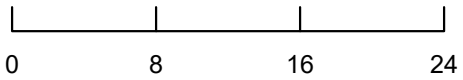


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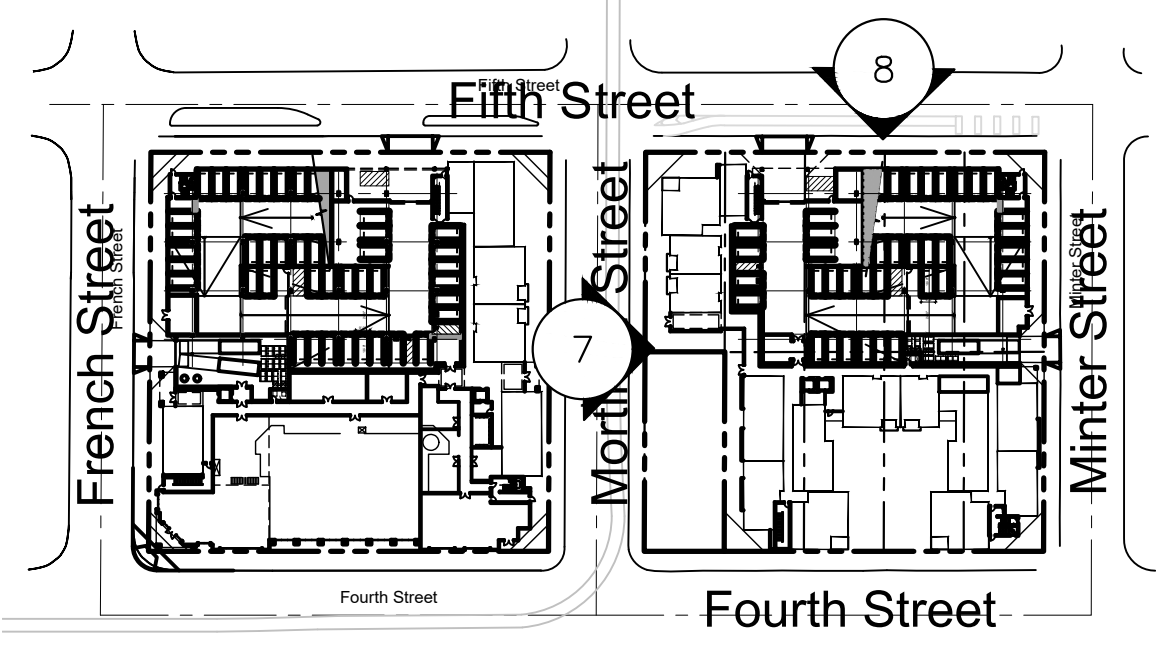
DEVELOPMENT PROJECT  
REVIEW PACKAGE  
APRIL 6, 2020



BUILDING ELEVATIONS  
BUILDING B

A2.2





- Keymap - n.t.s.**
- Material Legend**
1. Stucco
  2. Brick Veneer
  3. Decorative Panels
  4. Foam Trim & Corbels
  5. Glass Railing
  6. Metal Railing
  7. Storefront Glazing
  8. Metal Trellis
  9. Metal Awning
  10. Precast Wainscot
  11. Artwork/Mural TBD
  12. Decorative Juliet Balconies
  13. Painted Concrete
  14. Woven Mesh Screen
  15. Landscape Buffer (See Landscape Drawings)
  16. Flat Concrete Tile Roof
  17. Gateway Architectural Feature

8. Building 'B' - North Elevation



7. Building 'B' - West Elevation

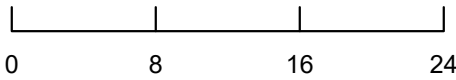


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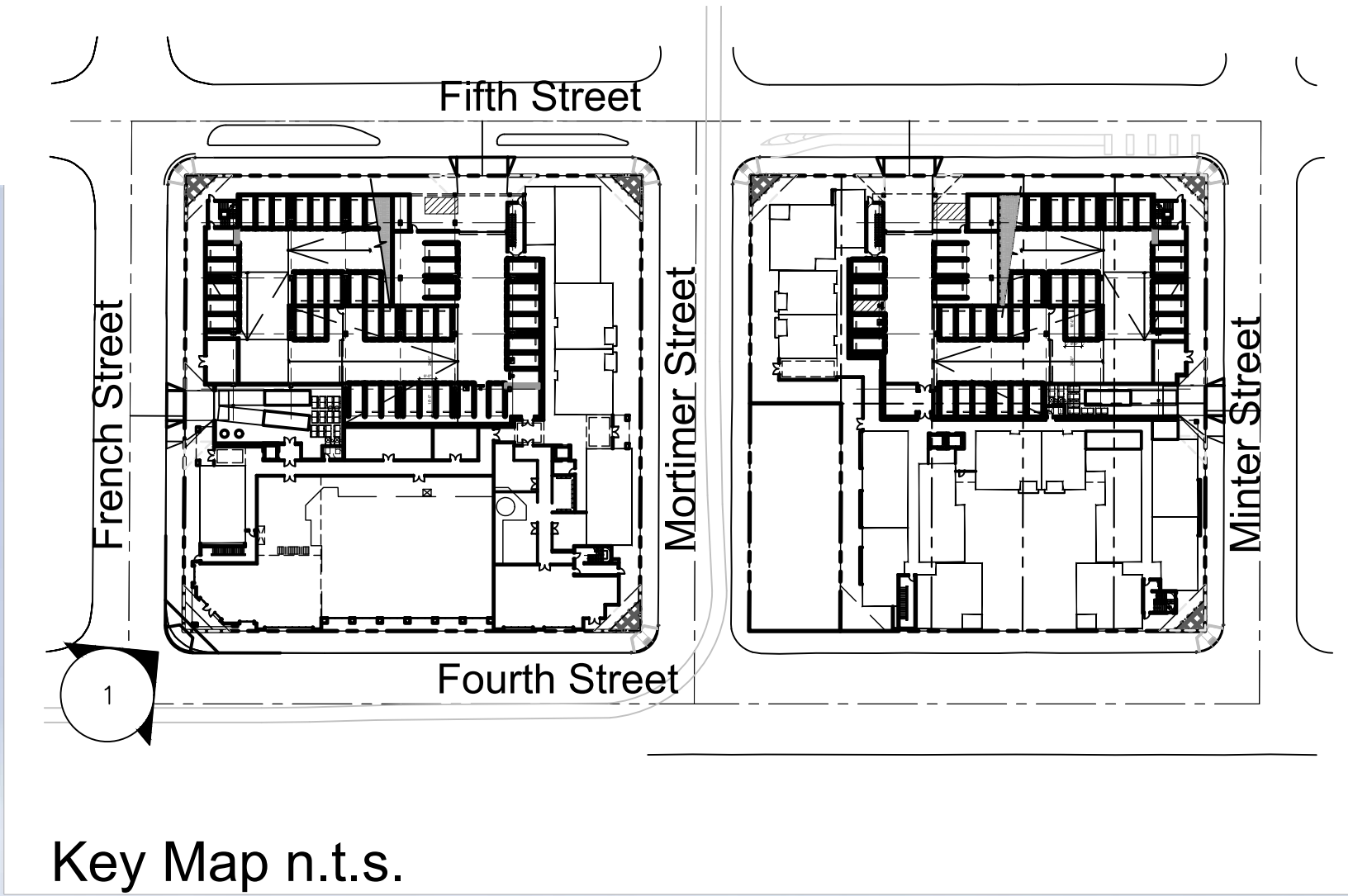
DEVELOPMENT PROJECT  
REVIEW PACKAGE  
APRIL 6, 2020



