

Orozco, Norma

From: William Beaubeaux <wbeaubeaux@gmail.com>
Sent: Friday, October 16, 2020 9:16 AM
To: eComment
Subject: City Council Meeting Approval for Item 75A 3rd and Broadway Project

October 16, 2020

City of Santa Ana
Mayor Pulido
Santa Ana City Council
C/O eComment@santa-ana.org

Re: **SUPPORT** for 3rd and Broadway Downtown Mixed-Use Development Opportunity
Item 75A City Council Meeting October 20, 2020

Dear Honorable Mayor Pulido and City Council:

I am writing to request your approval for the "3rd and Broadway" project. This project is such a beautiful addition to the Downtown Core. The architect, Studio One Eleven, was sensitive to the character of the existing Historic Downtown. They paid special attention to the historic details of the rhythm and proportions of the surrounding Historic Buildings. They were able to weave in the old, while still being honest with the architecture of today. The end result is a brilliant balance. Carefully placing the outdoor recreation decks and balconies and gently working with the building setbacks, they controlled the massing to a very comfortable scale.

Reactivating Sycamore Street will link the north and south of the Downtown Area, creating a more pedestrian friendly environment. This will also create a safer place to be. The proposed retail, residential and Hotel will be active places. The North and South Downtown will no longer be blocked with a dangerously large and dark parking structure which harbors a den of criminal behavior.

The Sycamore Plaza will be an active Plaza for the residents to enjoy street fairs, artist openings and farmers markets. Downtown will once again be a gathering place for residents and visitors as well.

The revitalization of Santa Ana is moving in a progressive direction; let us keep that momentum going and I encourage you to approve the "3rd and Broadway" Project.

Respectfully

William Beaubeaux, NCARB
Historic French Park

Orozco, Norma

From: Dave Elliott <delliott@santaanachamber.com>
Sent: Tuesday, October 20, 2020 10:47 AM
To: eComment; Dave Elliott
Subject: Support of 3rd and Broadway project

Mayor Pulido and Members of the City Council

As president/CEO of your Santa Ana Chamber of Commerce I want to share my support for the 3rd and Broadway project. This project I believe gives our city several great opportunities to expand our downtown presence as well as the whole city community.

As a Chamber we are always looking at economic development impact. I think this project brings great positive impact to our city. Needed housing for workforce, a downtown hotel, increased consumer base for downtown business, jobs, increased tax revenue for the city and a new needed parking structure.

I am glad to support the Mike Harrah, Caribou project. Let's get this done.

Respectfully submitted

David L. Elliott

Sent from [Mail](#) for Windows 10

Orozco, Norma

From: Plantamura (US), Michael <michael.plantamura@boeing.com>
Sent: Tuesday, October 20, 2020 11:49 AM
To: eComment
Subject: Council Agenda Item 75A Comment

While I am very much in support of development and revitalization of downtown Santa Ana, this proposed project has some concerns as proposed. Demolition of the existing parking structure will make it difficult for people to visit downtown Santa Ana where parking right now is very difficult to find. So I have concerns with the initial impact to downtown parking and want to know that a mitigation plan is in place to address this.

My second concern is with the project itself and involves the parking spaces being planned. As noted SD-84 requires a total of 368 parking spaces for the residential portion. The project is allocating 196 parking spaces. As we know most one bedroom apartments will have probably two people living there and two cars. Also it appears that the SAMC required 25% (49 spaces) visitor parking spaces is being pushed to the public parking structure and sharing with the commercial requirements. This will either impact the residents or the commercial properties depending upon the time of day and day of the week. The parking plan does not indicate a number of handicap parking spaces for the residential building, nor does it indicate any electric vehicle parking. Both of these should be included in addition to the 196 that is being proposed. Last on parking, the plan has residential units on floors 2, 3 and 4 yet residential parking is on floors 5, 6, 7 and 8. This is a disconnect that should be addressed. Residents aren't going to drive up to the 8th floor and then take the elevator down to the 2nd floor. I don't understand why our Planning Department continues to approve fewer and fewer parking spaces for projects when more and more cars are being owned by people and the negative impact to on street parking becomes a reality. Please consider readdressing the parking situation with this project and add additional public and private parking plans.

Last comment is on the crowding situation in Santa Ana particularly with mega-apartment complexes. What ever happened to building condominiums? Why can't some (a majority) of these planned units be for sale condominiums, including some for low income families? Why always apartments which yes benefits the Developers but is a detriment to the residents and would be residents who want to make Santa Ana their permanent home? Thank you.

Michael Plantamura

Michael Plantamura
Manager
Boeing Commercial Airplanes
Service Engineering – Hydro-Mechanical Systems
(562) 797-3471 (desk 📞)
(562) 243-2886 (cell 📱)

YR Properties LLC

108 East 4th Street, Santa Ana, CA 92701

(714) 541-1170

(714) 345-7276

September 28, 2020

**Ms. Sarah Bernal
Recording Secretary**

ecomments@santa-ana.org

Attention: PLANNING COMMISSION

Re: Address: 201 West Third Street, Santa Ana, CA
Applicant: Mike Harrah, Caribou Industries
Development No. 84 (SD84) zoning district

Dear Planning Commission Members:

My name is Raul Yanez and I am the property owner of three properties situated in the 100th block of East 4th Street, one of the properties is located adjacent to the property referenced above.

Having successful businesses in the downtown area benefits the entire community. The above project would provide residential as well as hotel accommodations thereby increasing foot traffic within the downtown which directly benefits businesses in the area. The addition of retail space in the area would also attract new visitors and clientele. As such, I strongly support the 3rd and Broadway project.

Please feel free to call me if you need additional information or have any questions.
Sincerely,

Raul Yanez

September 24, 2020

Santa Ana Planning Commission
City of Santa Ana
20 Civic Center Plaza
P.O. Box 1988, M31
Santa Ana, CA 92701

RE: 3rd & Broadway Mixed Use Development

Dear Members of the Santa Ana Planning Commission:

I am writing to you as a longtime (4th generation) business and property owner in downtown Santa Ana, my family relocating to the area in 1919. The purpose of my letter is to support the proposed mixed use development at 3rd & Broadway. The project would bring a high quality class "A" development that would heavily benefit Downtown and the surrounding businesses. In addition, a hotel would be a huge addition to the Downtown and not only create bed tax for the City but also help expand Downtown's long term viability and future growth. Opening up Sycamore Street from 3rd to 4th is also an integral step with Downtown's evolution and better connecting the Artist Village to the Downtown core. And lastly, this project will not displace anyone and will bring a large scale investment to the Downtown/City and create a multitude of jobs, both short term and long term. I personally could not think of a better use for this site at this time and for those reasons we ask for your support of this project without delay.

Sincerely,



Ryan Chase
S&A Management
949-722-7400
ryanlylechase@gmail.com

September 28, 2020

City of Santa Ana
Planning Commission
C/O eComment@santa-ana.org

Re: Support for 3Rd and Broadway Downtown Mixed-Use Development Opportunity
Planning Commission Meeting September 28, 2020
Item #2

Dear Planning Commissioners and City Council:

I am writing to request your approval for the "3rd and Broadway" project. This project is such a beautiful addition to the Downtown Core.

Reactivating Sycamore Street will link the north and south of the Downtown Area, creating a more pedestrian friendly environment. This will also create a safer place to be.

Downtown will once again be a gathering place for residents and visitors as well.

The revitalization of Santa Ana is moving in a progressive direction; let us keep that momentum going and I encourage you to approve the "3Rd and Broadway" Project.

Respectfully



Larry J. Irvine
Resident - Riverview

Orozco, Norma

From: Jeffrey Jensen <jj@chapteronetml.com>
Sent: Tuesday, October 20, 2020 2:01 PM
To: eComment
Subject: Mayor & Council

Good Evening Mayor & Council,

My Name is Jeffrey Jensen (JJ) with Chapter One in Downtown Santa Ana. Chapter One and all of its employees are in favor of the 3rd and Broadway Project. Downtown Santa Ana will benefit from this project immensely. We need more living spaces in general and a hotel has been missing in Downtown for a long time. There used to be more than 20 hotels in the Downtown area and currently there are ZERO. Motels and Wagon Wheel on 4th Street don't count.

Streetcar, Hotels, more living spaces, new civic center buildings.... Santa Ana is moving in the right direction!!!!!!

Looking forward to ground breaking ceremonies soon!!!

Thank you,

Jeffrey Jensen

Chapter One: the modern local
227 N. Broadway
Downtown Santa Ana, CA 92701
(714) 352-2225 MAIN
(714) 352-2242 FAX
www.chapteronetml.com

Become a FAN on [Facebook!](#)

FOLLOW US ON TWITTER@

[Chapteronetml](#)

Orozco, Norma

From: jason carrig <jcarrig1@hotmail.com>
Sent: Tuesday, October 20, 2020 1:54 PM
To: eComment
Subject: 3rd/Broadway Project

Attn: Santa Ana City Council:

I am writing to request your approval for the "3rd and Broadway" project. This project is such a beautiful addition to the Downtown Core. The architect, Studio One Eleven, was sensitive to the character of the existing Historic Downtown. They paid special attention to the historic details of the rhythm and proportions of the surrounding Historic Buildings. They were able to weave in the old, while being still being honest with the architecture of today. The end result is a brilliant balance. Carefully placing the outdoor recreation decks and balconies and gently working with the building setbacks, they controlled the massing to a very comfortable scale.

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The Sycamore Plaza will be an active Plaza for the residents to enjoy street fairs, artist openings and farmers and flea markets. Downtown will once again be a gathering place for residents and visitors as well.

The revitalization of Santa Ana is moving in a progressive direction; let's keep that momentum going and I encourage you to approve the "3rd and Broadway" Project.

Ref: 3rd & Broadway project

Sincerely,
Jason Carrig
Historic French Park
92701

Orozco, Norma

From: Marisella Brown <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 1:50 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Another giveaway to developers?

City Staff,

The City shouldn't provide public land and millions in subsidies to a developer, just to get a hotel they might convert to apartments in a few years. As a Santa Ana taxpayer, I'm outraged that we are going to provide our land and subsidies to a developer. Either get a better deal or make a new plan.

Sincerely,

Marisella Brown
marisella_avon@yahoo.com
2613 W. Curie Ave Apt B
Santa Ana, California 92704

Orozco, Norma

From: Grace Bentley <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:02 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Grace Bentley
unexpected.noise@gmail.com
1138 s birch
Santa Ana, California 92701

Orozco, Norma

From: Evelyn Izelo <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:04 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Another giveaway to developers?

City Staff,

The City shouldn't provide public land and millions in subsidies to a developer, just to get a hotel they might convert to apartments in a few years. As a Santa Ana taxpayer, I'm outraged that we are going to provide our land and subsidies to a developer. Either get a better deal or make a new plan.

Sincerely,

Evelyn Izelo
evelyn.izelo1@gmail.com
1627 W 5th st
Santa Ana , California 92703

Orozco, Norma

From: Edwin Arriaga <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:07 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Edwin Arriaga
edwinmike40@gmail.com
3126 W. 1st Street
Santa Ana, California 92703

Orozco, Norma

From: Val Espinoza <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:08 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Another giveaway to developers?

City Staff,

The City shouldn't provide public land and millions in subsidies to a developer, just to get a hotel they might convert to apartments in a few years. As a Santa Ana taxpayer, I'm outraged that we are going to provide our land and subsidies to a developer. Either get a better deal or make a new plan.

Sincerely,

Val Espinoza
lakerskb02@gmail.com
2035 n Broadway apt 9
Santa Ana , California 92706

Orozco, Norma

From: Ann Tran <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:09 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Ann Tran
annbtran@gmail.com
3409 S Main St , C
Santa Ana, California 92707

Orozco, Norma

From: Nancy Mejia <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:22 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Nancy Mejia
nnc.mejia@gmail.com
2030 E Santa Clara G-2
92705, California 92705

Orozco, Norma

From: Meyby Nicolas <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:45 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Meyby Nicolas
nmeyby@gmail.com
209 Lido Drive
Santa Ana, California 92703

Orozco, Norma

From: Clara Leopo <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:48 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Public land for public good, not for developers

City Staff,

I am a Santa Ana resident. I urge you not to give away public land and millions of dollars in subsidies to this well-connected developer to build a hotel. Public land should be used for the public good, not for the good of developers.

Go back to the drawing board. There are many options that would better aid Santa Ana residents than this proposal. Fight for a revenue-generating lease, a project with more affordable housing and no hotel, or simply postpone this until the deal can be renegotiated in a way that actually helps Santa Ana residents.

Thank you,

Clara Leopo
claraleopo@gmail.com
2327 West Washington Ave
Santa Ana, California 92706

<<https://u1584542.ct.sendgrid.net/ss/o/sKxQ9Tusut-gXiwfMalEaQ/366/kiW5o7YIRLmtAJ-cPnRRGQ/ho.gif>>

Orozco, Norma

From: Melissa Palmerin <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 2:05 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Public land for public good, not for developers

City Staff,

I am a Santa Ana resident. I urge you not to give away public land and millions of dollars in subsidies to this well-connected developer to build a hotel. Public land should be used for the public good, not for the good of developers.

Go back to the drawing board. There are many options that would better aid Santa Ana residents than this proposal. Fight for a revenue-generating lease, a project with more affordable housing and no hotel, or simply postpone this until the deal can be renegotiated in a way that actually helps Santa Ana residents.

Thank you,

Melissa Palmerin
palmerinmelissa@yahoo.com
1101 W Stevens Ave
Santa Ana, California 92707

<https://u1584542.ct.sendgrid.net/ss/o/sKxQ9Tusut-gXiwfMalEaQ/366/pluZKLQLRrWb_dxGfpceqw/ho.gif>

Orozco, Norma

From: Peter Irwin <53172petersirwin@att.net>
Sent: Tuesday, October 20, 2020 2:01 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Public land for public good, not for developers

City Staff,

I am a Santa Ana resident. I urge you not to give away public land and millions of dollars in subsidies to this well-connected developer to build a hotel. Public land should be used for the public good, not for the good of developers.

Go back to the drawing board. There are many options that would better aid Santa Ana residents than this proposal. Fight for a revenue-generating lease, a project with more affordable housing and no hotel, or simply postpone this until the deal can be renegotiated in a way that actually helps Santa Ana residents.

Thank you,

Peter Irwin
53172petersirwin@att.net
2229 Oak St.
Santa Ana, California 92707

<<https://u1584542.ct.sendgrid.net/ss/o/sKxQ9Tusut-gXiwfMalEaQ/366/YPQVarIpRnG-IDskvsqyBg/ho.gif>>

Orozco, Norma

From: Nathaniel Greensides <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 3:10 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Another giveaway to developers?

City Staff,

The City shouldn't provide public land and millions in subsidies to a developer, just to get a hotel they might convert to apartments in a few years. As a Santa Ana taxpayer, I'm outraged that we are going to provide our land and subsidies to a developer. Either get a better deal or make a new plan.

Sincerely,

Nathaniel Greensides
mynoci90@gmail.com
1601 N Flower St Apt 1
Santa Ana, California 92706

Orozco, Norma

From: Noraima Chirinos <nchirinos@latinohealthaccess.org>
Sent: Tuesday, October 20, 2020 3:09 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Noraima Chirinos
nchirinos@latinohealthaccess.org
700 W. 3rd Street, apto A202
Santa Ana, California 92701

Orozco, Norma

From: Ernesta Herrera <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 3:08 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Ernesta Herrera
brito_ernesta@hotmail.com
2018 S Cedar St
Santa Ana, California 92707

Orozco, Norma

From: isabellelopez7028@gmail.com <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 3:07 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Public land for public good, not for developers

City Staff,

I am a Santa Ana resident. I urge you not to give away public land and millions of dollars in subsidies to this well-connected developer to build a hotel. Public land should be used for the public good, not for the good of developers.

Go back to the drawing board. There are many options that would better aid Santa Ana residents than this proposal. Fight for a revenue-generating lease, a project with more affordable housing and no hotel, or simply postpone this until the deal can be renegotiated in a way that actually helps Santa Ana residents.

Thank you,

isabellelopez7028@gmail.com
702 S Raitt st. Apt 8
Santa Ana , California 92704

Orozco, Norma

From: Claudine DeGiacomo <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 3:04 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Claudine DeGiacomo
claudinedegiacomo@gmail.com
1022 W First St
Santa Ana, California 92703

Orozco, Norma

From: Jonathan Stone <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 3:03 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Jonathan Stone
jhstoneca@hotmail.com
2312 E Buffalo Ave
Santa Ana, California 92705

Orozco, Norma

From: Ricardo Martinez <ricardo@mycoffeemuse.com>
Sent: Tuesday, October 20, 2020 3:02 PM
To: eComment
Subject: Planning Commission Public Comment for Agenda Item No 2

I am writing to request your approval for the “3rd and Broadway” project. This project is such a beautiful addition to the Downtown Core. The architect, Studio One Eleven, was sensitive to the character of the existing Historic Downtown. They paid special attention to the historic details of the rhythm and proportions of the surrounding Historic Buildings. They were able to weave in the old, while being still being honest with the architecture of today. The end result is a brilliant balance. Carefully placing the outdoor recreation decks and balconies and gently working with the building setbacks, they controlled the massing to a very comfortable scale.

Reactivating Sycamore Street will link the north and south of the Downtown Area, creating a more pedestrian friendly environment. This will also create a safer place to be. The proposed retail, residential and Hotel will be active place. The North and South Downtown will no longer be blocked with a dangerously large and dark parking structure which harbors a den of criminal behavior.

The Sycamore Plaza will be an active Plaza for the residents to enjoy street fairs, artist openings and farmers and flea markets. Downtown will once again be a gathering place for residents and visitors as well.

The revitalization of Santa Ana is moving in a progressive direction; let’s keep that momentum going and I encourage you to approve the” 3Rd and Broadway” Project.

--

Ricardo Martinez
Coffee Muse LLC



Orozco, Norma

From: Jay Trang <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 3:24 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: No land giveaways and subsidies

City Staff,

Why is the city giving away our public land and millions in subsidies to a hotel in the midst of this economic and health crisis? This project doesn't make economic sense and is offensive to me as a Santa Ana resident and taxpayer. Please, fight for the residents and get a better deal!

Thank you,

Jay Trang
bulljayt0311@gmail.com
1001 E Santa Clara Ave
Santa Ana, California 92706

Orozco, Norma

From: Esther Van Deusen <ESTHERVANDEUSEN@YAHOO.COM>
Sent: Tuesday, October 20, 2020 3:23 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Public land for public good, not for developers

City Staff,

I am a Santa Ana resident. I urge you not to give away public land and millions of dollars in subsidies to this well-connected developer to build a hotel. Public land should be used for the public good, not for the good of developers.

Go back to the drawing board. There are many options that would better aid Santa Ana residents than this proposal. Fight for a revenue-generating lease, a project with more affordable housing and no hotel, or simply postpone this until the deal can be renegotiated in a way that actually helps Santa Ana residents.

Thank you,

Esther Van Deusen
ESTHERVANDEUSEN@YAHOO.COM
5125 W Roberts Dr
Santa Ana, California 92704

October 20, 2020

VIA E-MAIL: eComment@santa-ana.org

Honorable Mayor and City Councilmembers of the City of Santa Ana
20 Civic Center Plaza
Santa Ana, CA 92702

Re: Public Hearing Agenda Item 75A - Environmental Review No. 2019-85 for
Density Bonus Agreement Application No. 2020-01, Site Plan Review No.
2020-01, Site Plan Review No. 2020-02, and Disposition and Development
Agreement with Caribou Industries for the 3rd and Broadway Development
At 201 West 3rd Street
Objection/Comment Letter

Dear Honorable Mayor and City Council Members:

This office represents Coalition Against Santa Ana Irresponsible Development which includes citizens of and property owners in Santa Ana including the owners of the historic Spurgeon Building (202-212 West 4th Street, Santa Ana). The owners of the Spurgeon Building are very concerned about the impact of the proposed 3rd & Broadway Mixed-Use Development Project. This letter is submitted in opposition to the proposed actions considered by the City Council relating to the proposed Project and the environmental review of same.

The City appears to be giving a “pass” to this Project on a number of issues. The City is relying on a decade-old EIR relating to a zoning change and an inadequate Addendum that has failed to analyze the environmental impacts from this massive Wilshire Blvd.-like development. The City is also relying on outdated mitigation measures and proposing a Mitigation Monitoring and Reporting Program for the Addendum that does not include tangible mitigation measures. Instead the mitigation measures proposed rely on future analysis and considerations and aspirational measures. The end result is a massive Project that is “not ready for prime time.”

Ironically, the Addendum refers to a decade-old EIR to suggest that it analyzed things that it clearly did not. Neither the Addendum nor the EIR address the slightly older redevelopment of the downtown by various owners and the Redevelopment Agency. Most notably, the Addendum fails to analyze the potential significant environmental impacts on the historic Spurgeon Building as redeveloped or the companion buildings as redeveloped that are located just steps away from this massive proposed mixed-use Project.

Incredibly, the Addendum omits discussion of or reference to the historic Spurgeon Building. The Addendum pretends that the Spurgeon building and site as redeveloped (along

Honorable Mayor and City Councilmembers of
the City of Santa Ana
October 20, 2020
Page 2

with companion sites fronting on 4th Street are not attached to the Project site. None of the documents discuss the fact that at/near the proposed Project site, there is a placard honoring longtime Santa Ana downtown development director Roger Kooi.

Again incredibly, **The Addendum fails to refer to the obvious fact that the Spurgeon Building and its 4th Street companion buildings have been operationally tied to the Project Site for decades. They are literally tied together by a bridge. They are tied by parking; access; multiple levels and locations of entry points, emergency egress, service access; utility operations, and air, light and view considerations, among others. As it does not refer to the Spurgeon Building and its site, the Addendum does not analyze these shared operational aspects with the Project site concerning the Spurgeon Building or any of its companion buildings and their sites.** Environmental analysis is patently invalid and inadequate if it does not address the elephant, or in this situation, the several elephants in the room.

The owners of the Spurgeon Building have received some documents and information in response to a public records act request. The City's failure to produce but a few pages of documents means that the City does not have documents in its possession or has not provided a full and complete production prior to this City Council meeting.

The environmental documentation for the proposed massive mixed-use development Project ignores site-specific impacts and then attempts to shield its inadequacy by the improper strategy of suggesting that analysis is deferred until the future. Analysis deferred is analysis denied. Moreover, the "Addendum" tries to support itself on a decade-old EIR that itself made clear that it was not designed to analyze this Project. In the present consideration, the City, its staff or both are playing a shell game with the public. Where is the analysis? "Look back to the EIR, it must be there. If it isn't, we will analyze many issues in the future."

The analytical omissions, sad to say, are not surprising. For this neighborhood and the vast majority of neighborhoods in Orange County, this Wilshire Boulevard-type supermassive project bends or breaks all development standards. At the same time, its proponents attempt to circumvent meaningful review, analysis and monitoring constraints. The developer-preferred project avoids consideration of any alternatives to the supermassive project.

These are not minor analytical omissions. Rather, these are analytic deficiencies that prevent the City from acting pursuant to law in a purported determination that the proposed Project meets the required legal standards for approval under CEQA, the Government Code, and the Municipal and Zoning Codes.

Honorable Mayor and City Councilmembers of
the City of Santa Ana
October 20, 2020
Page 3

The Supermassive Project seeks significant waivers and concessions based upon a purported density bonus that is unsupported. The waivers and concessions cause a significant detriment to the historic Spurgeon Building, its 4th Street companions and the Downtown.

The Project seeks various concessions and incentives based on an assumption of a density bonus from the proposed residential component. In discussing the proposed “business terms” of the **potential** DDA between the City and the Developer, the Staff Report recognizes that the Developer has an option to convert the hotel component of the proposed Project to residential. (See Staff Report to City Council, p. 5.) Under that conversion scenario, the proposed Project **would not** comply with the density bonus calculations and requirements pursuant to State Density Bonus Law found in the Government Code. In fact, other than that passing reference to the Developer’s option to convert the proposed hotel component to residential in the Staff Report, neither the 2010 EIR nor the Addendum analyze the project under the hotel-to-residential conversion option.

The failure to analyze the various Project options makes this Project an analytical “shell game.” Is it a hotel? No. Yes. Maybe. Is it residential? Yes. No. Maybe. Is it both? No. Yes. Maybe. What is this Project? Whatever the Developer wants it to be sometime in the future. It is artfully and purposely unclear what “Project” will be moving forward and whether such “Project” has actually been analyzed. The City has not and cannot with a straight face claim that it is analyzing the possible Project scenarios.

The City has failed to analyze the requested incentives/concessions/waivers as it relates to the historic properties in the area—including the Spurgeon Building and site that is located just steps from the proposed Project. The City Staff Report omits any consideration, analysis or even mention.

As there has been no analysis of the impact on the historic properties operating as redeveloped in the area, no mitigation of such impacts on the historic properties in the area, including the Spurgeon Building, has been analyzed, considered, or imposed.

The City should not take any action until such an analysis and mitigation measures have been considered.

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There are significant impacts to the adjacent redeveloped historic properties such as the Spurgeon Building as a result of the proposed height, massing, floor area ratio and parking waivers/concessions:

The Project proposes significant waivers/concessions to deviate from the development standards which were analyzed and approved in the 2010 EIR. Indeed, in its analysis of the impact of the Transit Zoning Code on historic sites, the 2010 EIR provided that the design and development standards contained within the Transit Zoning Code “contain detailed requirements in regards to building types, frontage types, **massing, height**, architecture, accessibility, **parking**, street presence and landscaping. These standards are specifically designed to ensure that new development within established neighborhoods, as well as existing commercial areas, is sensitive to the existing built form of that area.” (2010 EIR, Sec. 4.4, p. 4.4-17 [emphasis added].) Specific to this area, the 2010 EIR states, “The DT Zone creates a cohesive and consistent set of requirements to ensure that any new projects developed within the Zone adhere to a unified set of standards, thereby ensuring that all new development within the Historic Downtown is considered within the same context as opposed to having a *patchwork of standalone zones*. Specifically, the DT Zone **limits building heights based upon the existing historic context of the buildings currently located in the Historic Downtown.**” (*Id.* at p. 4.4-18 [emphasis added].)

Even with those “detailed requirements” and design/development standards, the 2010 EIR concluded the Transit Zoning Code would cause a substantial adverse change in the significance of historical resources and that such effects were significant and unavoidable. (See *Id.* at p. 4.4-22.)

Now, a decade later, with proposed development at the rear frontage of one of the most historic street frontages in Santa Ana—including the Spurgeon Building—the City seeks to dispose or ignore the very standards it imposed. Height—ignored. Massing—more is more. Floor Area Ratio—let’s get the numerator to be as high as possible. The conduct goes even further as it completely omits any analysis that such deviations would have on the redeveloped historic sites like the Spurgeon Building.

The proposed Project proposes a height 150 percent taller than the height limit imposed a decade ago. Essentially, no standards are applied if a building can be constructed half again taller than the limit. The proposed Wilshire Blvd.-type Project absolutely dwarfs the historic surroundings. The height limit was adopted and imposed for a reason—because a 16-story building within the historic downtown area of Santa Ana is not in keeping with the character of the area. The height will have a negative impact on the historic and redeveloped Spurgeon Building its clocktower and its companion properties. Here is an obvious question, what

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experience does Santa Ana have with fire fighting a 16-story residential/hotel building surrounded by smaller historic structures? What analysis is in the documentation? None.

Similarly, there has been no analysis of the deviation from the maximum 85% massing standard. No analysis has been conducted to support the claims of the added views from the “recessing” of the “building mass at the fourth and fifth levels.” In fact, the massing proposed at the fourth and fifth levels is at or nearly at the maximum allowable massing of—85%. It is not like the third story deviates the maximum but the fourth and fifth levels try to compensate for that by have a massing less than the maximum. The deviation from the floor area ratio standards contributes to the height and massing impacts of the proposed project.

As discussed elsewhere herein, there is no analysis of the impacts from construction of this massive Wilshire Blvd.-type of development just steps away from a 100-plus year old building. What steps will be undertaken to make sure that the demolition, earth movement and construction required for this massive project development will not impact the historic Spurgeon Building or the surrounding historic Downtown area?

The proposed Project also deviates from the parking standards and requirements. The proposed Project eliminates an existing 400-plus space public parking structure that currently serves the downtown Santa Ana properties and businesses. The proposed Project seeks to demolish that existing 400-plus space parking structure and the attendant improvements such as the bridge structures from the parking structure to the nearby buildings, including the Spurgeon Building. The Staff Report asserts that the Project proposes to replace the existing 400-plus space public parking with 220 public parking spots. The Staff Report fails to recognize that such parking spots will be utilized by the retail/commercial oriented uses being proposed as part of the mixed-use development Project. There is no analysis as to the current parking usage of the existing 400-plus parking structure nor any analysis as to whether the proposed 220 parking spots will be sufficient for use of the downtown Santa Ana properties and businesses that currently utilize and rely upon the 400-plus spaces in the existing parking structure. There is no analysis of the impact to the parking situation *during* construction. How long will it take for construction of the development? How long between demolition of 400-plus spaces to having public use of 220 spaces?

The City’s wholesale failure to analyze the very real impacts to historic site such as the Spurgeon Building requires a denial at this time. In fact, there will be significant impacts to the Spurgeon Building from these deviations.

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The reliance on the 2010 EIR and the deficient Addendum is not sufficient.

The 2010 EIR was not a project specific EIR. Rather, the 2010 EIR analyzed the then-proposed Transit Zoning Code. The 2010 EIR did not consider this project. In fact, the only development proposal included in the project description of the 2010 EIR was in a different area of the City of Santa Ana. (See 2010 EIR, Figure 3-7.) In fact, as described in the 2010 EIR project description, the Transit Zoning Code was initially drafted as part of a Specific Plan, however, the City tabled the Specific Plan and instead proceeded with “the zoning component.” The 2010 EIR project description states, “The Transit Zoning Code embodies many of the policies previously contained within the [specific plan], **but is more limited in its scope of implementation.**” (*Id.*, at p. 3-13.)

The 2010 EIR did not include a site specific analysis of this proposed Project. Indeed, the City recognized and acknowledged that the 2010 EIR “can be characterized as both a program EIR and a project-EIR.” The “project-EIR” component related to the development proposal (Figure 3-7) for another area in the City: “since adequate level of details is available for the development proposal, this EIR analyzes the project’s specific potential impacts.” (*Id.* at p. 3-28.)

The City further recognized that further detailed analysis would be required for individual projects: “Regardless of its title, the document is intended to act as an analytical superstructure for **subsequent, more detailed analyses associated with individual project applications consistent with the proposed project.**” (*Ibid.* [emphasis added].) Even more direct, in the 2010 EIR, the City stated: “**The City recognizes that the program-level analysis of the remainder of the project does not include the level of detail necessary to qualify as a project EIR,** and anticipates that **future projects will require more detailed environmental review at the time they are proposed.**” (*Ibid.* at p. 3-28.)

The proposed Project’s reliance on the 2010 EIR and the cursory “analysis” provided in the Addendum do not provide a “more detailed environmental review.” Indeed, as discussed above, many of the development standards that were considered in the 2010 EIR and adopted in the Transit Zoning Code are being ignored without any consideration or analysis of the impact of such deviations on the environment.

The Project will have a significant impact on Cultural Resources that has not been adequately analyzed: The Project proposes a massive development just a few feet away from one of *the* historic buildings in the City of Santa Ana—the Spurgeon Building. In order to make way for the mixed-use development proposed, the Project proposes to remove the existing parking structure including the bridge and appurtenances that connect to buildings that front on

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West Fourth Street including the Spurgeon Building. The bridges and related stairway structures span the alley between the existing parking structure and the Spurgeon Building (and other buildings fronting on West Fourth Street). The bridges and related stairway structures are attached to the historic Spurgeon Building. Yet no analysis has been conducted concerning the environmental impacts to the Spurgeon Building caused by the removal of those structures.

The bridge and related stairway structures also include emergency and incidental ingress, egress from the Spurgeon Building (and other buildings). There are also utility structures that connect to the Spurgeon Building that are part of the existing bridge and related stairway structure. No analysis has been conducted concerning the impacts to the historic Spurgeon Building caused by the removal of those structures.

As discussed elsewhere herein, there has also been no consideration of the impacts on surrounding land uses, including the historic Spurgeon Building, from a fire protection or emergency services standpoint.

Likewise, as discussed above, the proposed Project seeks to deviate significantly from the standards considered in the 2010 EIR. The height, mass, and floor area ratios will all cause adverse impacts to the Spurgeon Building. The adverse impacts from those deviations have not been analyzed and should be considered in an environmental review.

The owners of the Spurgeon Building are concerned that the development activity to demolish the existing parking structure including the bridge and stairway system that serves and is connected to the Spurgeon Building, as well as the development and construction activities that will be required to construct a 16-story building within a few feet of the historic Spurgeon Building that was constructed more than 100-years ago, will cause significant and irreversible impacts to the historic landmark in the City of Santa Ana.

Further analysis is needed and required.

The Project will have a significant impact on Land Use that has not been adequately analyzed: The proposed Project will deviate from the existing land use plan, policy or regulations. As discussed above, the Project requires a number of questionable waivers/incentives/concessions from the design standards that were studied in the 2010 EIR. The deviations in height, massing, floor area ratio, etc. cause significant impacts that were not analyzed in the 2010 EIR and have not been considered or analyzed in the Addendum. As a result of the lack of analysis, the Addendum proposes no mitigation measures.

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There has been no analysis of the viability of this massive development—particularly in a post-COVID environment. Again, while there is some mention of a conversion of the hotel to residential in the staff report, the Addendum does not address such a conversion.

There has also been no consideration of the impacts on surrounding land uses from a fire protection or emergency services standpoint. As discussed herein, the Project will remove the existing ingress/egress from the Spurgeon Building. There has also been no analysis of the ability of emergency vehicles to utilize the alley North of the proposed Project to access the buildings that front on West Fourth Street. There has been no analysis of the fire protection/emergency services to serve this massive development. What is the evacuation plan? What will occur if there is an emergency that requires joint and simultaneous evacuation of this massive development as well as the properties fronting on West 4th Street?

Likewise, there has been no analysis of whether the developer intends to utilize the roof of the 16-story building as a helipad. There is no discussion at all. Does the developer want it, maybe want it, not want it? Will it never happen? The assumption must be that there is the flexibility to add that feature in the future. Yet, there is no analysis of the impacts on surrounding buildings and users.

The Project will have a significant impact on Geology/Soils that has not been adequately analyzed: The Addendum does not adequately consider potential geological impacts from the proposed Project construction. The Project proposes subterranean parking and a large 16-story mixed use building. The Project will be large, heavy and require substantial excavation. Yet, the Addendum does not provide any updated geology studies or geotechnical reports. The City should not be recommending approval of a large scale residential/mixed use project without site-specific information about geotechnical risks and potential mitigation techniques. There is no support for the Addendum's claim that there will not be geologic or soil impacts.

The Project will have a significant impact on Transportation that has not been adequately analyzed: There has not been an adequate analysis of the transportation, traffic and parking impacts or appropriate mitigation. As discussed above, the Project requires the demolition of the existing 400-plus public parking structure that serves the existing downtown Santa Ana buildings and businesses. There has been no analysis of whether the 220 public parking spaces to be replaced by the Project would be sufficient for the existing demand plus the demand associated with the mixed-use development. Further, the 16-story mixed use building will have two-access points off of the small alley to the North of the proposed building. There has been little to no analysis of the traffic impacts of having all vehicular access to the massive 16-story mixed use building from the small alley or the impacts to the neighboring properties that front on West

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Fourth Street and the impacts to access for emergency vehicles as well as emergency egress from the buildings that front on West Fourth Street.