BUILDING ELEVATIONS  
BUILDING B

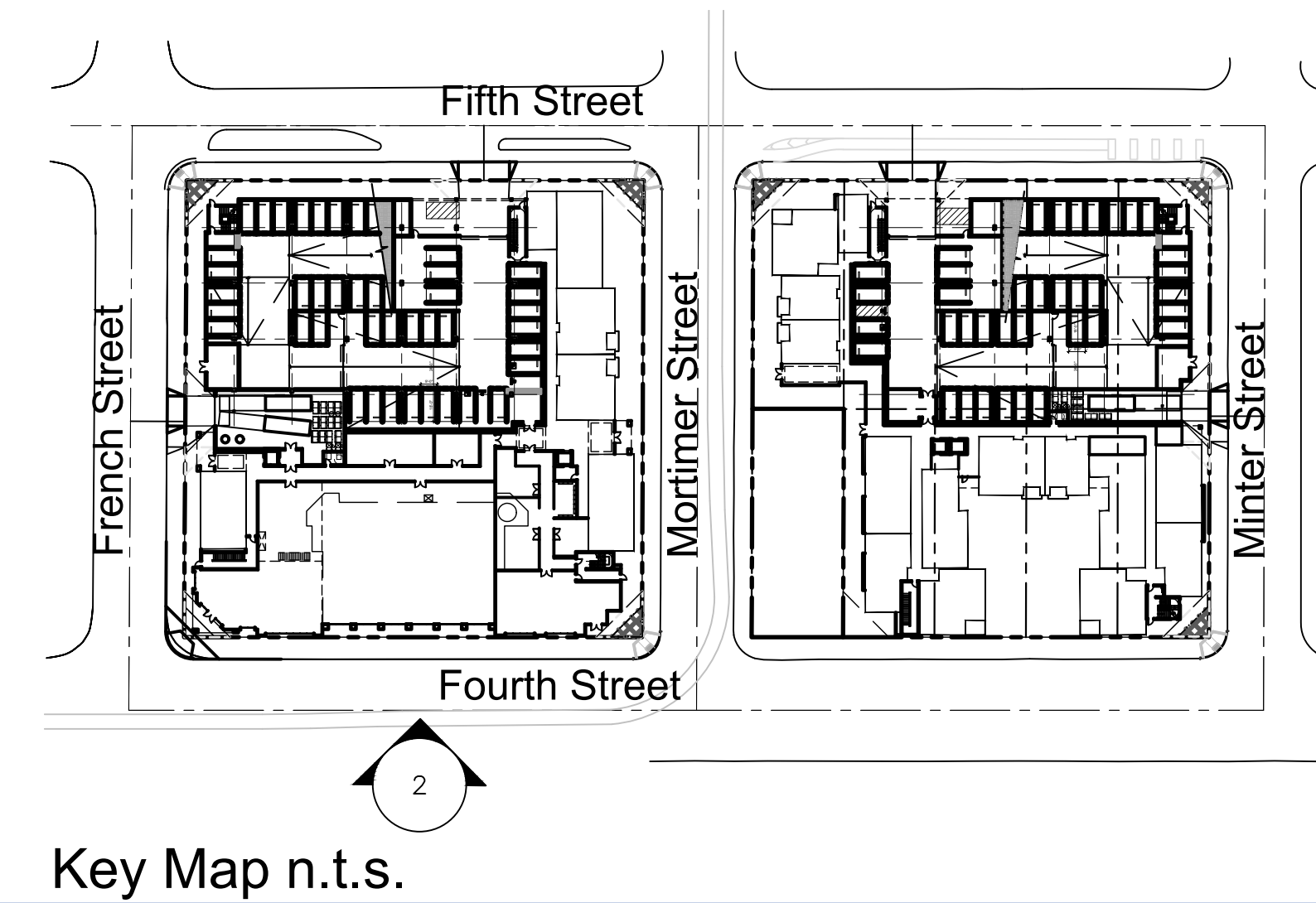
A2.3





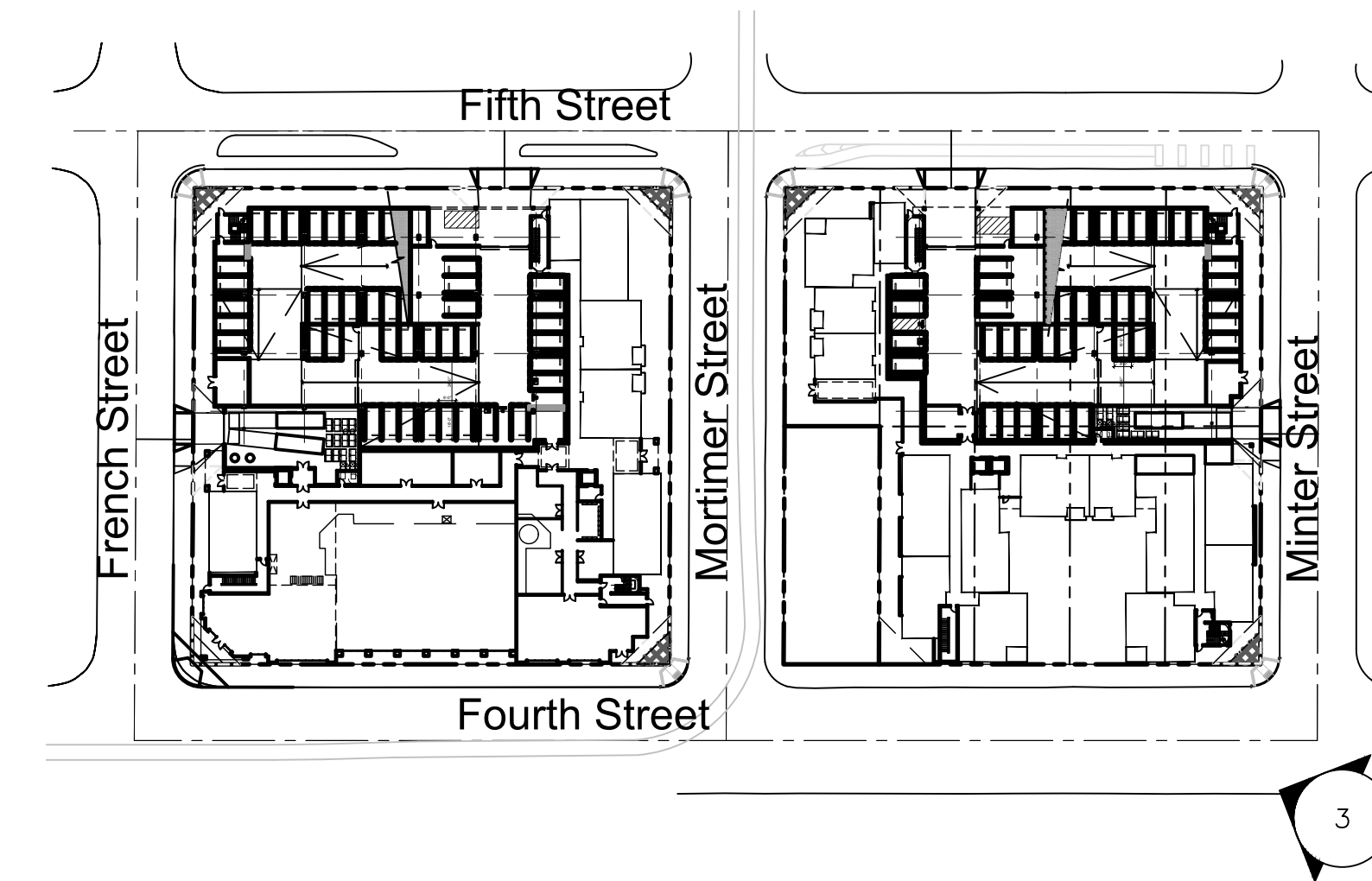
View 1 - Building A Corner Perspective





View 2 - Building A Along Fourth Street





Key Map n.t.s.