The Project will have a significant impact on Aesthetics that has not been adequately analyzed: As discussed above, the proposed Project seeks numerous waivers/concessions to deviate from standards which will cause significant aesthetic impacts that have not been adequately studied or mitigated. The shadow analysis is just one example of the significant impacts caused by the deviations from the height, massing and floor area ratio standards. The historic Spurgeon Building and other existing buildings and land uses will be dwarfed by the proposed project and live within its shadow. Those impacts have not been analyzed or mitigated.

There has not been an adequate analysis of Greenhouse Gas impacts: Neither the Project nor the underlying documents comply with the provisions of AB 32, Executive Order No. S-03-05 and California Air Resources Board regulations (“GHG Mandates”) as they have been interpreted by both the California Supreme Court and California Courts of Appeal. See *Center for Biological Diversity v. California Department of Fish and Wildlife* (2015) 62 Cal.4th 204; *Sierra Club v. County of San Diego* (2014) 231 Cal.App.4th 1152.) It is mandatory for local jurisdictions such as the City of Santa Ana to take affirmative steps to reduce Green House Gases (“GHGs”) with feasible mitigation and valid climate action plans which implement statewide policy of minimizing GHG as described in AB32. This Project, the 2010 EIR and the Addendum fail to do that.

Mitigation Monitoring and Reporting Program is deficient.

As discussed above, because of the environmental documents’ deficient analysis of the impacts to the environment from the proposed Project, appropriate mitigation measures have not been proposed. Further, even the mitigation measure that *are* being proposed are largely ineffective and without any real oversight. As one example only, the proposed “mitigation” for the impact to cultural and historic resources simply further defers analysis by requiring a technical report at some later date. The proposed mitigation does not provide any requirement for future public notice and review.

The “mitigation” to conduct future analysis is not sufficient. Critical public review—particularly to preserve historic resources—is key. The time to analyze and provide the public with information is now—not some later date when critical review will be no opportunity for public notice and review of such

Further, there is no effort for any monitoring of actual construction activities for compliance.

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CEQA does not permit governmental agencies to play fast and loose with the Mitigation Monitoring and Reporting Program obligations. Mitigation measures are not aspirational statements—they are supposed to be specific and enforceable and are to actually be enforced. Here, the Mitigation Monitoring and Reporting Program falls far short. The “if it’s convenient we might do something” approach is not permissible.

The Spurgeon Building Owner’s comments are timely submitted.

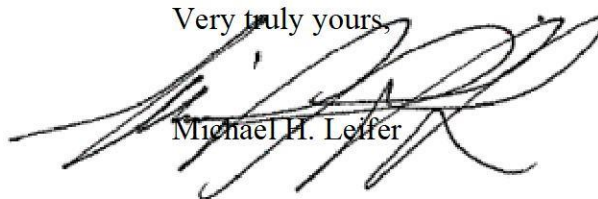
Lest the claim be made that our comments are somehow untimely, the following quote from *Bakersfield Citizens for Local Control v. City of Bakersfield* (2004) 124 Cal.App.4th 1184, 1201, amply rebuts this claim:

City appears to have thought that the public’s role in the environmental review process ends when the public comment period expires. Apparently, it did not realize that if a public hearing is conducted on project approval, then new environmental objections could be made until close of this hearing (§ 21177, subd. (b); Guidelines, § 15202, subd. (b); Hillside, supra, 83Cal.App.4th at p. 1263.) If the decisionmaking body elects to certify the EIR without considering comments made at this public hearing, it does so at its own risk. If a CEQA action is subsequently brought, the EIR may be found to be deficient on grounds that were raised at any point prior to close of the hearing on project approval.

Conclusion

Based on the foregoing and incorporating any and all objections and comments to this Project made by others during the environmental process, the owners of the Spurgeon Building requests that the City Council deny certification of the Addendum, not approve the various Project approvals before it and instead direct Staff and the Applicant to conduct a further analysis and full EIR concerning the impacts from this Project.

Very truly yours,



Michael H. Leifer

Enclosures
cc: Clients

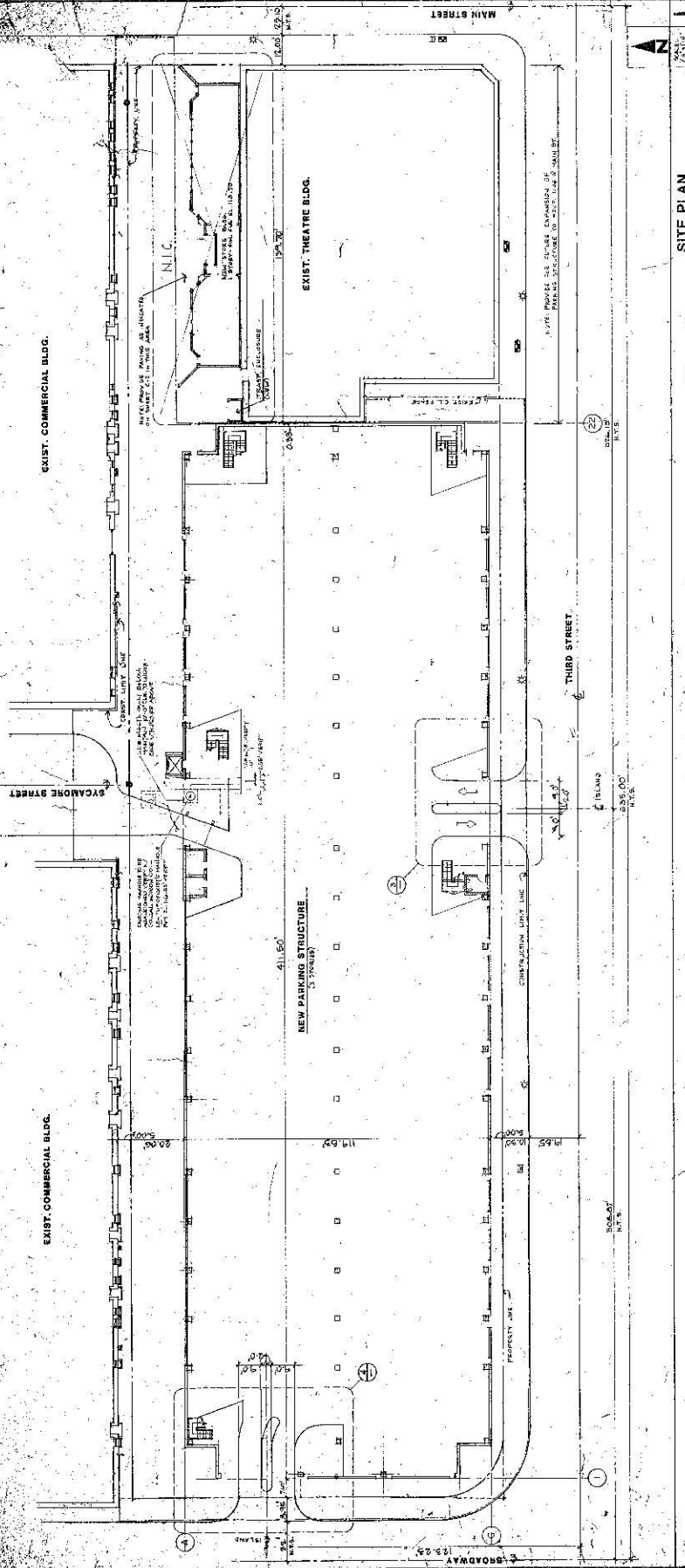
100-21

A-1

SITE PLAN

S.A. DOWNTOWN
PRKG. STRUCTURE

1-13-17



SITE PLAN
GENERAL NOTES

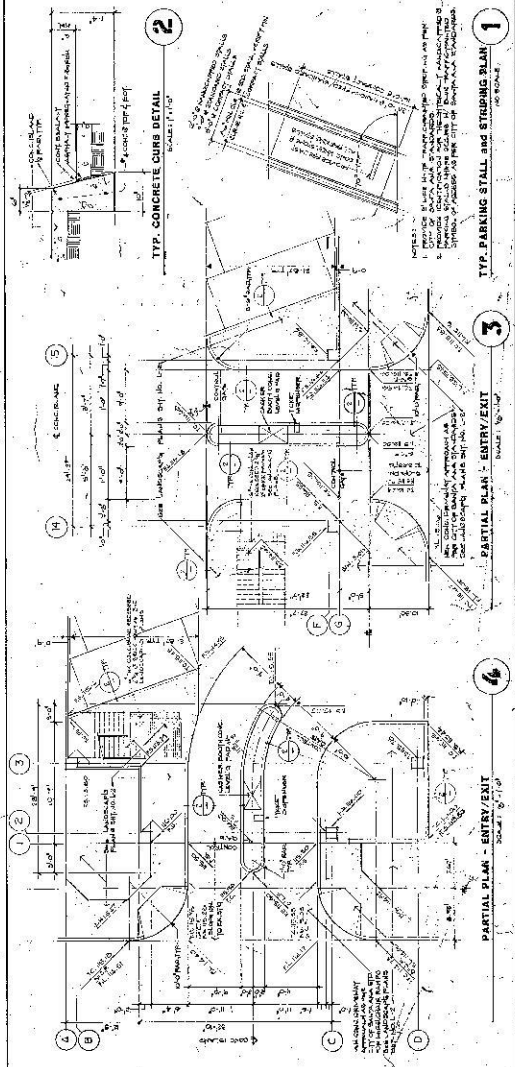
- CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE BUILDING DEPARTMENT AND THE CALIFORNIA CIVIL ENGINEERING BOARD.
- ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE SHOWN TO THE CENTER OF GRAVITY UNLESS NOTED OTHERWISE.
- THE STRUCTURE SHALL BE DESIGNED TO RESIST ALL APPLICABLE LOADS AND SHALL BE CONSIDERED A SEISMICALLY RESISTANT STRUCTURE.
- ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ENGINEER.
- THE STRUCTURE SHALL BE DESIGNED TO RESIST ALL APPLICABLE LOADS AND SHALL BE CONSIDERED A SEISMICALLY RESISTANT STRUCTURE.
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- ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ENGINEER.

LEGAL DESCRIPTION

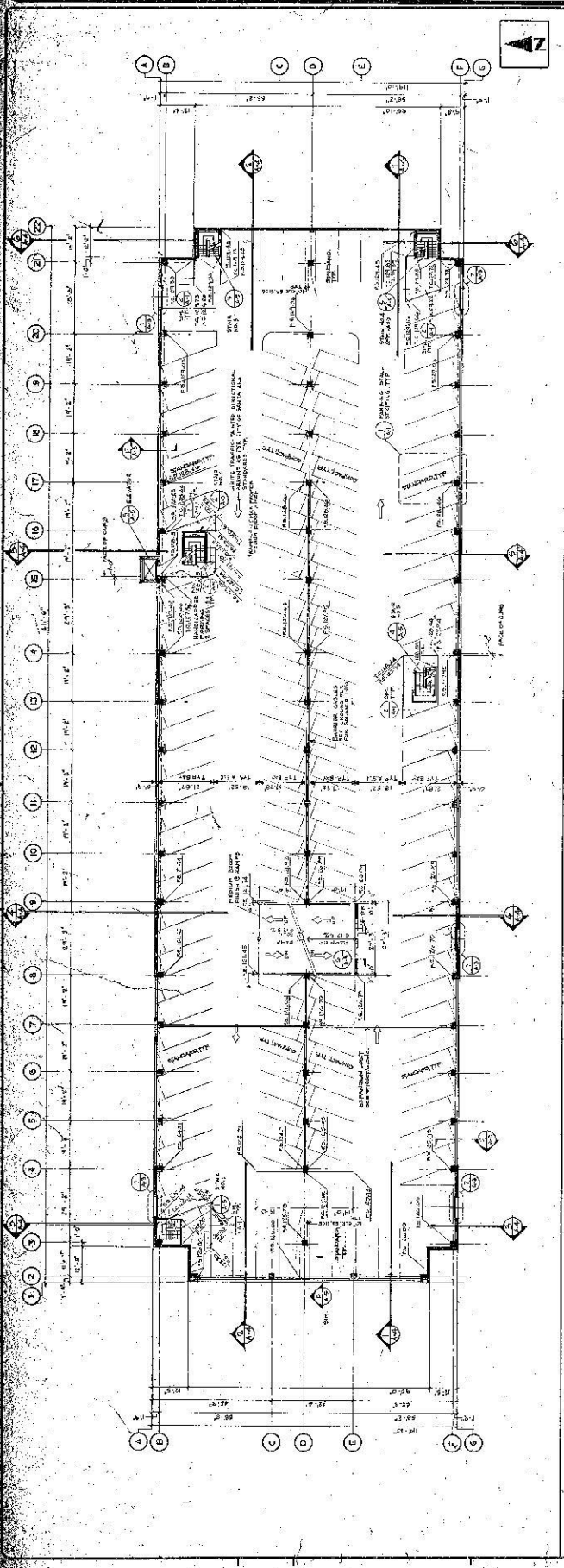
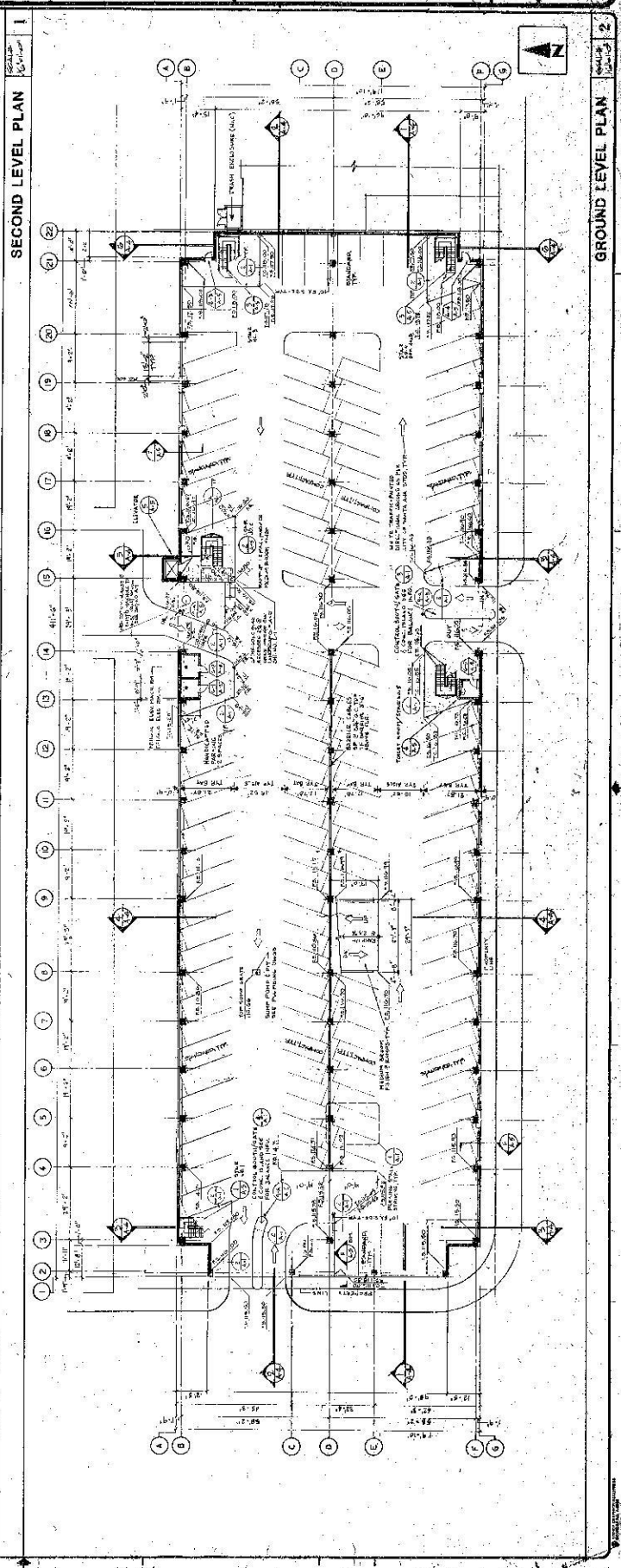
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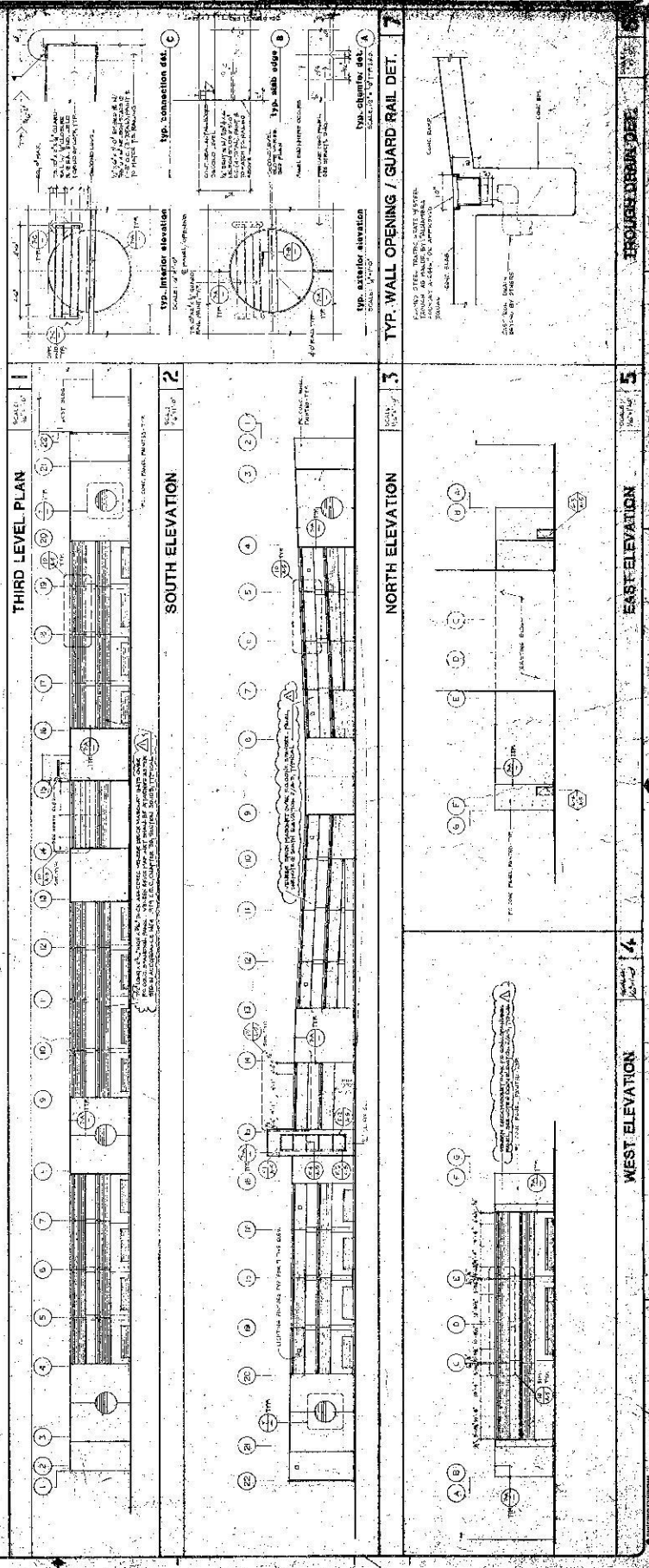
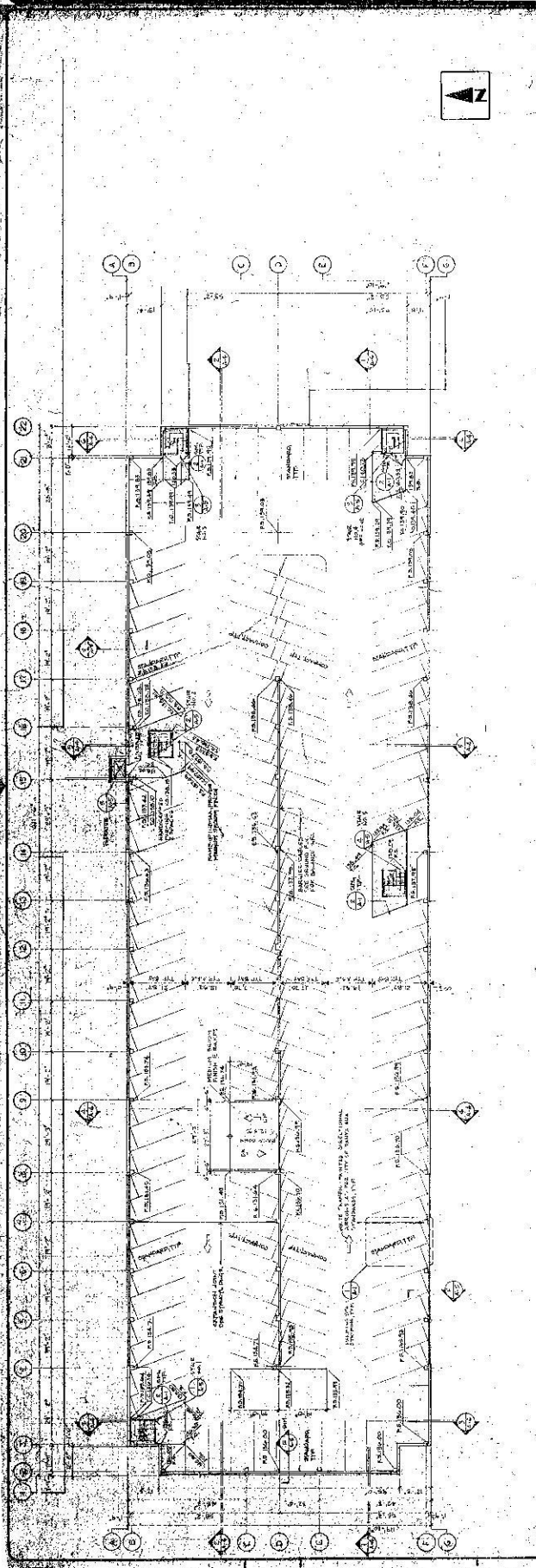
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TWO	2	82	150
THREE	2	82	154
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1-13-11
S.A. DOWNTOWN
PRKG STRUCTURE
GROUND & SECOND
LEVEL
A-2 2 of 21