View 3 - Building B Along Fourth Street

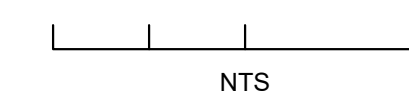


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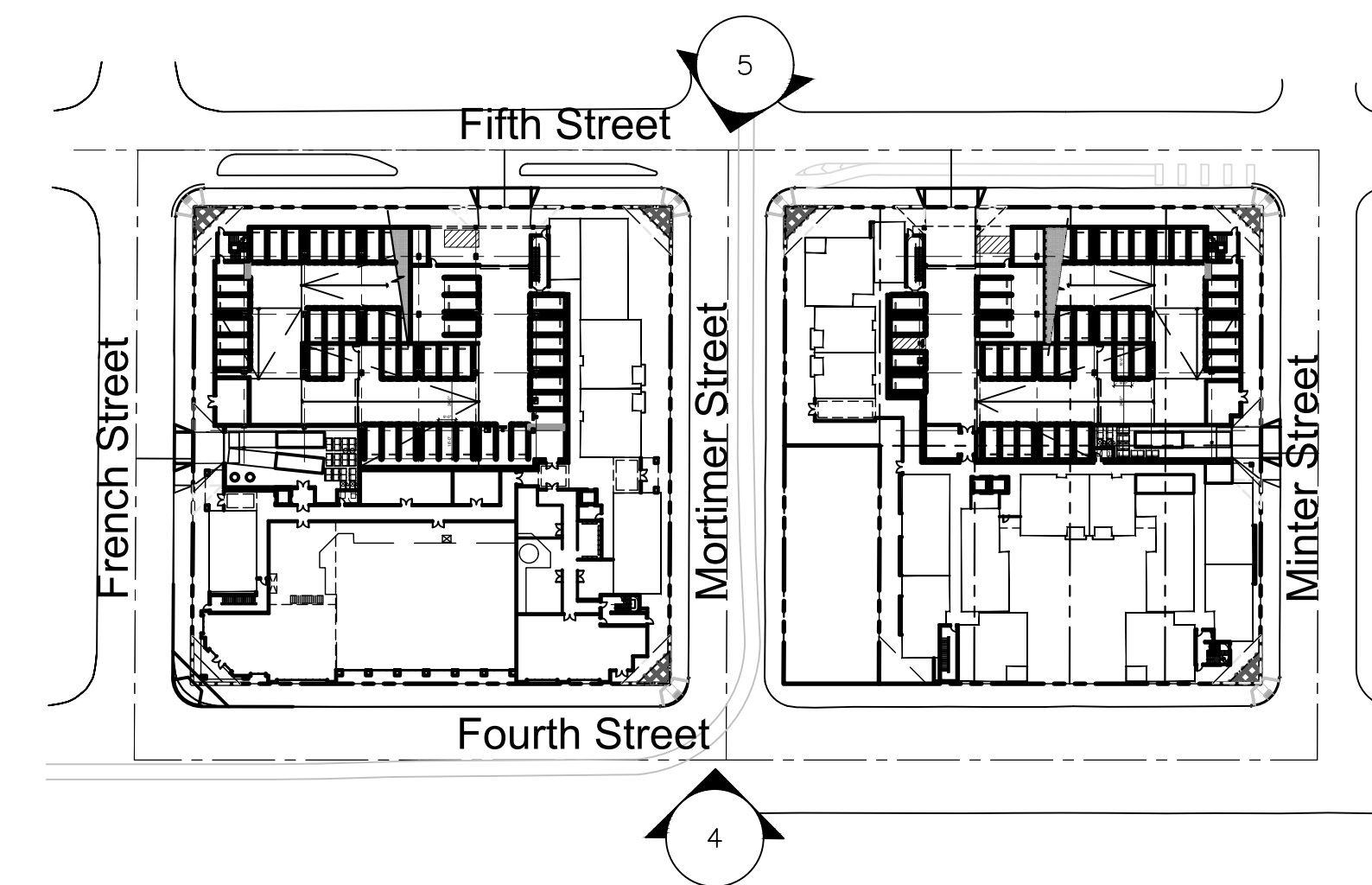
DEVELOPMENT PROJECT  
REVIEW PACKAGE  
APRIL 6, 2020



CONCEPTUAL PERSPECTIVES

A6.2





Key Map n.t.s.



View 5 - Building A at Fifth Street and Mortimer Street Intersection



View 4 - Building A & B Along Fourth Street and Mortimer Intersection

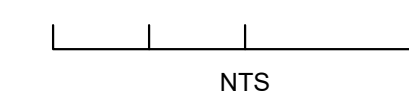


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SANTA ANA, CA # 2017-0934

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NTS

CONCEPTUAL PERSPECTIVES

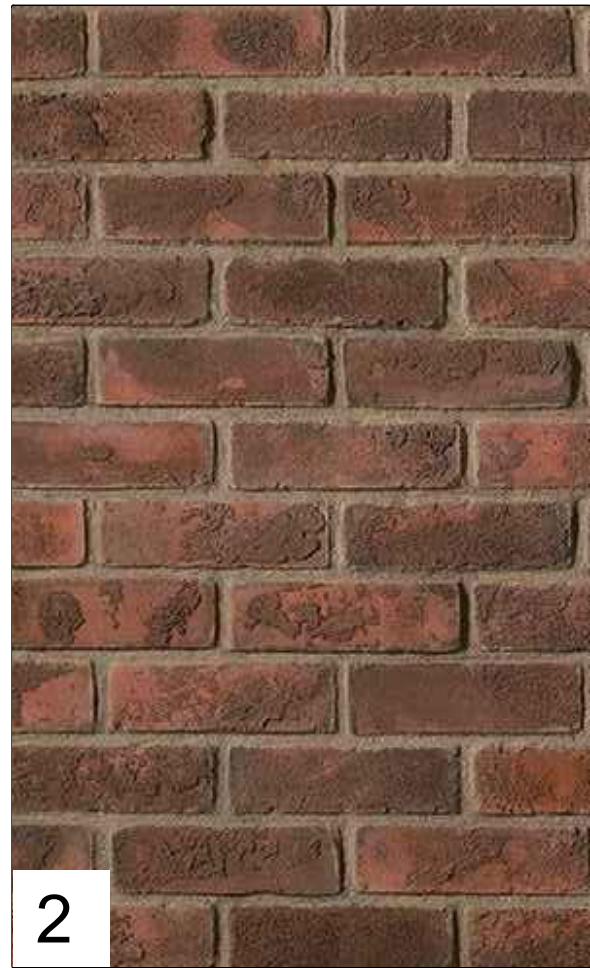
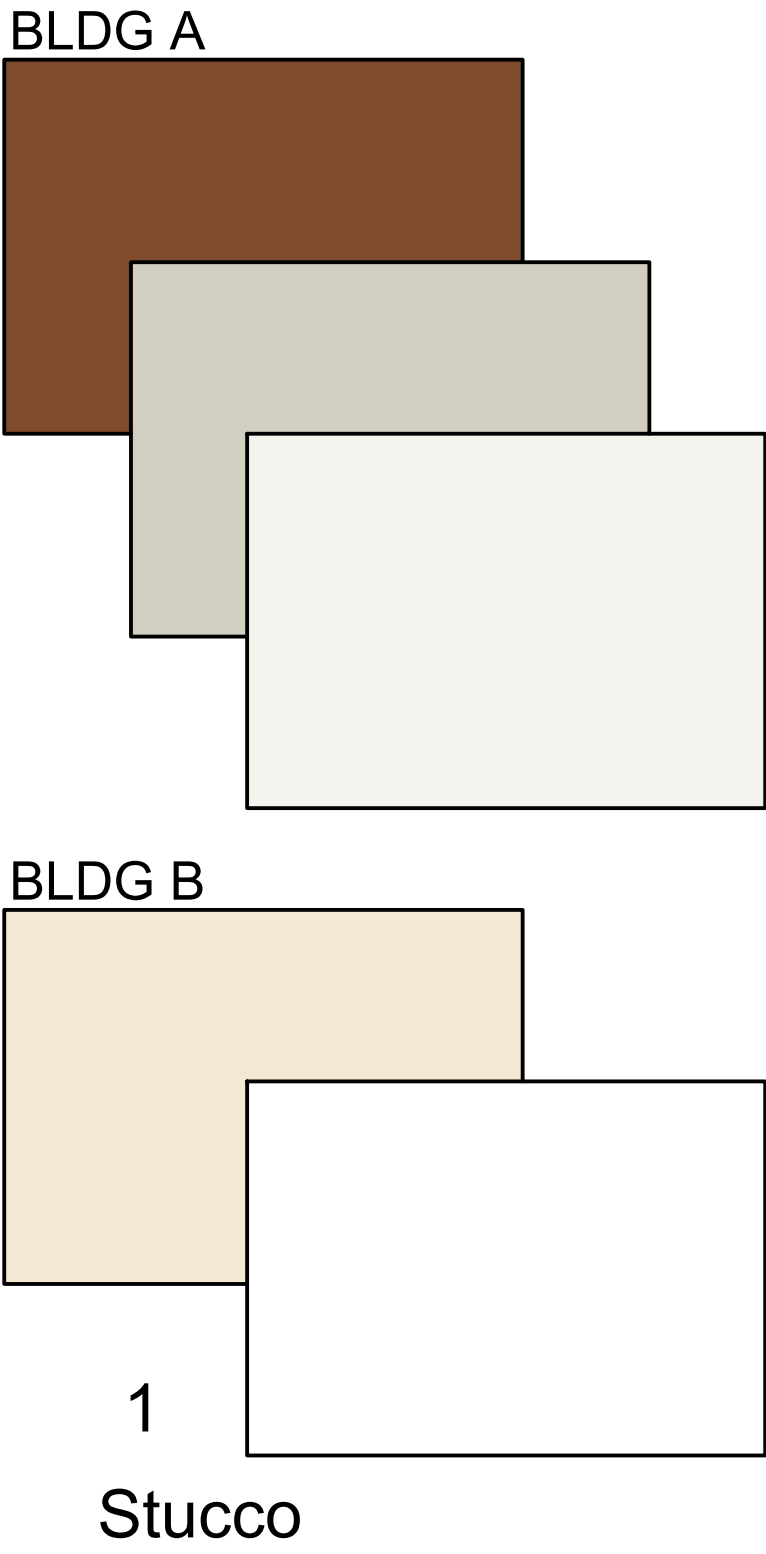
A6.3





- Material Legend**
1. Stucco
  2. Brick Veneer
  3. Decorative Panel
  4. Foam Trim / Corbel
  5. Glass Railing
  6. Metal Railing
  7. Storefront Glazing
  8. Metal Trellis
  9. Metal Awning
  10. Precast Windowcot
  11. Artwork/Mural TBD
  12. Decorative Juliet Balconie
  13. Painted Concrete (Not shown. See A2.1)
  14. Woven Mesh Screen (Not shown. See A2.1)
  15. Landscape Buffer (See Landscape Drawing) (Not shown. See A2.1)
  16. Flat Concrete Tile Roof (Not shown. See A2.2)
  17. Gatepost Architectural Feature

Key Elevation - Building 'A' South Elevation



Brick Veneer



Glass Railing



Metal Railing



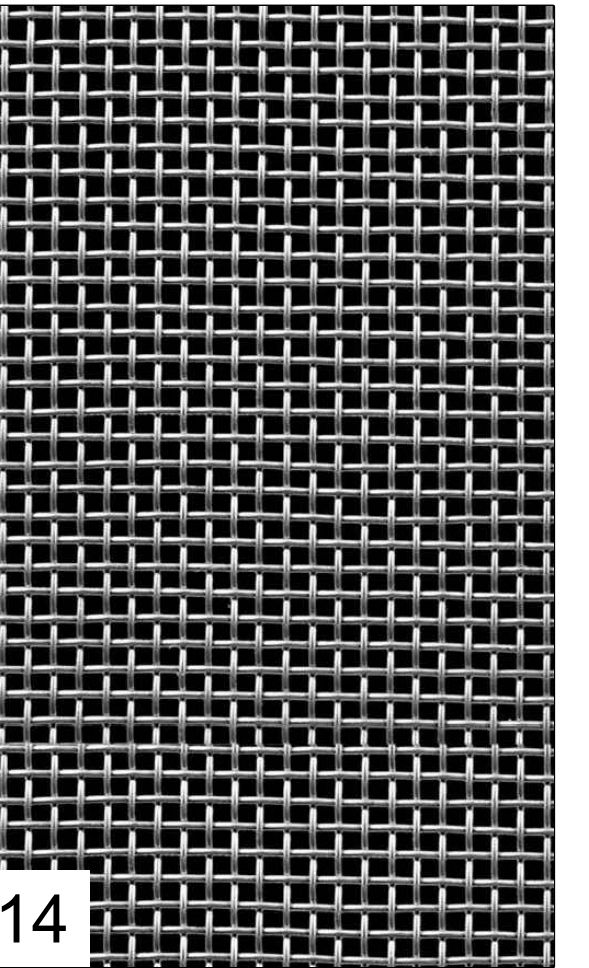
Storefront Glazing



Metal Awning



Precast Windowcot



Woven Mesh Screen



Flat Concrete Tile Roof

Note: All material and color subject to change.

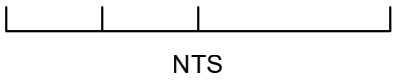


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COLOR AND MATERIAL BOARD

A7.0





DESIGN STANDARDS - ALL BUILDING TYPES

- PER THE CITY OF SANTA ANA SPECIFIC DEVELOPMENT NO. 84 TRANSIT ZONING CODE:
- SERVICE STANDARDS**
- SERVICES, INCLUDING ALL UTILITY ACCESS, ABOVE GROUND EQUIPMENT, AND TRASH ENCLOSURES SHALL BE LOCATED ON ALLEYS, WHERE ALLEYS DO NOT EXIST, THESE SERVICES SHALL BE LOCATED IN COMPLIANCE WITH THE BUILDING LOCATION STANDARDS FOR THE ZONE AND THIS DIVISION.
  - NO TRASH ENCLOSURES SHALL BE LOCATED IN REQUIRED LANDSCAPE AREAS, WITHIN DIRECT VIEW OF STREETS, OR IN TRAFFIC OR PEDESTRIAN AISLES.
  - SERVICES AND THEIR APPURTENANCES SHALL BE SCREENED FROM AND SHALL NOT BE LOCATED IN REQUIRED SETBACK OR LANDSCAPED AREAS.
  - MULTIPLE FAMILY AND COMMERCIAL DEVELOPMENTS WITH COMMON PARKING AREAS SHALL PROVIDE TRASH ENCLOSURES PER 41-623.
- OPEN SPACE STANDARDS**
- BALCONIES ARE PERMITTED IN ANY SETBACK YARD AS PROVIDED IN THE ENCROACHMENT REQUIREMENTS OF THE APPLICABLE ZONE.
  - PRIVATE PATIOS MAY BE PROVIDED AT THE SIDE AND REAR YARDS.
  - THE AREA OF ANY PATIO COVERS, GAZEBOS AND OTHER ROOFED SHADE STRUCTURES, WITH AT LEAST 2 SIDES FULLY OPENED TO THE OUTSIDE MAY BE COUNTED TOWARDS THE REQUIRED OPEN SPACE.
  - CORRIDORS, WALKWAYS, PASEOS, DRIVEWAYS, PARKING COURTS, LOBBIES, AND OTHER SUCH SPACES SHALL NOT BE INCLUDED IN THE REQUIRED OPEN SPACE CALCULATION.
- LANDSCAPE STANDARDS**
- STREET TREES SHALL BE PRUNED AND MAINTAINED AS SPECIFIED BY CITY OF SANTA ANA.
  - ALL PROPOSED STREET TREES SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA ANA'S CORRESPONDING AND APPROVED STREET TREE SPECIES DESIGNATION.
  - ALL SETBACKS, YARDS AND SHARED COMMON OPEN SPACE SHALL BE LANDSCAPED.
  - A LANDSCAPE BUFFER OF NOT LESS THAN 5' SHALL BE PROVIDED TO SEPARATE ANY PARKING LOT FROM AN ADJACENT PROPERTY.
  - SURFACE PARKING LOTS SHALL BE LANDSCAPED PER THE CITY'S COMMERCIAL AREA LANDSCAPE STANDARDS.

DT ZONE CHARACTERISTICS

THIS ZONE IS A VITAL, PEDESTRIAN-ORIENTED AREA THAT IS DEFINED BY MULTI-STORY URBAN BUILDING TYPES ACCOMMODATING A MIXTURE OF RETAIL, OFFICE, LIGHT SERVICE, AND RESIDENTIAL USES. THE STANDARDS OF THIS ZONE ARE INTENDED TO REINFORCE THE FORM AND CHARACTER REPRESENTED BY PRE-WWII BUILDINGS AND RECOGNIZED AS A NATIONAL HISTORIC DISTRICT, THROUGH RESTORATION, REHABILITATION, AND CONTEXT-SENSITIVE INFILL. THE STANDARDS ALSO FACILITATE THE REPLACEMENT OR IMPROVEMENT OF POST-WAR DEVELOPMENT THAT ELIMINATED THE PEDESTRIAN ORIENTATION OF VARIOUS DOWNTOWN BLOCKS. THE LANDSCAPE STYLE IS URBAN, EMPHASIZING SHADING AND ACCENT STREET TREES IN SIDEWALK TREE WELLS.