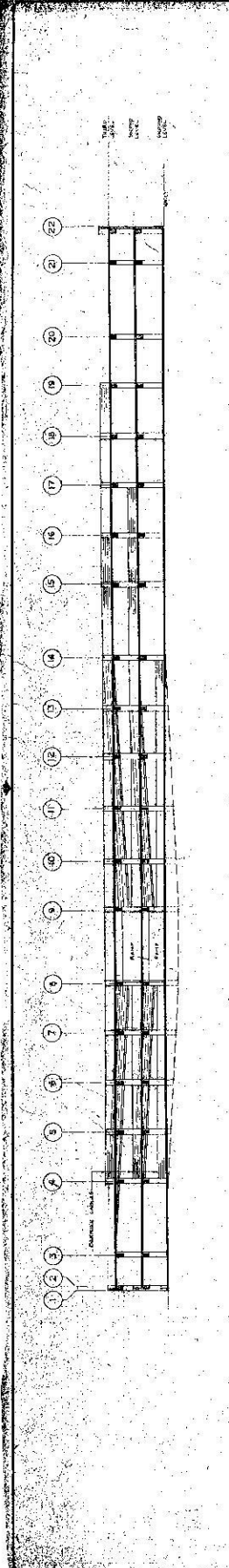
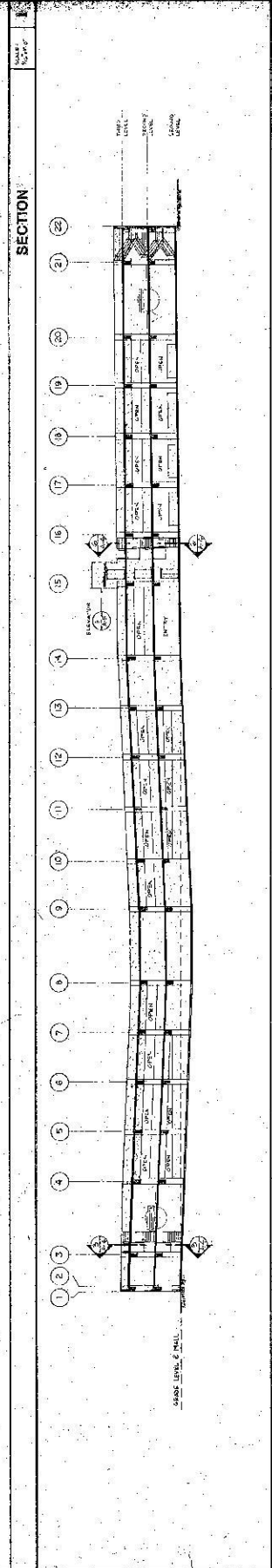
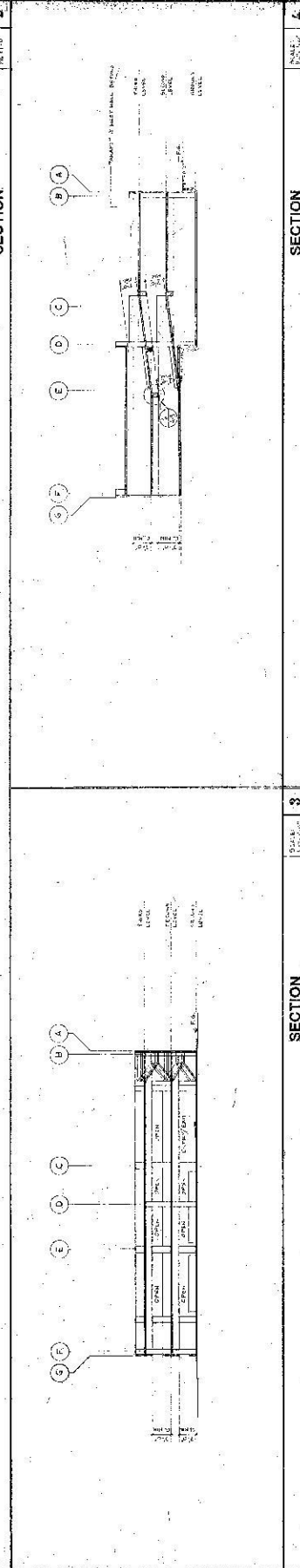
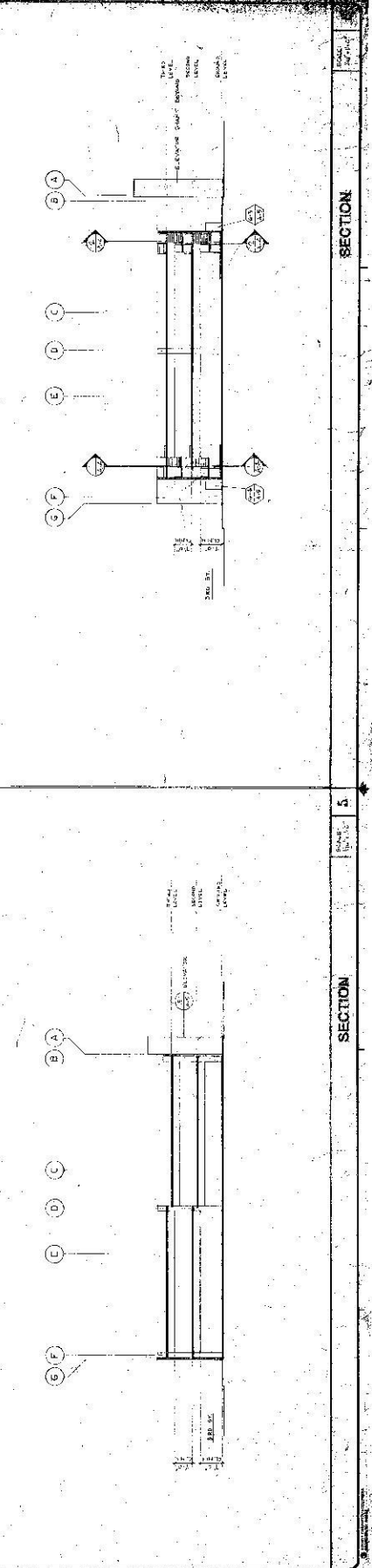


1-13-17

S.A. DOWNTOWN
PRKG. STRUCTURE

BLDG.
SECTIONS

A-4
4 of 20



ROBERT ENGLEKIRK
CONSULTING STRUCTURAL ENGINEERS, INC.
3040 W. 17TH ST., SUITE 200
LOS ANGELES, CA 90024 (213) 290-9027

BUILDING SECTIONS
STRUCTURE AND MALL
SANTA ANA DOWNTOWN PARKING
Santa Ana, California

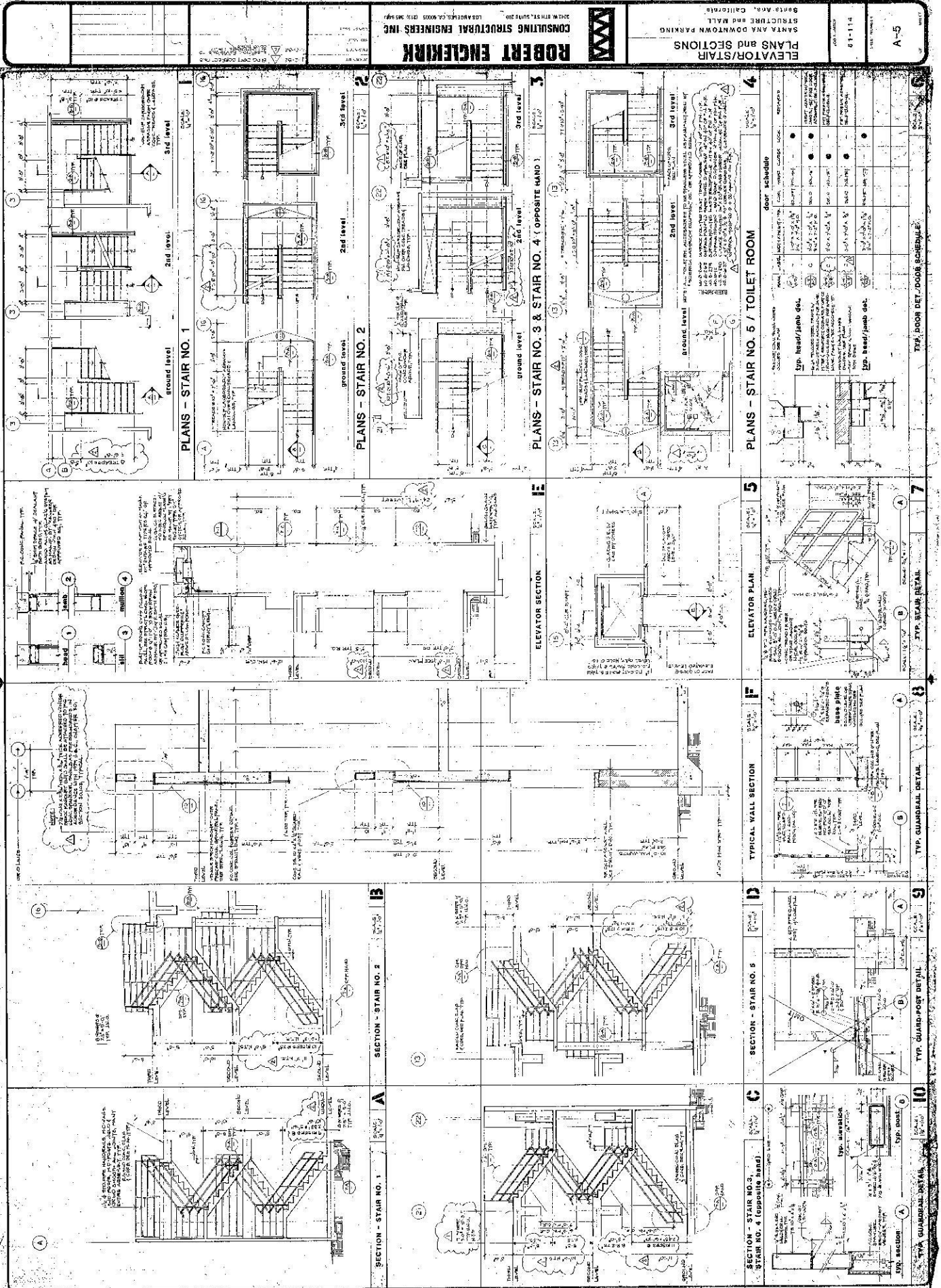
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A-4