DESIGN STANDARDS - LINED BLOCK

- PER THE CITY OF SANTA ANA SPECIFIC DEVELOPMENT NO. 84 TRANSIT ZONING CODE, SECTION 41-2023 "LINED BLOCK BUILDING TYPE":
- SERVICE STANDARDS**
- UTILITY METERS SHALL BE SCREENED FROM VIEW FROM THE STREET AND SHALL NOT BE LOCATED WITHIN ANY REQUIRED LANDSCAPE OR SETBACK AREA.
  - MAIL BOXES SHALL NOT BE LOCATED IN ANY REQUIRED OPEN SPACE, LANDSCAPE, OR SETBACK AREAS OR DETRACT FROM THE PRIMARY ENTRANCE TO THE DEVELOPMENT.
- OPEN SPACE STANDARDS**
- COMMON OPEN SPACE SHALL BE AT THE REAR OR SIDE YARD DESIGNED AS A COURTYARD, OR IN THE FRONT AS A FORECOURT, EQUAL TO 15% OF THE LOT, AND BE OPEN TO THE SKY. COURTYARDS MAY BE LOCATED ON THE GROUND OR ON A PODIUM. SIDE YARDS MAY BE FORMED TO PROVIDE OUTDOOR PATIOS CONNECTED TO GROUND FLOOR COMMERCIAL USES.
  - MINIMUM COURTYARD DIMENSIONS SHALL BE 20' WHEN THE LONG AXIS IS ORIENTED EAST-WEST AND 15' FOR A NORTH-SOUTH ORIENTATION. COURTYARD PROPORTIONS SHALL NOT BE LESS THAN 1:1 BETWEEN THE WIDTH OF THE COURTYARD AND THE HEIGHT OF THE BUILDING FOR AT LEAST 2/3 OF THE COURT'S PERIMETER.
  - PRIVATE OPEN SPACE SHALL BE PROVIDED FOR EACH RESIDENTIAL UNIT AND SHALL BE NO LESS THAN 50 SQUARE FEET WITH A MINIMUM DIMENSION OF 6' IN EACH DIRECTION.
  - PRIVATE OPEN SPACE MAY BE SUBSTITUTED FOR ADDITIONAL COMMON OPEN SPACE OR COMMON INTERIOR SPACE, THE SIZE OF WHICH WILL BE EQUIVALENT TO THE DISPLACED PRIVATE OPEN SPACE. THE MINIMUM DIMENSION OF THIS SPACE SHALL BE 15' IN EACH DIRECTION.
- LANDSCAPE STANDARDS**
- WHERE A FRONT YARD IS PRESENT, ONE (1) 24" BOX SIZE TREE PER 25 LINEAL FEET SHALL BE PROVIDED. TREES MAY BE PLACED IN GROUPS TO ACHIEVE A PARTICULAR DESIGN.
  - SIX (6) 5-GALLON SHRUBS, TEN (10) 1-GALLON SIZE HERBACEOUS PERENNIALS/SHRUBS AND TURF OR ACCEPTABLE DRY CLIMATE GROUND COVER SHALL BE PLANTED FOR EVERY REQUIRED TREE.
  - COURTYARDS LOCATED OVER GARAGES SHALL BE DESIGNED TO AVOID THE SENSATION OF FORCED PODIUM HARDSCAPE.
  - TREES IN THE FRONT YARD SHALL BE OF SMALL SCALE THAT DO NOT EXCEED 12-15' HEIGHT AT MATURITY AND SUITABLE FOR BUILT-IN CONCRETE PLANTERS OR CONTAINERS WITH A 36" MINIMUM WIDTH.
  - ONE (1) 36" BOX SPECIMEN TREE IS REQUIRED PER COURTYARD THAT MEETS THE MINIMUM DIMENSIONS. FOR COURTYARDS THAT EXCEED THE MINIMUM DIMENSIONS, TWO (2) OR MORE 24" BOX SMALLER SIZE TREES MAY BE SUBSTITUTED FOR THE 36" BOX TREE.
  - WHERE REAR YARDS ARE PRESENT, AT LEAST ONE (1) 36" BOX CANOPY TREE PER 30 LINEAL FEET SHALL BE PLANTED DIRECTLY IN THE GROUND.
  - WHEN SIDE YARDS ARE PRESENT, AT LEAST ONE (1) 24" BOX TREE PER 30 LINEAL FEET SHALL BE PLANTED TO PROTECT PRIVACY OF NEIGHBORS. THE TREES MAY BE PLACED IN GROUPS IN ORDER TO ACHIEVE PARTICULAR DESIGN.

BLOCK A  
DOWNTOWN ZONE | LINED BLOCK  
REFER TO SHEET L1.1 FOR ENLARGEMENT

BLOCK B  
DOWNTOWN ZONE | LINED BLOCK  
REFER TO SHEET L1.2 FOR ENLARGEMENT

PEDESTRIAN EXPERIENCE NARRATIVE

THE STREETSCENE PROVIDES A PEDESTRIAN EXPERIENCE THROUGH DEFINED, ENHANCED PAVING WITH SEATING AREAS THAT CREATE VISUAL UNDULATION TO THE SIDEWALK ALONG WITH SHADED RESPIRE AREAS. TREES OF DIFFERENT SPECIES HAVE BEEN SELECTED AND LOCATED TO PROVIDE VISUAL INTEREST, SHADE, VISUAL CORRESPONDENCE WITH THE ARCHITECTURE AND SCREENING FROM ELEMENTS, SUCH AS THE PARKING GARAGE. THE GROUND PLANE INCLUDES A PLANTING DESIGN THAT INCLUDES PLANTS OF VISUAL INTEREST OF VARIED HEIGHT AND TEXTURE.

LANDSCAPE STANDARDS - COURTYARD

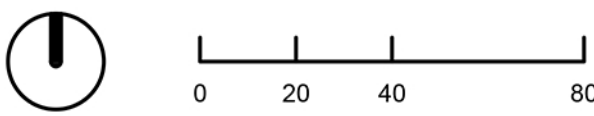
- PER THE CITY OF SANTA ANA SPECIFIC DEVELOPMENT NO. 84 TRANSIT ZONING CODE, SECTION 41-2026 "COURTYARD HOUSING BUILDING TYPE":
- SERVICE STANDARDS**
- UTILITY METERS SHALL BE SCREENED FROM VIEW FROM THE STREET AND SHALL NOT BE LOCATED WITHIN ANY REQUIRED LANDSCAPE OR SETBACK AREA.
- OPEN SPACE STANDARDS**
- THE COMMON OPEN SPACE SHALL BE DESIGNED AS A CENTRAL COURTYARD OR PARTIAL, MULTIPLE, SEPARATED, OR INTERCONNECTED COURTYARDS.
  - THE COMMON OPEN SPACE SHALL BE AT LEAST 15% OF THE LOT AND BE OPEN TO THE SKY.
  - COURTYARD PROPORTIONS SHALL NOT BE LESS THAN 1:1 BETWEEN THE WIDTH OF THE COURTYARD AND THE HEIGHT OF THE BUILDING FOR AT LEAST 2/3 OF THE COURT'S PERIMETER.
  - COURTYARDS SHALL BE CONNECTED TO EACH OTHER AND TO THE PUBLIC WAY BY ZAGUANS OR PASEOS.
  - PRIVATE OPEN SPACE IS REQUIRED FOR EACH RESIDENTIAL UNIT AND SHALL BE NO LESS THAN 90 SQUARE FEET WITH A MINIMUM DIMENSION OF 6' IN EACH DIRECTION.
  - PRIVATE OPEN SPACE MAY BE SUBSTITUTED FOR ADDITIONAL COMMON OPEN SPACE OR COMMON INTERIOR SPACE, THE SIZE OF WHICH WILL BE EQUIVALENT TO THE DISPLACED PRIVATE OPEN SPACE. THE MINIMUM DIMENSION OF THIS SPACE SHALL BE 15' IN EACH DIRECTION.
- LANDSCAPE STANDARDS**
- LANDSCAPE SHALL NOT OBSCURE FRONT YARDS ON ADJACENT LOTS OR THE SHOPFRONT OF GROUND FLOOR FLEX SPACE. FRONT YARD TREES SHALL NOT EXCEED 1.5 TIMES THE HEIGHT OF THE PORCH AT MATURITY, EXCEPT AT THE MARGINS OF THE LOT, WHERE THEY MAY BE NO MORE THAN 1.5 TIMES THE HEIGHT OF THE BUILDING AT MATURITY.
  - IN THE REAR YARD, AT LEAST ONE (1) 24" BOX CANOPY TREE PER 25 LINEAL FEET SHALL BE PLANTED DIRECTLY IN THE GROUND.
  - ONE (1) 36" BOX SPECIMEN TREE IS REQUIRED PER COURTYARD THAT MEETS THE MINIMUM DIMENSIONS. FOR COURTYARDS THAT EXCEED THE MINIMUM DIMENSIONS, TWO (2) OR MORE 24" BOX SMALLER SIZE TREES MAY BE SUBSTITUTED FOR THE 36" BOX TREE.
  - IN COURTYARDS OVER GARAGES, ONE (1) 24" BOX SIZE TREE OF SMALL SCALE (12-15' AT MATURITY) OR SIMILAR TALL SHRUBS SHALL BE USED IN PLANTERS, WITH A 36" MINIMUM DIMENSION.
  - SIDE YARD TREES SHALL BE PLACED AT A RATE OF ONE (1) 24" BOX TREE PER 30 LINEAL FEET FOR PRIVACY OF NEIGHBORS.
  - SIX (6) 5-GALLON SHRUBS, TEN (10) 1-GALLON SIZE HERBACEOUS PERENNIALS/SHRUBS AND TURF OR ACCEPTABLE DRY CLIMATE GROUNDCOVER SHALL BE PLANTED FOR EVERY TREE REQUIRED.

GENERAL NOTE

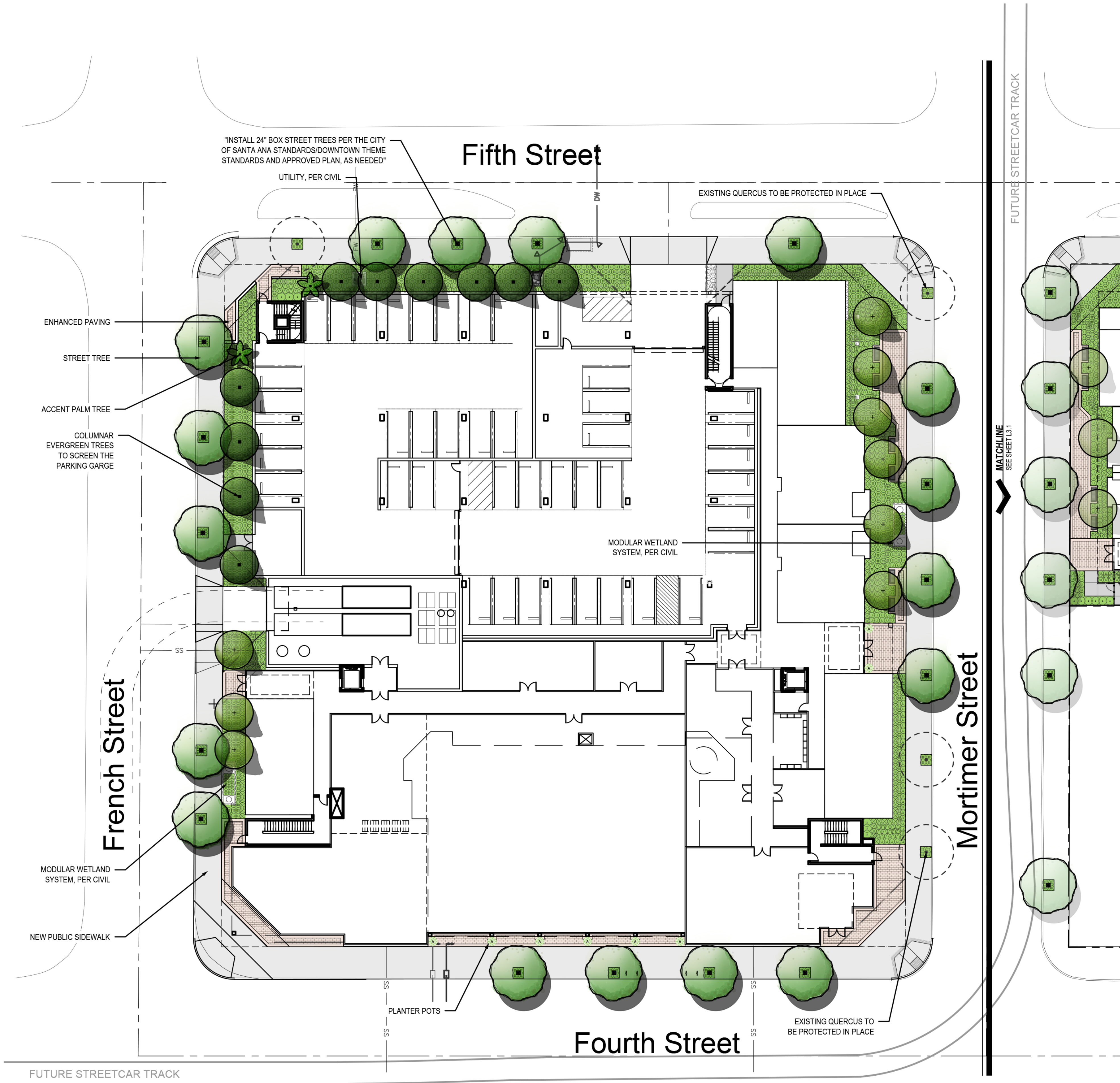
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BLOCK A - LANDSCAPE TABULATIONS - LINED BLOCK		
DESCRIPTION OF REQUIREMENT	AMOUNT REQUIRED	AMOUNT PROVIDED
SHORT TERM BIKE PARKING FOR MULTIFAMILY RESIDENCES OF (5) OR MORE UNITS	4 SPACES	4 SPACES
SHORT TERM BIKE PARKING FOR RETAIL AND SERVICE COMMERCIAL DEVELOPMENT	4 SPACES	4 SPACES

BLOCK B - LANDSCAPE TABULATIONS - COURTYARD HOUSING		
DESCRIPTION OF REQUIREMENT	AMOUNT REQUIRED	AMOUNT PROVIDED
SHORT TERM BIKE PARKING FOR MULTIFAMILY RESIDENCES OF (5) OR MORE UNITS	4 SPACES	4 SPACES







TREE LEGEND				
SYM.	PLANT NAME	QTY.	BOX SIZE	MAT. SIZE
PALM TREES:				
	PHOENIX DACTYLIFERA DATE PALM	02	20' BTH	50'H 16'S
	ARCHONTOPHOENIX CUNNINGHAMIANA (KING PALM)		15' BTH	35'H 10'S
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM		10' BTH	12'H 6'S
LARGE TREES:				
	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	10	24" BOX	40'H 25'S
	PINUS ELDARICA EL DARICA PINE		24" BOX	50'H 20'S
	PODOCARPUS GRACILIOR FERN PINE		24" BOX	40'H 20'S
SMALL/MEDIUM TREES:				
	ARBUTUS MARINA STRAWBERRY TREE	09	24" BOX	15'H 10'S
	LOPHOSTEMON CONFERTUS BRISBANE BOX		24" BOX	25'H 10'S
ACCENT TREES:				
	CERCIDIUM X 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	00	24" BOX	25'H 20'S
	OLEA EUROPAEA FRUITLESS OLIVE		24" BOX	25'H 20'S
CITY OF SANTA ANA STREET TREES:				
	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	17	24" BOX	40'H 25'S
	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA		24" BOX	40'H 25'S
	QUERCUS AGRIFOLIA COAST LIVE OAK		24" BOX	50'H 25'S

CONCEPTUAL PLANT LIST		
SYM.	BOTANICAL NAME COMMON NAME	SIZE
SCREEN PLANTING		
	BAMBUSA M. 'ALPHONSE KARR' ALPHONSE KARR BAMBOO	5 GAL.
	PODOCARPUS 'MONMAL' ICEE BLUE YELLOWWOOD	15 GAL.
FOUNDATION PLANTING		
	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS	5 GAL.
	LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	5 GAL.
	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED MOCK ORANGE	5 GAL.
	SALVIA SPP. SAGE	5 GAL.
MID-STORY PLANTING		
	AGAVE DESMETTIANA SMOOTH AGAVE	5 GAL.
	MULLENBERGIA LINDHEIMERI AUTUMN GLOW MUHLY	5 GAL.
	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5 GAL.
	RHAPHIOLEPIS INDICA 'CLARA' INDIAN HAWTHORN	5 GAL.
ACCENT PLANTING		
	AGAVE 'BLUE GLOVE' BLUE GLOW AGAVE	5 GAL.
	ALOE STRIATA CORAL ALOE	5 GAL.
	DRACAENA DRACO DRAGON TREE	15 GAL.
	ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS	5 GAL.
	LAVANDULA ANGUSTIFOLIA LAVENDER SPP.	5 GAL.
	STRELITZIA REGINAE BIRD OF PARADISE	5 GAL.
LOW PLANTING / GROUNDCOVER		
	DIANELLA SPP. FLAX LILY	5 GAL.
	SEDUM SPP. STONECROP	1 GAL.
	SENECIO MANDRALISCAE BLUE CHALK STICKS	1 GAL.
MODULAR WETLAND PLANTING		
	LEYMIS CONDENSATUS GIANT WILD RYE	5 GAL.
	MULLENBERGIA CAPILLARIS PINK MUHLY GRASS	1 GAL.