1-13-17

S.A. DOWNTOWN
PRKG. STRUCTURE
ELEVATOR
STAIRS

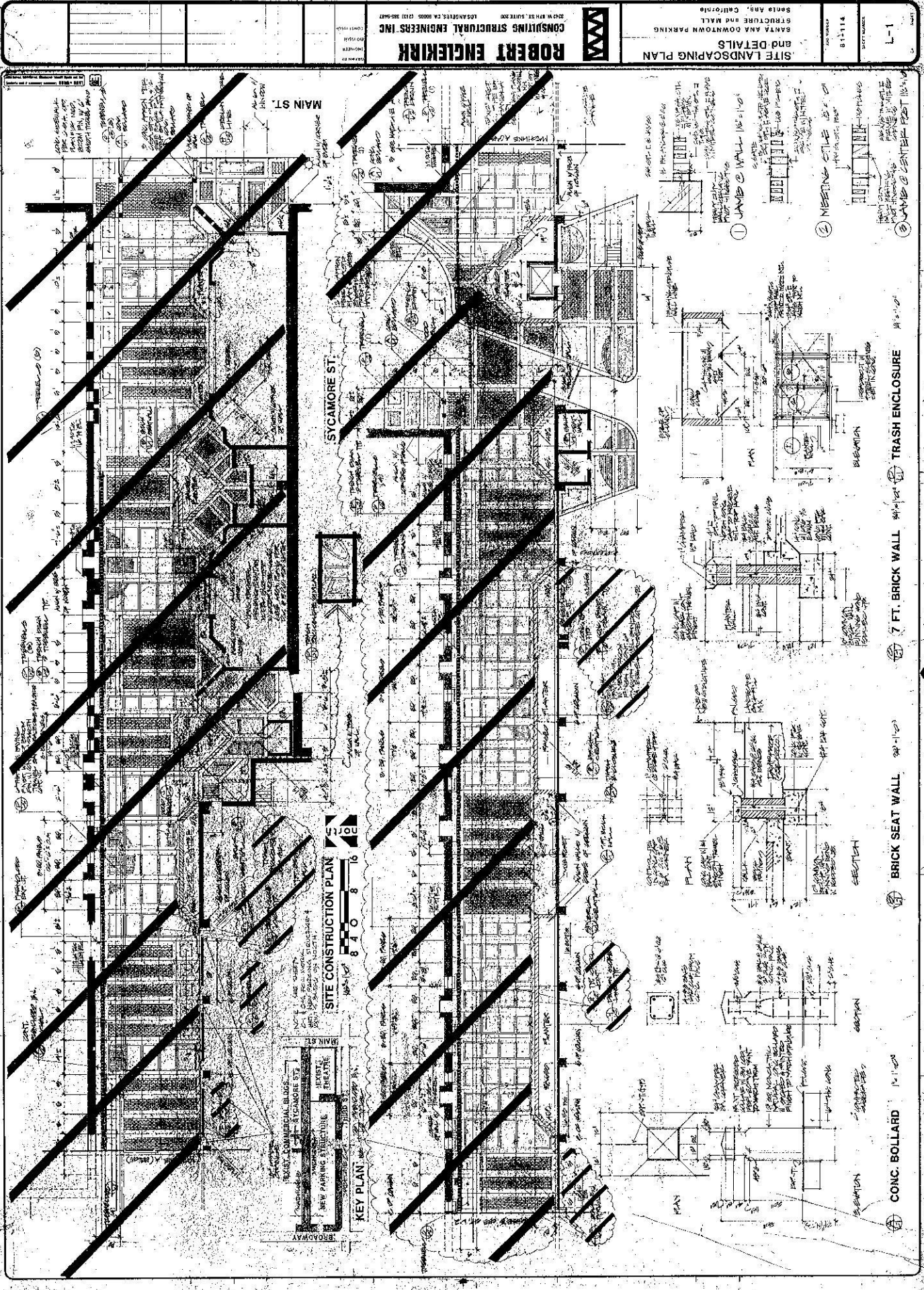
5 of 21
A-5



ELEVATOR/STAIR
PLANS AND SECTIONS
SAINT ANNE DOWNTOWN PARKING
STRUCTURE AND MALL
SAINT ANNE, CALIFORNIA

ROBERT ENGLISH
CONSULTING STRUCTURAL ENGINEERS INC.
2001 W. 10TH STREET, SUITE 200
LOS ANGELES, CA 90005 (213) 581-1114

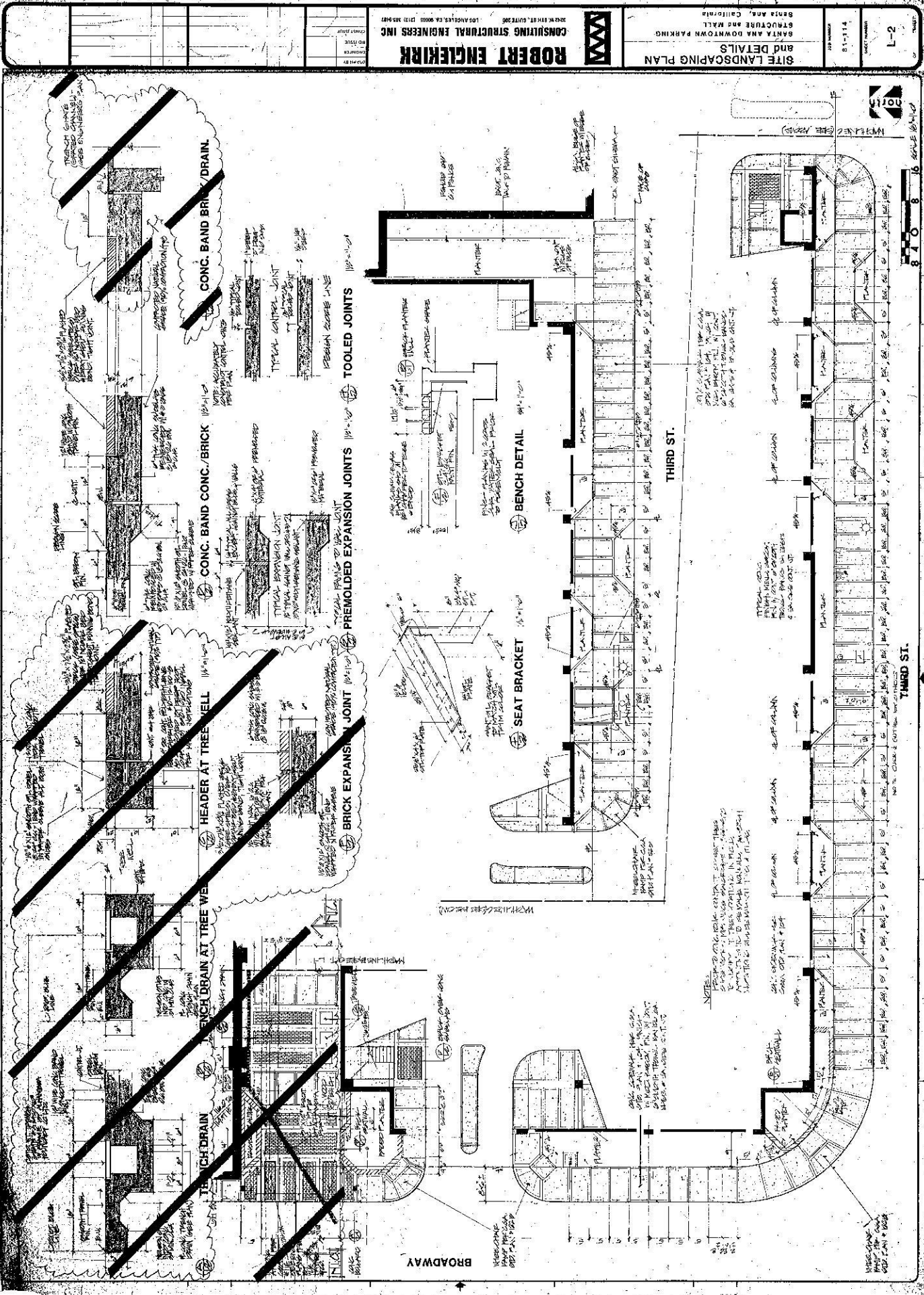
A-5



SITE LANDSCAPING PLAN
and DETAILS
SANTA ANA DOWNTOWN PARKING
STRUCTURE AND WALL
Santa Ana, California

ROBERT ENGELKIRK
CONSULTING STRUCTURAL ENGINEERS, INC.
LOS ANGELES, CA 90005 (213) 383-5447

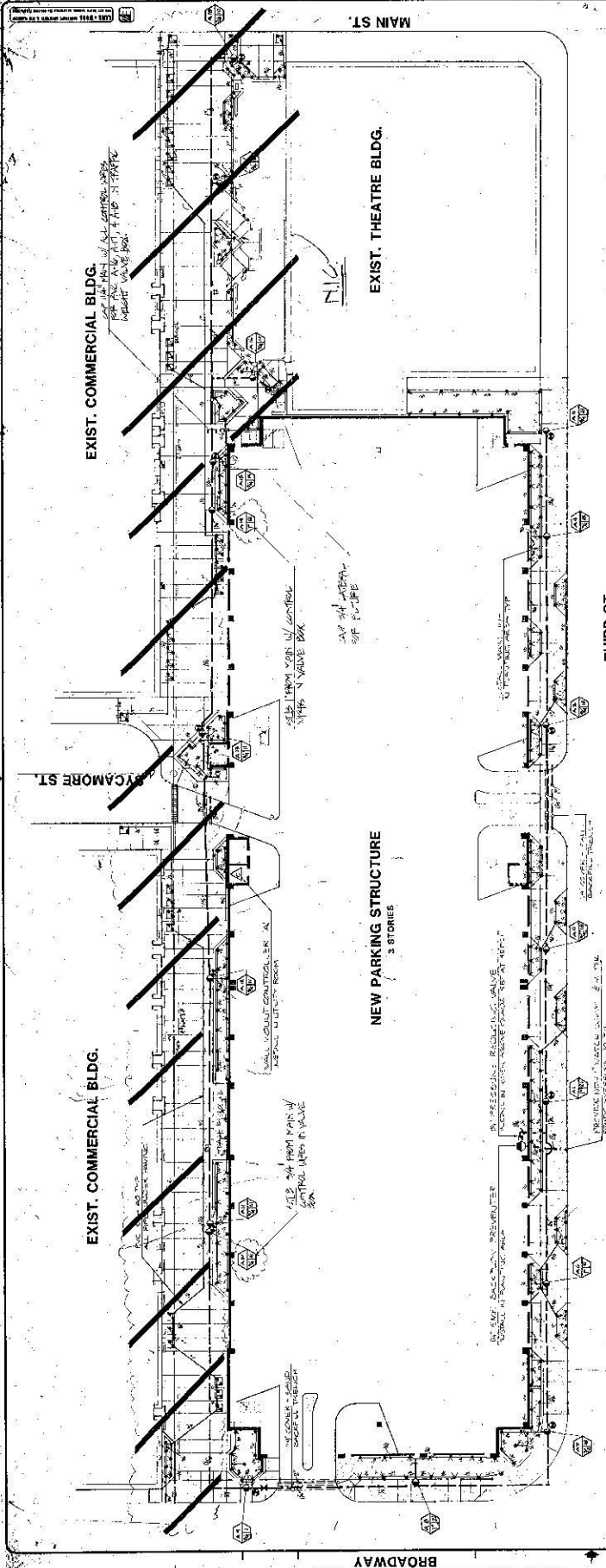
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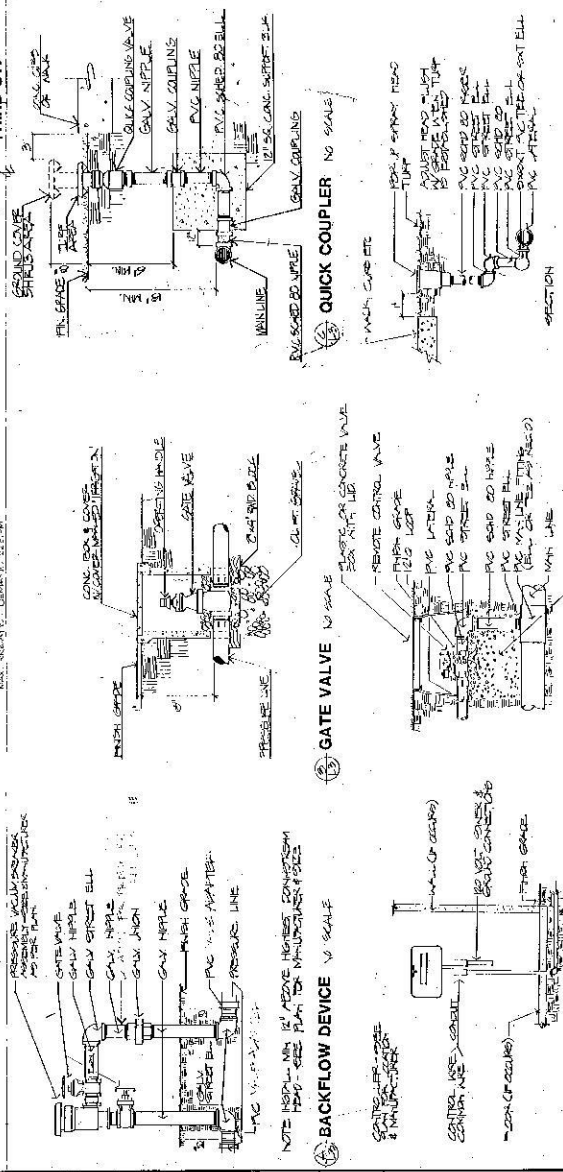
ROBERT ENGLISH
CONSULTING STRUCTURAL ENGINEERS INC.
3024 W. 4TH ST., SUITE 200
LOS ANGELES, CA 90007 (213) 385-9472

**SITE LANDSCAPING PLAN
AND DETAILS**
STRUCTURE AND PAVEMENT
SANTA ANA, CALIFORNIA

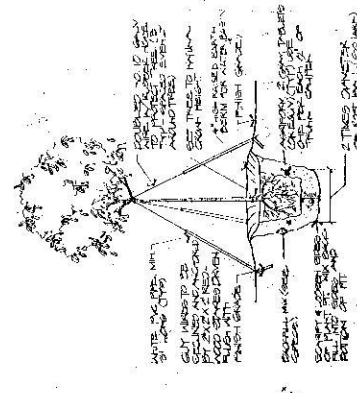
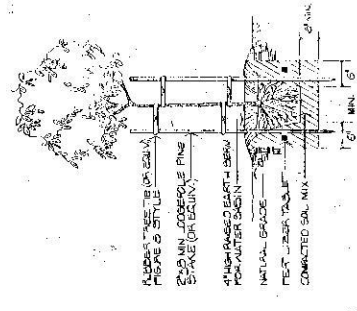
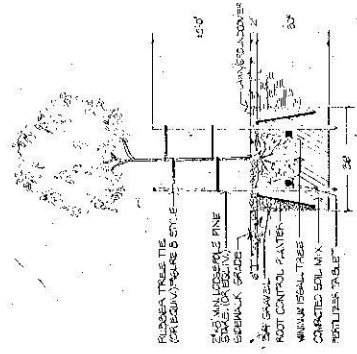
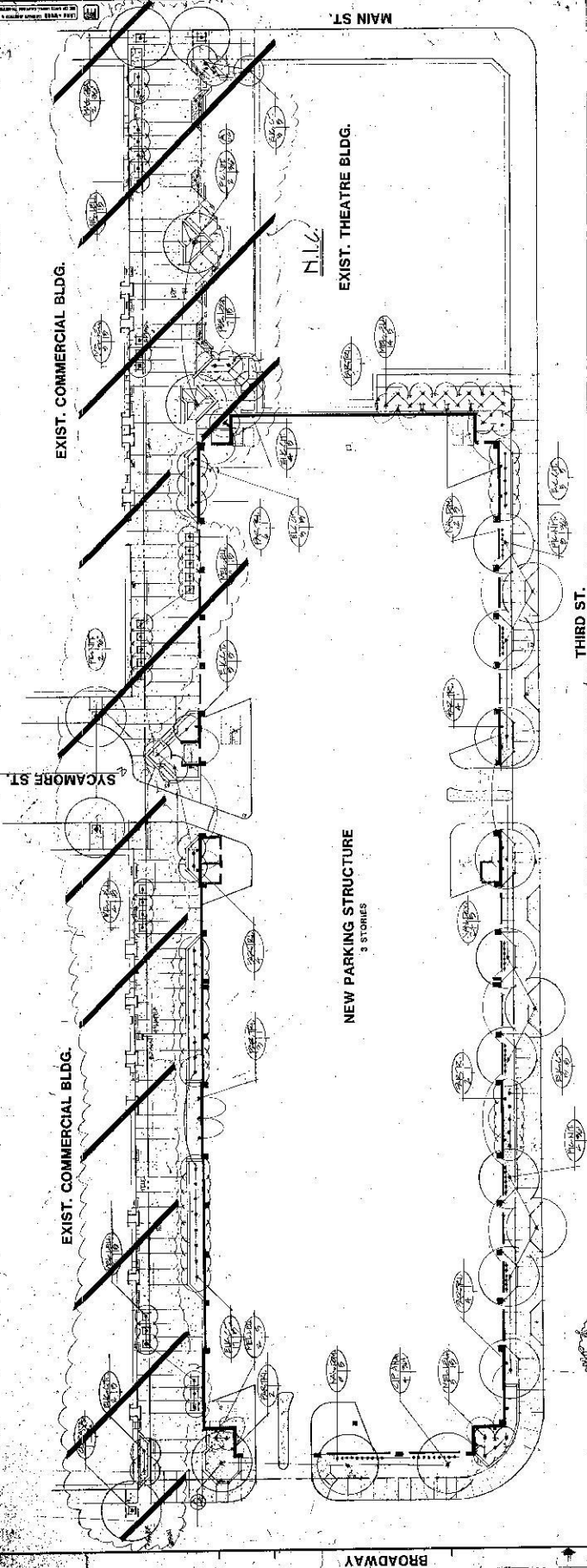
L-2

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IRRIGATION LEGEND



SITE IRRIGATION PLAN



① STREET TREE PLANTING DETAIL. NO SITES
C.A.A. 512 to 514


TREE PLANTING DETAIL NO SCALE
 CASH 3/27/16

③ TREE GUYING DETAIL NO. 6642

SITE PLANTING PLAN

[illegible]

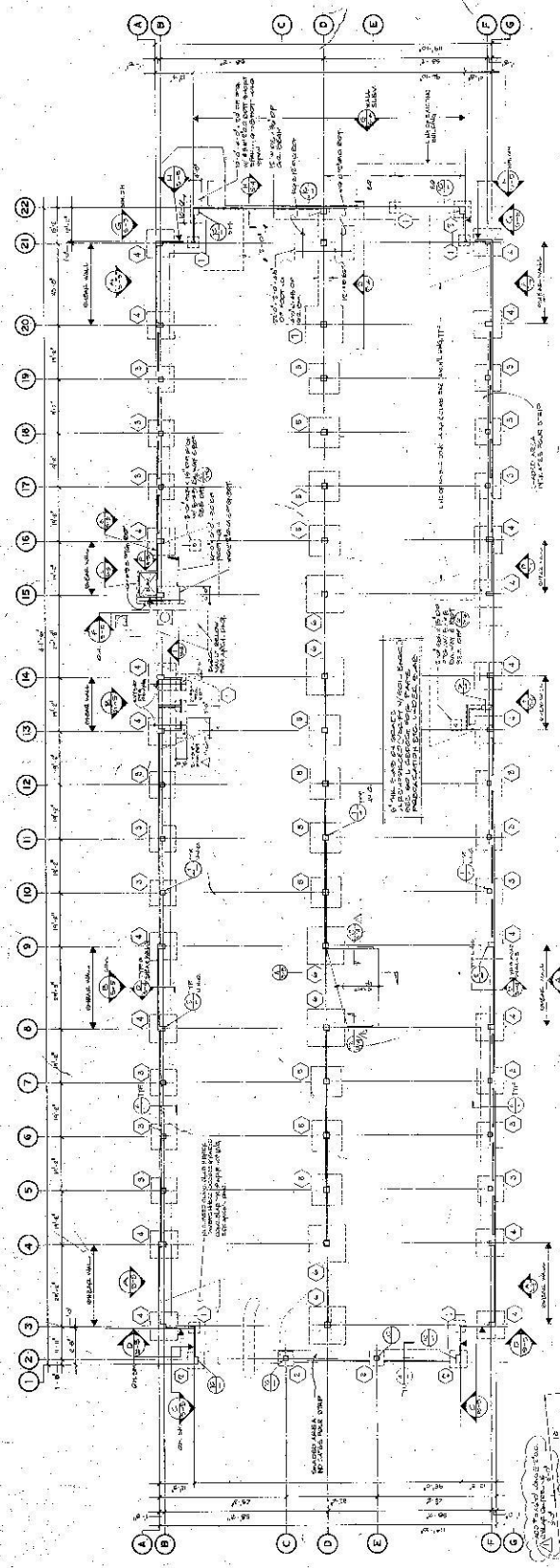
PLANT LEGEND (PHASE ONE ONLY)

11/8/21 S-2

FOUNDATION

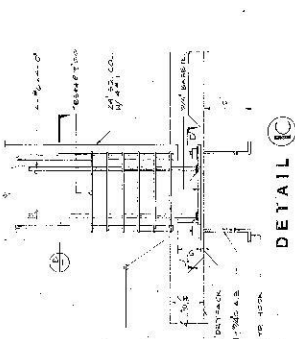
S.A. DOWNTOWN
PARK. STRUCTURE

1-13-17

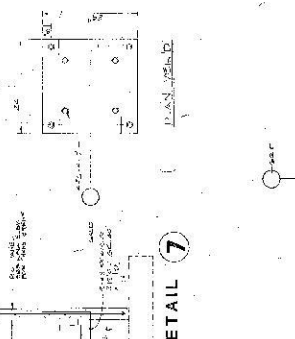


FOUNDATION PLAN
scale: 1/16" = 1'-0"

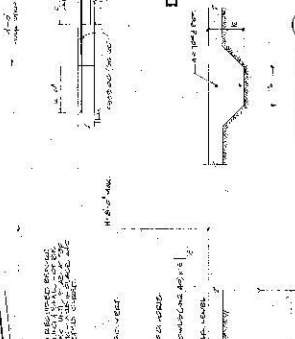
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2. ALL WALLS ARE 16" THICK UNLESS NOTED OTHERWISE.
3. ALL FOOTINGS ARE 18" DEEP UNLESS NOTED OTHERWISE.
4. ALL REINFORCEMENT IS #4 UNLESS NOTED OTHERWISE.
5. ALL WALLS ARE TO BE CONCRETE ON A GRAVEL BED.