**PEDESTRIAN EXPERIENCE NARRATIVE**

THE STREETSCENE PROVIDES A PEDESTRIAN EXPERIENCE THROUGH DEFINED, ENHANCED PAVING WITH SEATING AREAS THAT CREATE VISUAL UNDULATION TO THE SIDEWALK ALONG WITH SHADED RESPITE AREAS. TREES OF DIFFERENT SPECIES HAVE BEEN SELECTED AND LOCATED TO PROVIDE VISUAL INTEREST, SHADE, VISUAL CORRESPONDENCE WITH THE ARCHITECTURE AND SCREENING FROM ELEMENTS, SUCH AS THE PARKING GARAGE. THE GROUND PLANE INCLUDES A PLANTING DESIGN THAT INCLUDES PLANTS OF VISUAL INTEREST OF VARIED HEIGHT AND TEXTURE.

**GENERAL NOTE**

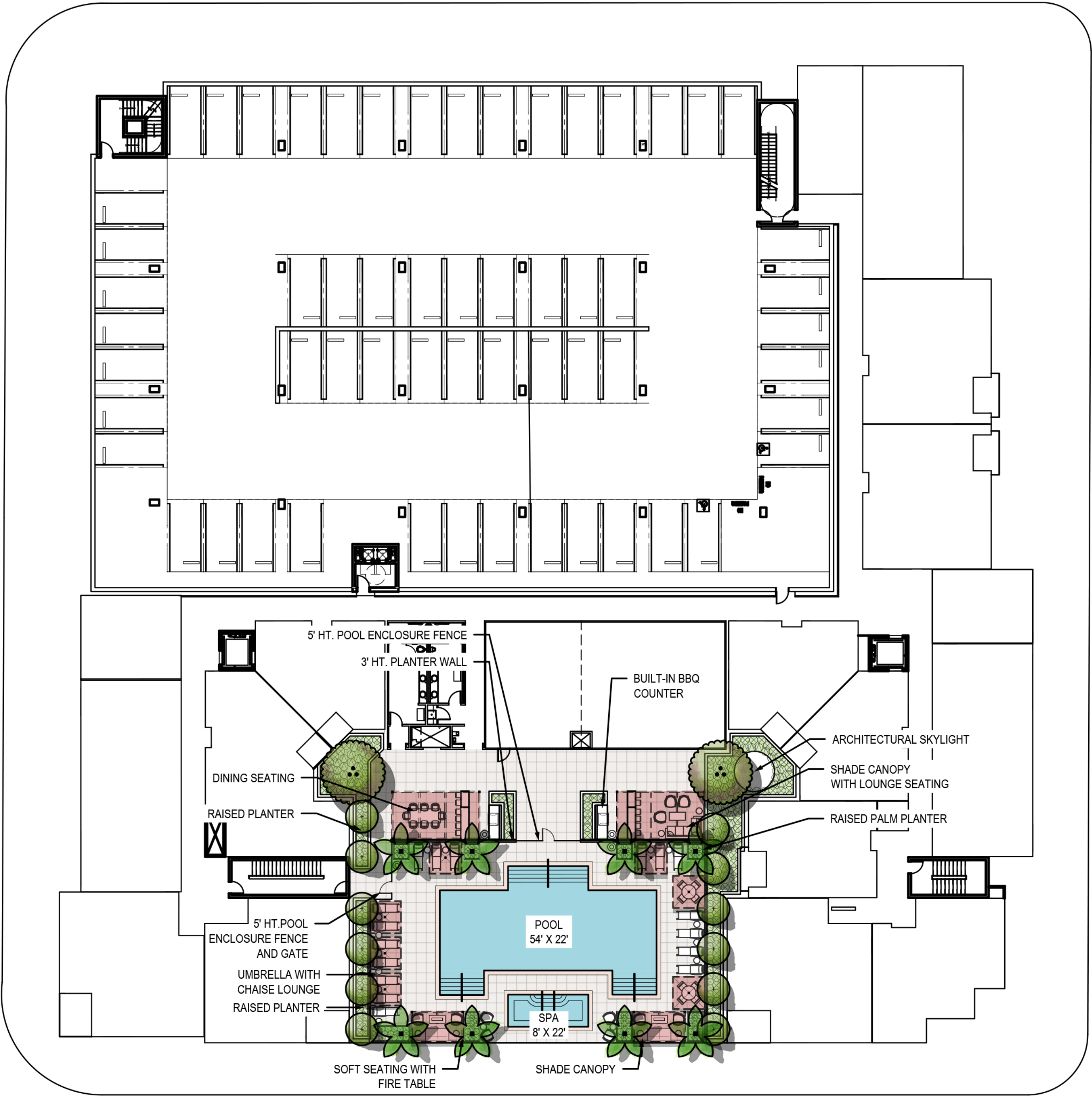
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French Street (Below)



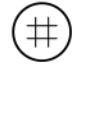
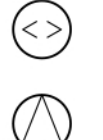
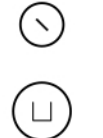

Fifth Street (Below)

Mortimer Street (Below)



Fourth Street (Below)

TREE LEGEND				
SYM.	PLANT NAME	QTY.	BOX SIZE	MAT. SIZE
PALM TREES:				
	PHOENIX DACTYLIFERA DATE PALM	08	20' BTH	50'H 16'S
	ARCHONTOPHOENIX CUNNINGHAMIANA (KING PALM)		15' BTH	35'H 10'S
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM		10' BTH	12'H 6'S
LARGE TREES:				
	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	00	24" BOX	40'H 25'S
	PINUS ELDARICA EL DARICA PINE		24" BOX	50'H 20'S
	PODOCARPUS GRACILIOR FERN PINE		24" BOX	40'H 20'S
SMALL/MEDIUM TREES:				
	ARBUTUS MARINA STRAWBERRY TREE	12	24" BOX	15'H 10'S
	LOPHOSTEMON CONFERTUS BRISBANE BOX		24" BOX	25'H 10'S
ACCENT TREES:				
	CERCIDIUM X 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	02	24" BOX	25'H 20'S
	OLEA EUROPAEA FRUITLESS OLIVE		24" BOX	25'H 20'S
CITY OF SANTA ANA STREET TREES:				
	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	00	24" BOX	40'H 25'S
	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA		24" BOX	40'H 25'S
	QUERCUS AGRIFOLIA COAST LIVE OAK		24" BOX	50'H 25'S

CONCEPTUAL PLANT LIST		
SYM.	BOTANICAL NAME COMMON NAME	SIZE
SCREEN PLANTING		
	BAMBUSA M. 'ALPHONSE KARR' ALPHONSE KARR BAMBOO	5 GAL.
	PODOCARPUS 'MONMAL' ICEE BLUE YELLOWWOOD	15 GAL.
FOUNDATION PLANTING		
	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS	5 GAL.
	LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	5 GAL.
	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED MOCK ORANGE	5 GAL.
	SALVIA SPP. SAGE	5 GAL.
MID-STORY PLANTING		
	AGAVE DESMETTIANA SMOOTH AGAVE	5 GAL.
	MUHLENBERGIA LINDHEIMERI AUTUMN GLOW MUHLY	5 GAL.
	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5 GAL.
	RHAPHIOLEPIS INDICA 'CLARA' INDIAN HAWTHORN	5 GAL.
ACCENT PLANTING		
	AGAVE 'BLUE GLOVE' BLUE GLOW AGAVE	5 GAL.
	ALOE STRIATA CORAL ALOE	5 GAL.
	DRACAENA DRACO DRAGON TREE	15 GAL.
	ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS	5 GAL.
	LAVANDULA ANGUSTIFOLIA LAVENDER SPP.	5 GAL.
	STRELITZIA REGINAE BIRD OF PARADISE	5 GAL.
LOW PLANTING / GROUND COVER		
	DIANELLA SPP. FLAX LILY	5 GAL.
	SEDUM SPP. STONECROP	1 GAL.
	SENECIO MANDRALISCAE BLUE CHALK STICKS	1 GAL.
MODULAR WETLAND PLANTING		
	LEYMIS CONDENSATUS GIANT WILD RYE	5 GAL.
	MULENBERGIA CAPILLARIS PINK MUHLY GRASS	1 GAL.