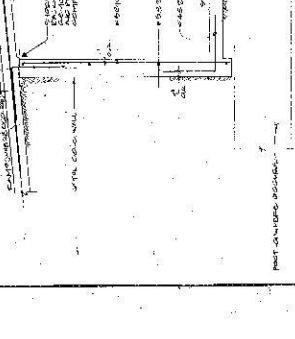
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TYPICAL COLUMN DETAIL



DETAIL 2
SHEAR WALL COL. DET.



DETAIL 3
REBAR & PL WELDING DET.



DETAIL 4
TYPICAL COLUMN DETAIL

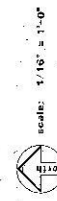
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2	4'-0"	4'-0"	12"	4 #4
3	4'-0"	4'-0"	12"	4 #4
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13	4'-0"	4'-0"	12"	4 #4
14	4'-0"	4'-0"	12"	4 #4
15	4'-0"	4'-0"	12"	4 #4
16	4'-0"	4'-0"	12"	4 #4
17	4'-0"	4'-0"	12"	4 #4
18	4'-0"	4'-0"	12"	4 #4
19	4'-0"	4'-0"	12"	4 #4
20	4'-0"	4'-0"	12"	4 #4
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23	4'-0"	4'-0"	12"	4 #4
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27	4'-0"	4'-0"	12"	4 #4
28	4'-0"	4'-0"	12"	4 #4
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98	4'-0"	4'-0"	12"	4 #4
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100	4'-0"	4'-0"	12"	4 #4

DETAIL 1
TYPICAL COLUMN DETAIL

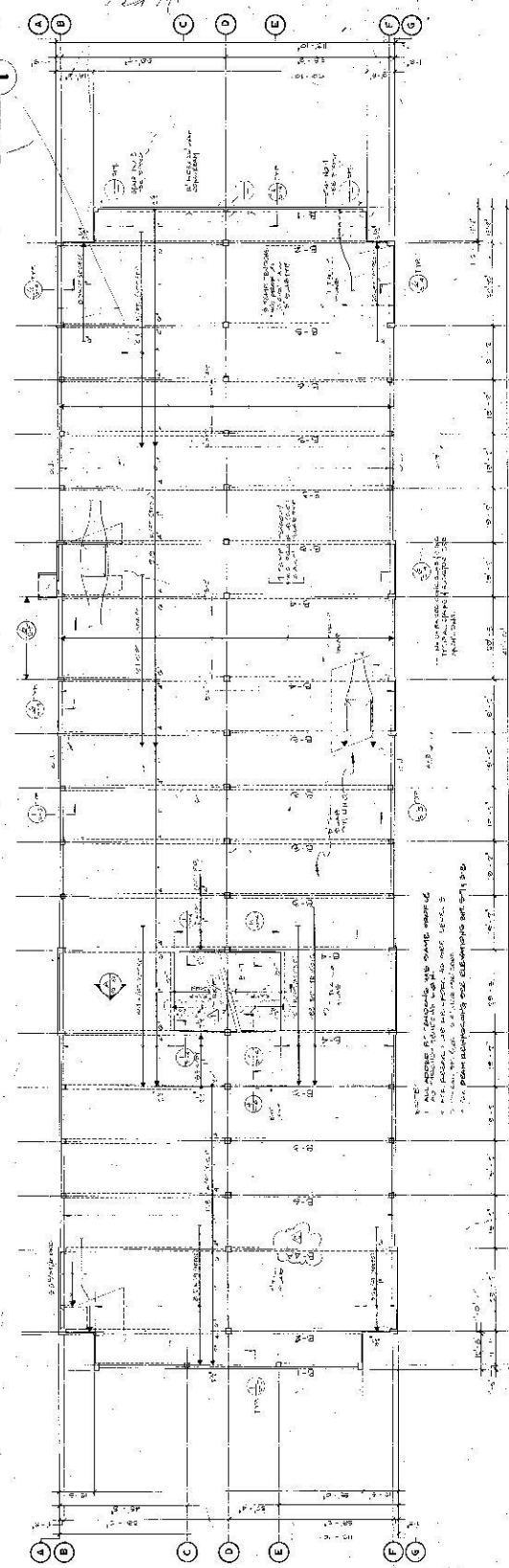
DETAIL 2
SHEAR WALL COL. DET.

DETAIL 3
REBAR & PL WELDING DET.

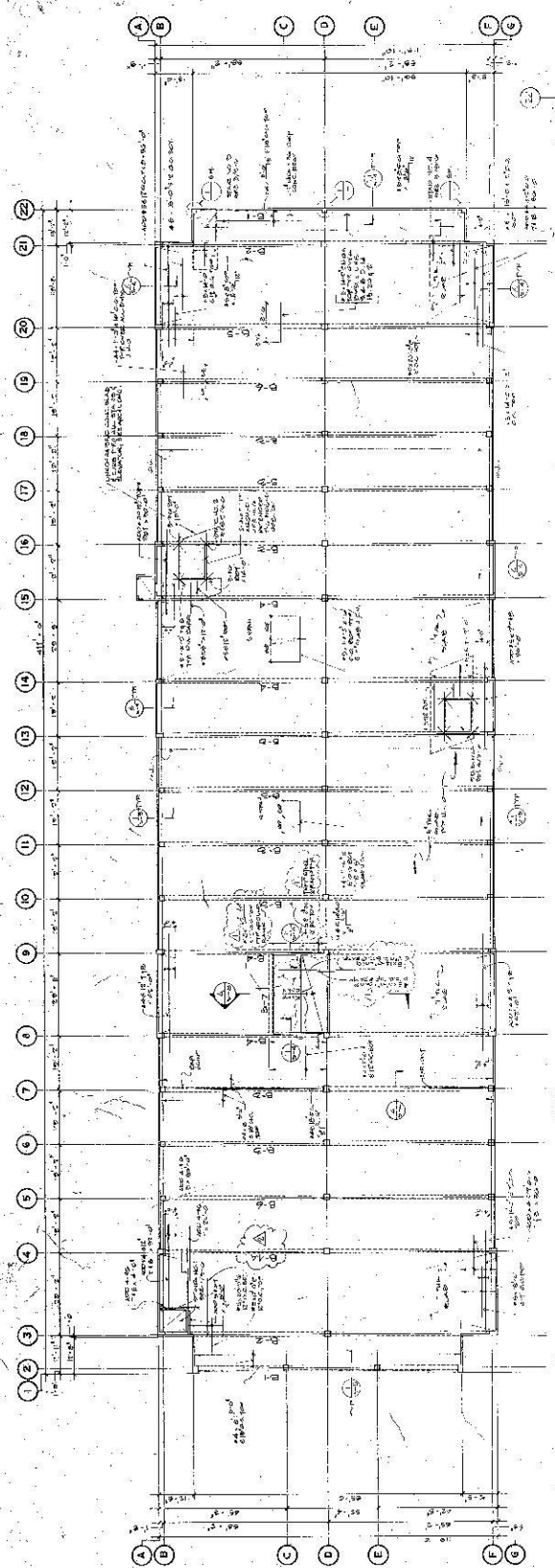
DETAIL 4
TYPICAL COLUMN DETAIL



FRAMING PLAN - LEVEL 2



FRAMING PLAN - LEVEL 3

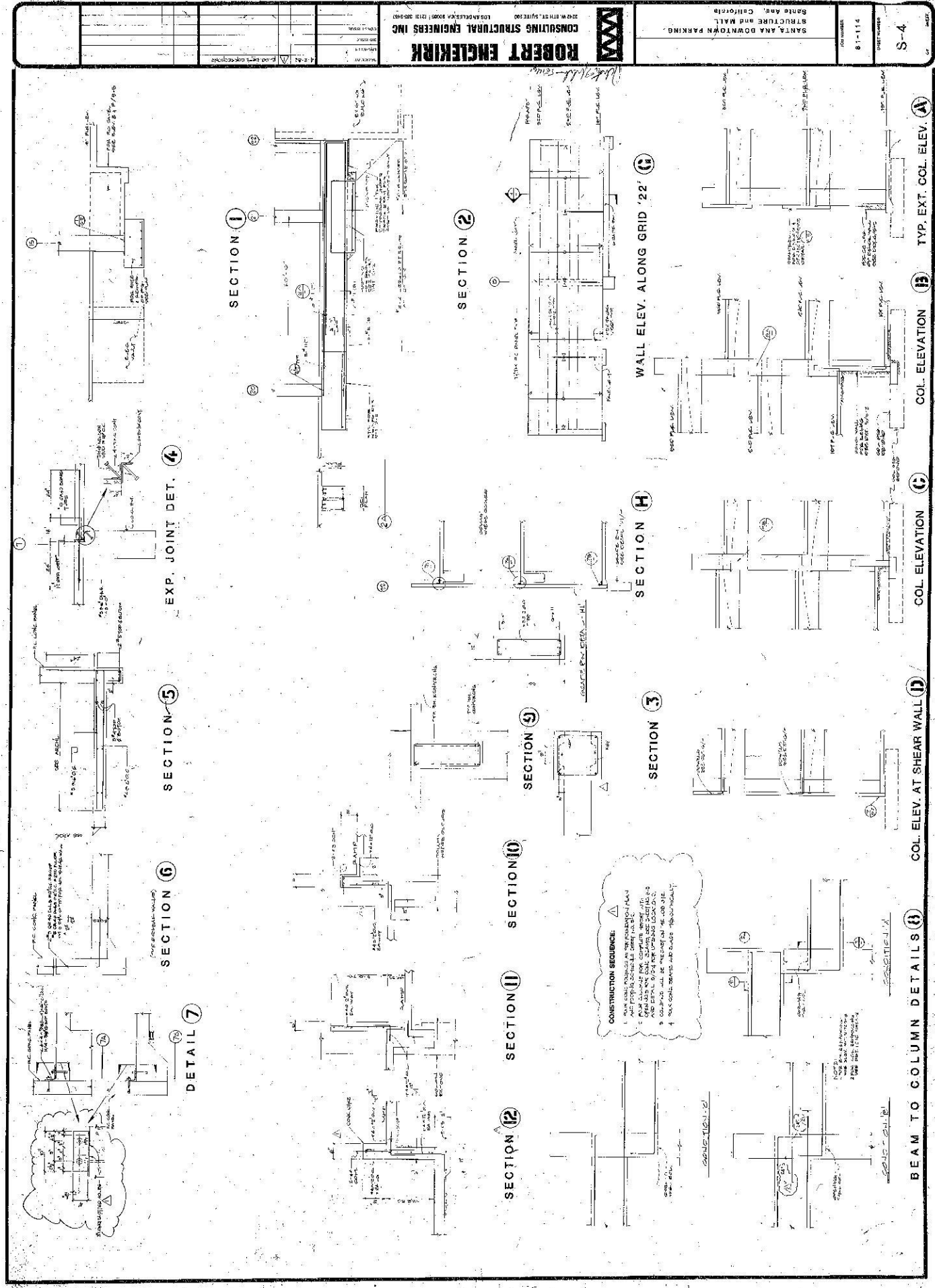


13421

S-4

S.A. DOWNTOWN
PRKE. STRUCTURE

1-13-17



ROBERT ENCLERIK
CONSULTING STRUCTURAL ENGINEERS INC.
1000 CALIFORNIA STREET, SUITE 100
SAN FRANCISCO, CALIFORNIA 94109



SANTA ANA DOWNTOWN PARKING
STRUCTURE AND WALL
SANTA ANA, CALIFORNIA

81-114
S-4

11421

S.A. DOWNTOWN
PRKG. STRUCTURE

1-13-17

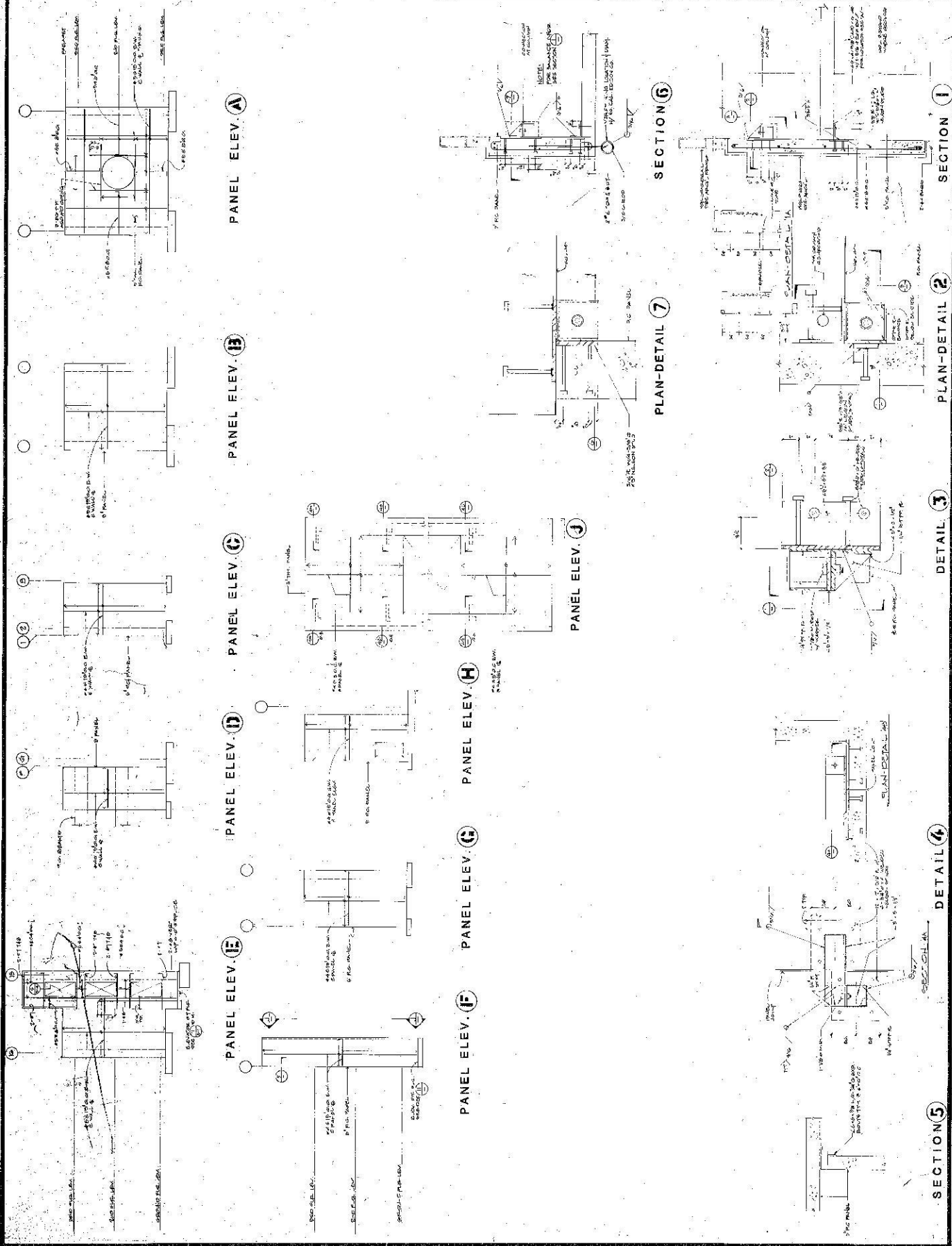
SECTION 5

DETAIL 4

DETAIL 3

PLAN-DETAIL 2

SECTION 1



ROBERT ENCKENKIRK
CONSULTING STRUCTURAL ENGINEERS INC
LOS ANGELES, CA 90005 (213) 385-0427



SANTA ANA DOWNTOWN PARKING
STRUCTURE AND RAIL
SANTA ANA, CALIFORNIA

BL-114

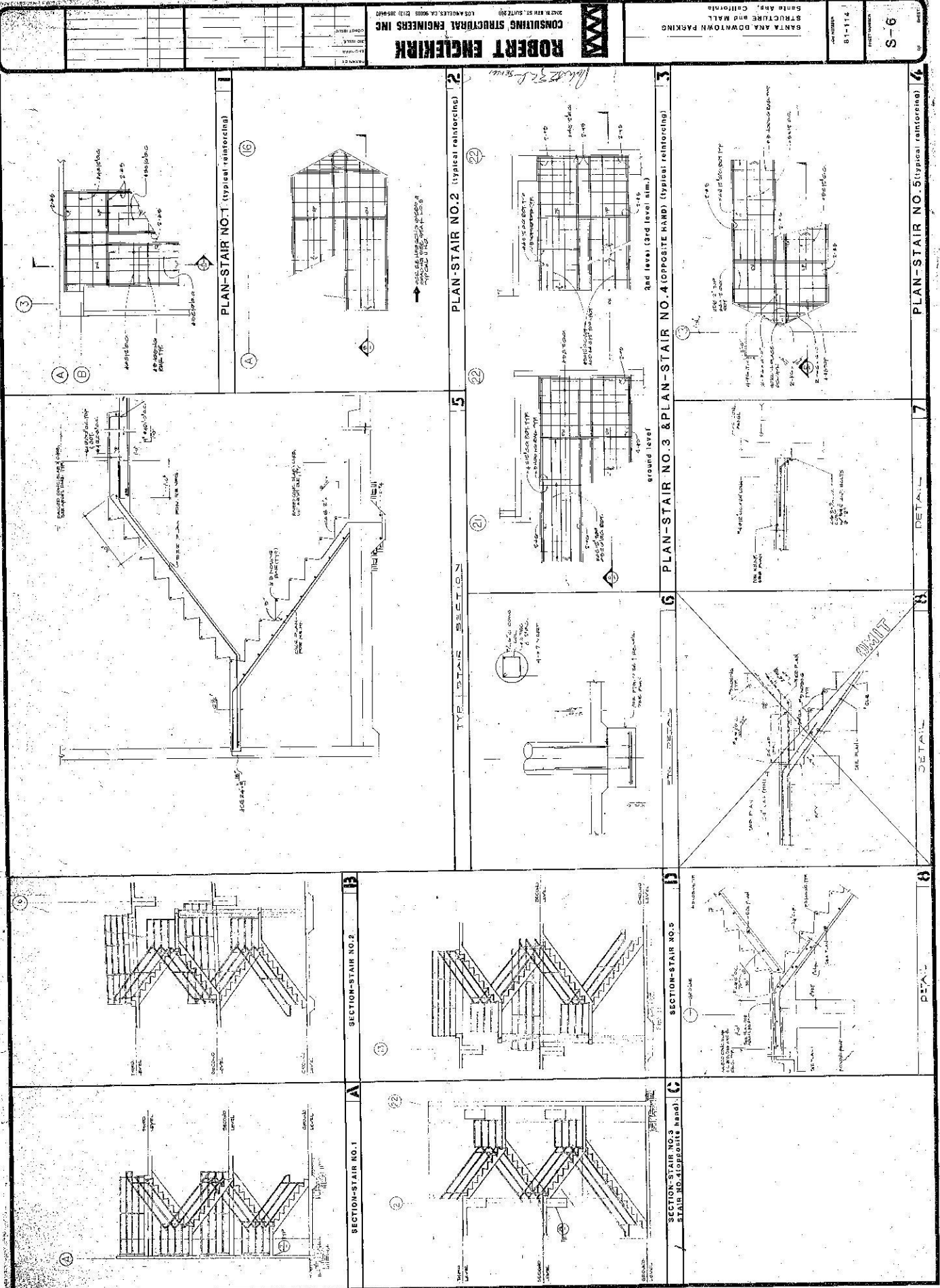
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15-8-21

S-6

S.A. DOWNTOWN
PRKG. STRUCTURE

1-13-17



ROBERT ENCKEIRK
CONSULTING STRUCTURAL ENGINEERS INC.
3000 WEST 10TH STREET
LOS ANGELES, CA 90005 (213) 385-8400

SANTA ANA DOWNTOWN PARKING
STRUCTURE AND MALL
SANTA ANA, CALIFORNIA

81-114
S-6

S-7
16 # 21

S.A. DOWNTOWN
PKG. STRUCTURE

1-13-17

S-7

11-11-14

SANTA ANA DOWNTOWN PARKING
STRUCTURE AND MALL
Santa Ana, California

ROBERT ENGLEKIRK
CONSULTING STRUCTURAL ENGINEERS INC
2800 W. 4TH ST., SUITE 200
LOS ANGELES, CA 90005 (213) 385-5807

DATE	11-11-14
PROJECT	SANTA ANA DOWNTOWN PARKING STRUCTURE AND MALL
CLIENT	SANTA ANA DOWNTOWN PARKING STRUCTURE AND MALL
DESIGNER	ROBERT ENGLEKIRK CONSULTING STRUCTURAL ENGINEERS INC
CHECKED BY	11-11-14
APPROVED BY	11-11-14
SCALE	AS SHOWN
NOTES	1. SEE SHEET S-6 FOR BEAM ELEVATION 1 2. SEE SHEET S-6 FOR BEAM ELEVATION 2 3. SEE SHEET S-6 FOR BEAM ELEVATION 3 4. SEE SHEET S-6 FOR BEAM ELEVATION 4 5. SEE SHEET S-6 FOR BEAM ELEVATION 5

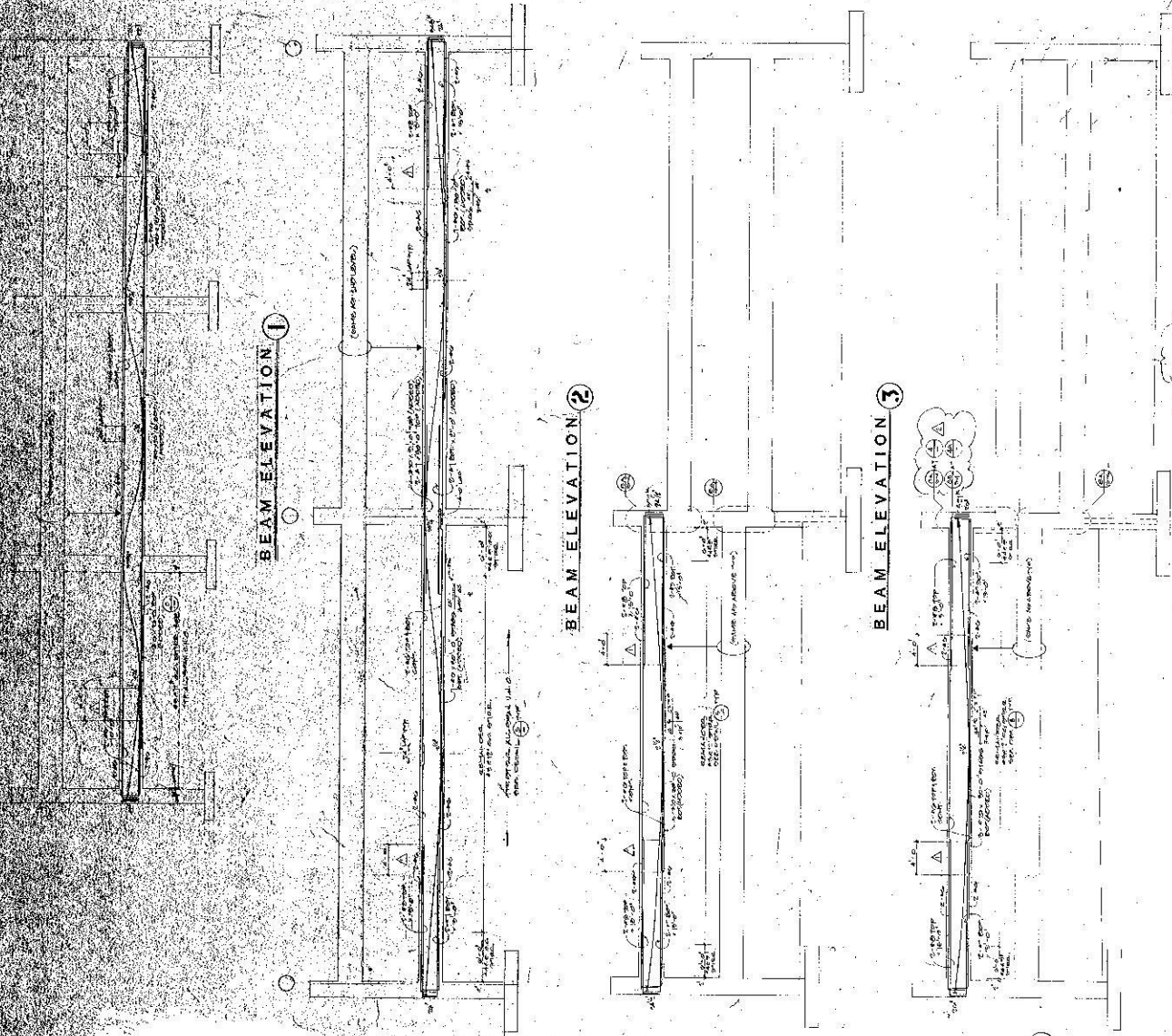
BEAM ELEVATION 1

BEAM ELEVATION 2

BEAM ELEVATION 3

BEAM ELEVATION 4

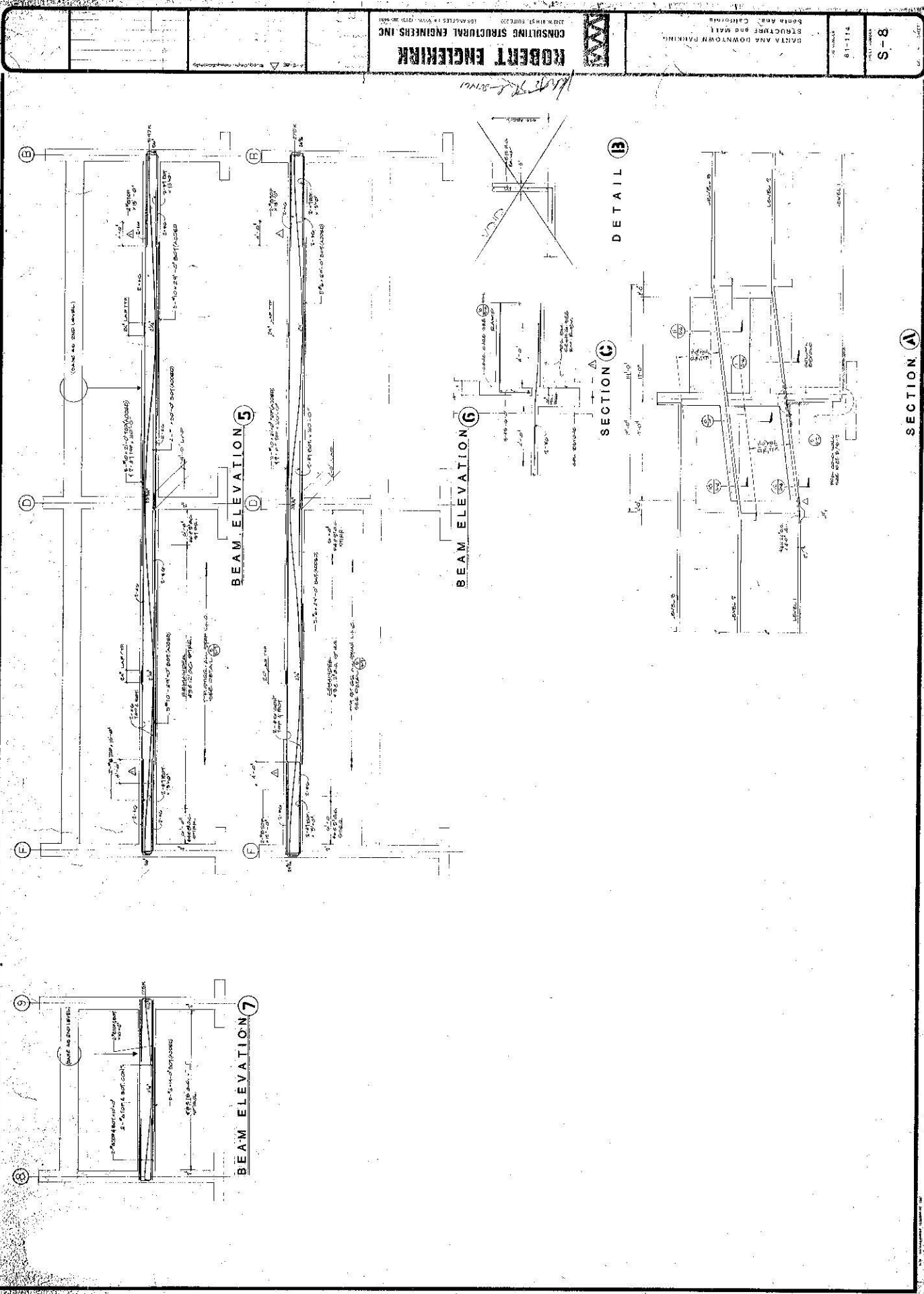
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TYP. STIRRUP DETAIL



1-13-17

S.A. DOWNTOWN
PARK. STRUCTURE

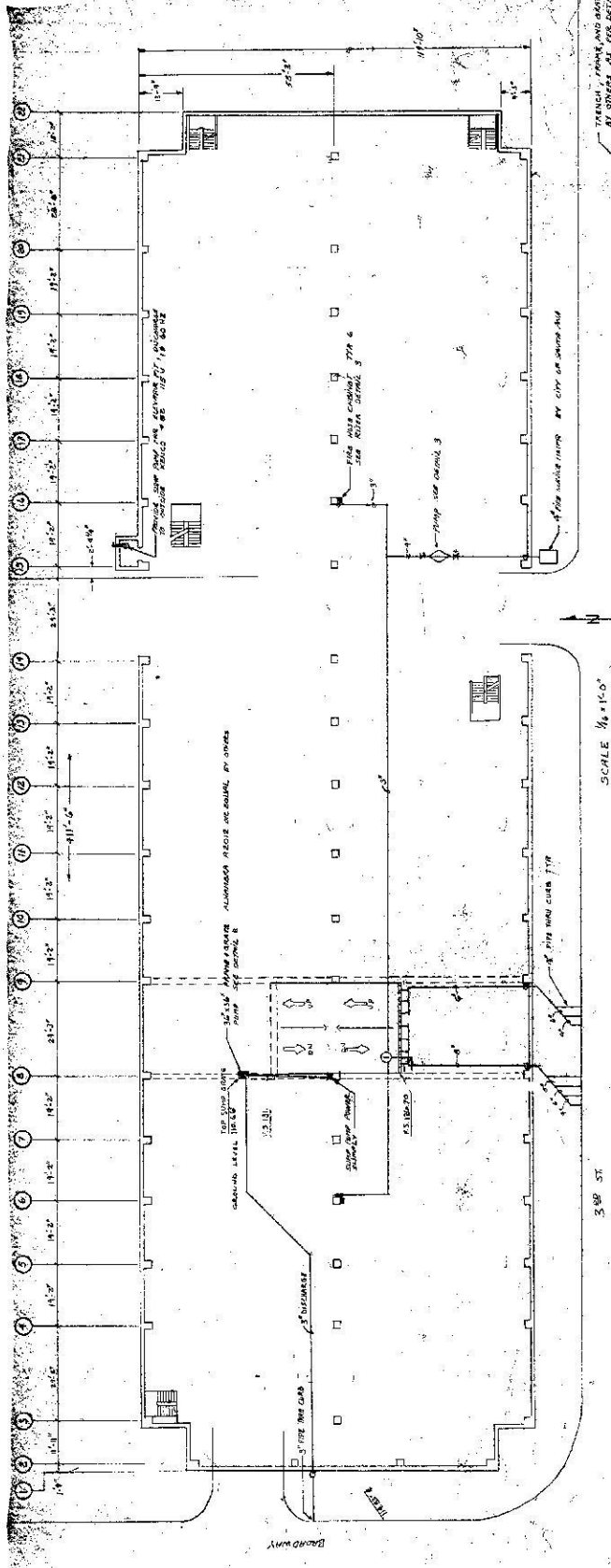
S-8
17421



18 of 29

S.A. DOWNTOWN
PARK STRUCTURE

1-13-17



SCALE 1/8" = 1'-0"

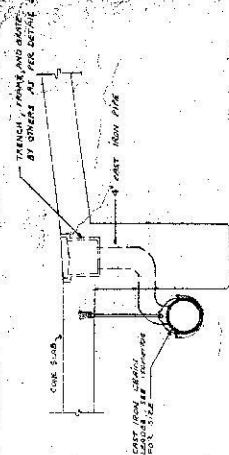
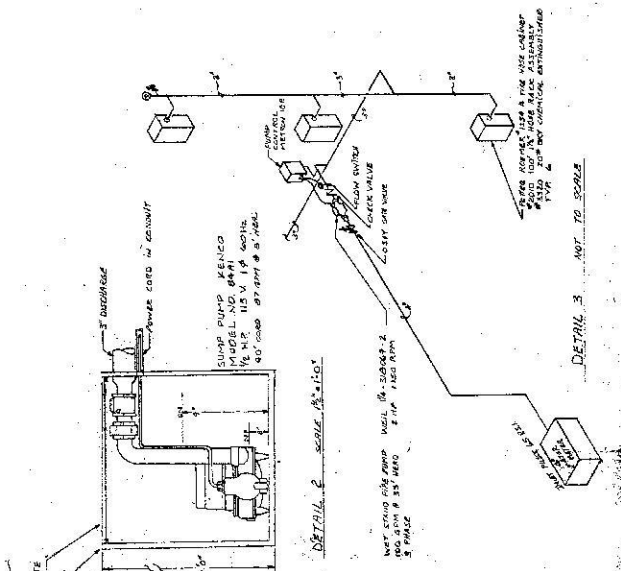