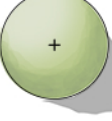


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FUTURE STREETCAR TRACK





TREE LEGEND				
SYM.	PLANT NAME	QTY.	BOX SIZE	MAT. SIZE
PALM TREES:				
	PHOENIX DACTYLIFERA DATE PALM	04	20' BTH	50'H 16'S
	ARCHONTOPHOENIX CUNNINGHAMIANA (KING PALM)		15' BTH	35'H 10'S
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM		10' BTH	12'H 6'S
LARGE TREES:				
	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	10	24" BOX	40'H 25'S
	PINUS ELDARICA ELDARICA PINE		24" BOX	50'H 20'S
	PODOCARPUS GRACILIOR FERN PINE		24" BOX	40'H 20'S
SMALL/MEDIUM TREES:				
	ARBUTUS MARINA STRAWBERRY TREE	20	24" BOX	15'H 10'S
	LOPHOSTEMON CONFERTUS BRISBANE BOX		24" BOX	25'H 10'S
ACCENT TREES:				
	CERCOIDUM X 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	04	24" BOX	25'H 20'S
	OLEA EUROPAEA FRUITLESS OLIVE		24" BOX	25'H 20'S
CITY OF SANTA ANA STREET TREES:				
	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	23	24" BOX	40'H 25'S
	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA		24" BOX	40'H 25'S
	QUERCUS AGRIFOLIA COAST LIVE OAK		24" BOX	50'H 25'S

CONCEPTUAL PLANT LIST		
SYM.	BOTANICAL NAME COMMON NAME	SIZE
SCREEN PLANTING		
	BAMBUSA M. 'ALPONSE KARR' ALPONSE KARR BAMBOO	5 GAL.
	PODOCARPUS 'MONMAL' ICEE BLUE YELLOWWOOD	15 GAL.
FOUNDATION PLANTING		
	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS	5 GAL.
	LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	5 GAL.
	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED MOCK ORANGE	5 GAL.
	SALVIA SPP. SAGE	5 GAL.
MID-STORY PLANTING		
	AGAVE DESMETTIANA SMOOTH AGAVE	5 GAL.
	MUHLENBERGIA LINDHEIMERI AUTUMN GLOW MUHLY	5 GAL.
	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5 GAL.
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ACCENT PLANTING		
	AGAVE 'BLUE GLOVE' BLUE GLOW AGAVE	5 GAL.
	ALOE STRIATA CORAL ALOE	5 GAL.
	DRACAENA DRACO DRAGON TREE	15 GAL.
	ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS	5 GAL.
	LAVANDULA ANGUSTIFOLIA LAVENDER SPP.	5 GAL.
	STRELITZIA REGINAE BIRD OF PARADISE	5 GAL.
LOW PLANTING / GROUND COVER		
	DIANELLA SPP. FLAX LILY	5 GAL.
	SEDUM SPP. STONECROP	1 GAL.
	SENECIO MANDRALISCAE BLUE CHALK STICKS	1 GAL.
MODULAR WETLAND PLANTING		
	LEYMIS CONDENSATUS GIANT WILD RYE	5 GAL.
	MULENBERGIA CAPILLARIS PINK MUHLY GRASS	1 GAL.

**PEDESTRIAN EXPERIENCE NARRATIVE**

THE STREETSCAPE PROVIDES A PEDESTRIAN EXPERIENCE THROUGH DEFINED, ENHANCED PAVING WITH SEATING AREAS THAT CREATE VISUAL UNDULATION TO THE SIDEWALK ALONG WITH SHADED RESPITE AREAS. TREES OF DIFFERENT SPECIES HAVE BEEN SELECTED AND LOCATED TO PROVIDE VISUAL INTEREST, SHADE, VISUAL CORRESPONDENCE WITH THE ARCHITECTURE AND SCREENING FROM ELEMENTS, SUCH AS THE PARKING GARAGE. THE GROUND PLANE INCLUDES A PLANTING DESIGN THAT INCLUDES PLANTS OF VISUAL INTEREST OF VARIED HEIGHT AND TEXTURE.

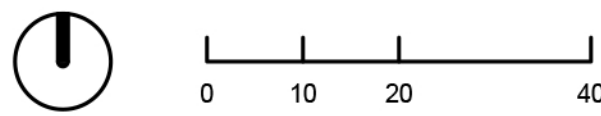
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**4TH & MORTIMER**  
SANTA ANA, CA # 2017-0934

**SCHEMATIC DESIGN**  
MARCH 30, 2020



**LANDSCAPE PLAN - BLOCK B**  
GROUND FLOOR

**L3.1**



CONCEPTUAL TREE IMAGERY



FRAXINUS VELUTINA 'MODESTO' - CITY STREET TREE



MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER' - CITY STREET TREE



QUERCUS AGRIFOLIA - CITY STREET TREE



CONCEPTUAL SHRUB AND GROUNDCOVER IMAGERY



PLANTING NOTES

1. ALL LANDSCAPE PLANTING IMPROVEMENTS SHALL FOLLOW THE CITY OF SANTA ANA AND COUNTY OF ORANGE GUIDELINES.
2. THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, ZONING DESIGN STANDARD, WATER EFFICIENCY, AND MAINTENANCE CONSIDERATIONS.
3. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM A SAMPLE TAKEN FROM THE PROJECT SITE.
4. GROUNDCOVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUNOFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE, AND REDUCE WEED GROWTH.
5. TREES AND SHRUBS SHALL BE ALLOWED TO GROW TO THEIR NATURAL FORMS.
6. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
7. ALL REQUIRED LANDSCAPE PLANTING AREAS SHALL BE MAINTAINED BY OWNER PER THE CITY'S REQUIREMENTS.
8. THE LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, AND STORM DRAIN EASEMENTS AND PLACE PLANTINGS ACCORDINGLY.

IRRIGATION NOTES

1. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW WATER EFFICIENCY ORDINANCE AB 1881, AND THE CITY OF SANTA ANA AND COUNTY OF ORANGE GUIDELINES.
2. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY AUTOMATIC CONTROL VALVES, CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL. ALL DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS.
3. THE IRRIGATION SYSTEM SHALL UTILIZE DRIP IRRIGATION, HIGH EFFICIENCY SPRAY HEADS, AND/OR BUBBLERS. THE SYSTEM CONTROLS SHALL BE SELF ADJUSTING VIA ON SITE WEATHER DATA AND HISTORICAL WEATHER DATA. THE SYSTEM SHALL BE DESIGNED FOR DEDICATED HYDROZONES BASED ON PLANT WATER REQUIREMENTS AND IRRIGATION EFFICIENCY.
4. THE DESIGN OF THE IRRIGATION SYSTEM SHALL INCLUDE A WATER BUDGET, A DEDICATED WATER METER, A WEATHER BASED CONTROLLER, AND BE DESIGNED BY AN EPA WATERSENSE PARTNER.
5. THE IRRIGATION PRODUCTS SELECTED SHALL COME FROM COMMERCIAL GRADE IRRIGATION MANUFACTURING COMPANIES WITH OUTSTANDING TECHNICAL SUPPORT, INCLUDING RAINBIRD AND HUNTER.
6. THE IRRIGATION COMPONENTS TOGETHER SHALL PROVIDE AN IRRIGATION EFFICIENCY RATING EQUAL TO OR GREATER THAN 80%.
7. ESTIMATED WATER USAGE CALCULATIONS, SCHEDULES, AND POINT OF CONNECTION WATER PRESSURE CALCULATIONS SHALL BE MADE AVAILABLE AT THE PERMIT SUBMITTAL PHASE. ALL CALCULATIONS AND FACTORS SHALL BE DERIVED FROM CALIFORNIA ASSEMBLY BILL 1881.