EXHIBIT 1: STAIR CASE FROM APPENDIX D
UNIFORM BUILDING CODE

STAIR CASE - 10'0" x 10'0"
STAIR CASE - 10'0" x 10'0"
STAIR CASE - 10'0" x 10'0"
STAIR CASE - 10'0" x 10'0"
STAIR CASE - 10'0" x 10'0"
STAIR CASE - 10'0" x 10'0"
STAIR CASE - 10'0" x 10'0"
STAIR CASE - 10'0" x 10'0"



DETAIL 3 - NOT TO SCALE

DATE	1-13-17
BY	AS: AMTC
BY	6073
PROJECT	SA DOWNTOWN PARK
PROJECT	STRUCTURE AND MAIL

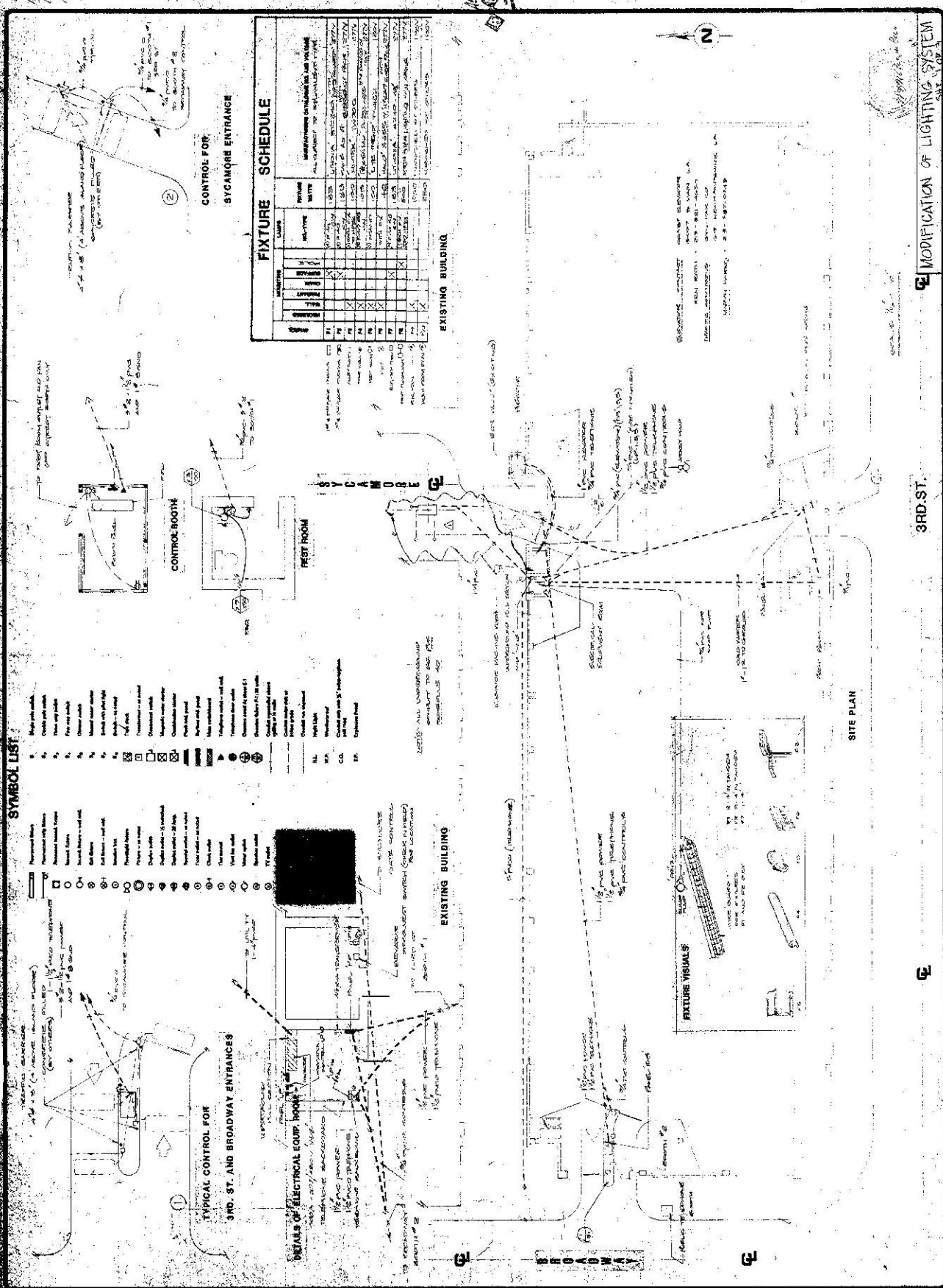
DATE	1988
BY	W. J. B. / J. B. B.
FOR	W. J. B. / J. B. B.
BY	W. J. B. / J. B. B.
FOR	W. J. B. / J. B. B.
BY	W. J. B. / J. B. B.
FOR	W. J. B. / J. B. B.

ELECTRICAL CONTRACTORS
 100 WEST 4TH STREET, SUITE 100
 SAN ANTONIO, TEXAS 78205
 (512) 593-1234

SITE PLAN
 201 W. 3RD STREET
 BETWEEN BROADWAY AND MAIN
 SANTA ANA

PARKING STRUCTURE
 201 W. 3RD STREET
 BETWEEN BROADWAY AND MAIN
 SANTA ANA

DATE 1988
BY W. J. B. / J. B. B.
FOR W. J. B. / J. B. B.
BY W. J. B. / J. B. B.
FOR W. J. B. / J. B. B.
BY W. J. B. / J. B. B.
FOR W. J. B. / J. B. B.



SYMBOL LIST

- 1. Single pole switch
- 2. Double pole switch
- 3. Three pole switch
- 4. Four pole switch
- 5. Five pole switch
- 6. Six pole switch
- 7. Seven pole switch
- 8. Eight pole switch
- 9. Nine pole switch
- 10. Ten pole switch
- 11. Eleven pole switch
- 12. Twelve pole switch
- 13. Thirteen pole switch
- 14. Fourteen pole switch
- 15. Fifteen pole switch
- 16. Sixteen pole switch
- 17. Seventeen pole switch
- 18. Eighteen pole switch
- 19. Nineteen pole switch
- 20. Twenty pole switch
- 21. Twenty one pole switch
- 22. Twenty two pole switch
- 23. Twenty three pole switch
- 24. Twenty four pole switch
- 25. Twenty five pole switch
- 26. Twenty six pole switch
- 27. Twenty seven pole switch
- 28. Twenty eight pole switch
- 29. Twenty nine pole switch
- 30. Thirty pole switch
- 31. Thirty one pole switch
- 32. Thirty two pole switch
- 33. Thirty three pole switch
- 34. Thirty four pole switch
- 35. Thirty five pole switch
- 36. Thirty six pole switch
- 37. Thirty seven pole switch
- 38. Thirty eight pole switch
- 39. Thirty nine pole switch
- 40. Forty pole switch
- 41. Forty one pole switch
- 42. Forty two pole switch
- 43. Forty three pole switch
- 44. Forty four pole switch
- 45. Forty five pole switch
- 46. Forty six pole switch
- 47. Forty seven pole switch
- 48. Forty eight pole switch
- 49. Forty nine pole switch
- 50. Fifty pole switch
- 51. Fifty one pole switch
- 52. Fifty two pole switch
- 53. Fifty three pole switch
- 54. Fifty four pole switch
- 55. Fifty five pole switch
- 56. Fifty six pole switch
- 57. Fifty seven pole switch
- 58. Fifty eight pole switch
- 59. Fifty nine pole switch
- 60. Sixty pole switch
- 61. Sixty one pole switch
- 62. Sixty two pole switch
- 63. Sixty three pole switch
- 64. Sixty four pole switch
- 65. Sixty five pole switch
- 66. Sixty six pole switch
- 67. Sixty seven pole switch
- 68. Sixty eight pole switch
- 69. Sixty nine pole switch
- 70. Seventy pole switch
- 71. Seventy one pole switch
- 72. Seventy two pole switch
- 73. Seventy three pole switch
- 74. Seventy four pole switch
- 75. Seventy five pole switch
- 76. Seventy six pole switch
- 77. Seventy seven pole switch
- 78. Seventy eight pole switch
- 79. Seventy nine pole switch
- 80. Eighty pole switch
- 81. Eighty one pole switch
- 82. Eighty two pole switch
- 83. Eighty three pole switch
- 84. Eighty four pole switch
- 85. Eighty five pole switch
- 86. Eighty six pole switch
- 87. Eighty seven pole switch
- 88. Eighty eight pole switch
- 89. Eighty nine pole switch
- 90. Ninety pole switch
- 91. Ninety one pole switch
- 92. Ninety two pole switch
- 93. Ninety three pole switch
- 94. Ninety four pole switch
- 95. Ninety five pole switch
- 96. Ninety six pole switch
- 97. Ninety seven pole switch
- 98. Ninety eight pole switch
- 99. Ninety nine pole switch
- 100. One hundred pole switch

FIXTURE SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
2	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
3	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
4	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
5	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
6	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
7	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
8	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
9	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
10	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
11	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
12	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
13	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
14	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
15	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
16	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
17	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
18	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
19	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
20	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
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22	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
23	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
24	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
25	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
26	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
27	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
28	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
29	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
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32	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
33	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
34	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
35	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
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55	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
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71	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
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73	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
74	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
75	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
76	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
77	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
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83	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
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97	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
98	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
99	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING
100	100W. HPS. 4'x4'	10	EA	EXISTING BUILDING

CONTROL FOR

SYCAMORE ENTRANCE

CONTROL ROOM

REST ROOM

DETAILS OF ELECTRICAL EQUIP. ROOM

3RD. ST. AND BROADWAY ENTRANCES

EXISTING BUILDING

NEW BUILDING

PARKING STRUCTURE

STREET LIGHTS

FIXTURE VISUALS

MODIFICATION OF LIGHTING SYSTEM

3RD. ST.

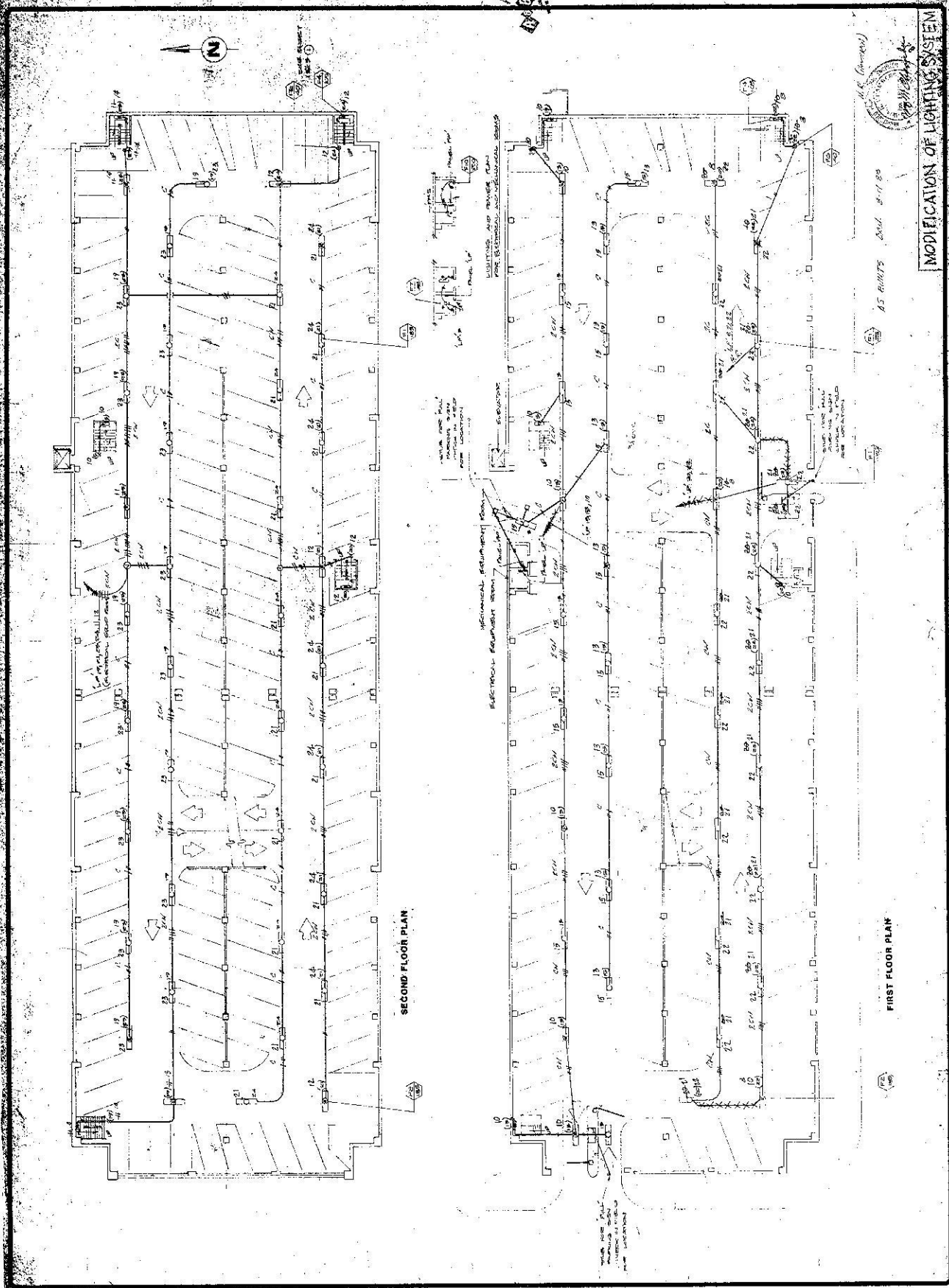
BROADWAY

MAIN

SANTA ANA

1988

1988



MINUTES OF THE REGULAR MEETING
OF THE CITY COUNCIL
OF THE CITY OF SANTA ANA, CALIFORNIA

October 4, 1982

The meeting was called to order by Mayor Pro Tem John Acosta at 1:11 p.m. in Room 147, City Council Chambers, 22 Civic Center Plaza. Councilmembers present were John Acosta, Daniel E. Griset, J. Ogden Markel, Patricia A. McGuigan, and Mayor Gordon Bricken. Also present were City Manager A. J. Wilson, City Attorney Edward J. Cooper, and Clerk of the Council Janice C. Guy. Councilmember R. W. Luxembourger joined the meeting at 1:17 p.m.; Councilmember Alfred C. Serrato was absent.

WORK STUDY SESSION
AMTRAK DESIGN CONCEPT

Richard Thompson, President of Archiplan unveiled an architectural rendering of the Amtrak station proposed for Santa Ana

and discussed briefly modifications which had been made to the design. Mark Hall, also of Archiplan, conducted a hypothetical walking tour of the building, describing traffic patterns, interior facility placement, landscape design and plantings, and structural materials. He explained that construction was anticipated to begin in the spring of 1983 and should be completed toward the latter part of the year. Both members of the firm then responded to Councilmembers' questions. The Council as a whole expressed approval with the new design for the Orange County Transportation Center (Amtrak Station).

The Council recessed at 1:55 p.m. and reconvened in the Council Chambers at 2:09 p.m., with the same members present.

PLEDGE OF ALLEGIANCE
INVOCATION

Following the Pledge of Allegiance to the Flag, the Invocation was given by Councilmember Luxembourger.

CONSENT CALENDAR
ITEMS REMOVED

The following items were removed from the Consent Calendar: 3B, 4, 5A, 5D, 5E, 5F, 8, 12, 17A, 17B, 19A, 19B, 19C 2 and 3.

CONSENT CALENDAR
STAFF RECOMMENDATIONS
APPROVED

MOTION was made by Bricken, seconded by Luxembourger, to approve staff recommendations on the following Consent Calendar items:

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato

MINUTES

Approved the Minutes of the Regular Meeting of September 20, 1982, and Adjourned Regular Meeting of September 21, 1982.

BID CALLS

Approved plans and specifications and authorized advertisement for bids on the following:

SPEC 82-021 - Two 2-Door Hatchback Sedans-
Public Works, Fleet Maintenance.

PROJECT 8483/6172 - Resurfacing of All Purpose
Courts at Various School/Park Sites - Recreation,
Parks and Community Services.

CA 89

BID AWARDS

Awarded the following in accordance with bid summary reports submitted:

SPEC 82-014 - Traffic Signal Controller Assemblies -
Transportation; Multisonics, in the amount of \$780,387.90.

PROJECT 7291/6165 - Adams Park Concession Stand and
Restroom Renovation - Recreation, Parks, and Community
Services; Martin Resnik Const., in the amount of \$72,310.00.

PROJECTS 9019, 9040, 9041 & 9042 - Restriping Various
Locations - Transportation; American Construction, in the
amount of \$20,266.00.

CA 89

ALCOHOLIC BEVERAGE
LICENSE APPLICATIONS

Received and filed staff
report on the following:

SARSOUR, Samir, 2034 S. Main - Original Type 20
Off-sale Beer & Wine.

FOOD SERVICE CATERING, INC., 600 W. Santa Ana Blvd. -
Original Type 41 On-sale Beer and Wine, Public Eating
Place, Replacing Existing License.

MORGAN, Connye, 701 N. Harbor - Person-to-person
transfer Type 42 On-sale Beer and Wine, Public
Premises.

CA 146

DEEDS WITH CASH
GRANTEE CITY

Approved the following deeds
and authorized execution by
the Mayor and Clerk of all
necessary documents:

WESSON, David B. & Giustina J., WS/Newhope,
S/First; street purposes.

MAGANA, Xochilt V., WS/Newhope, N/Watkins;
street purposes.

GUTIERREZ, Ysidra C., WS/Euclid, N/Roosevelt;
street purposes.

CA 155

BOARDS - COMMISSIONS -
COMMITTEES

Appointed the following:

Allan V. Guy - At-large representative to Inter-County
Airport Authority; first term expiring October 15, 1986
(reappointment).

CA 80.9

UNINVESTIGATED LIABILITY
CLAIMS

Referred to administration,
claims received from September 13,
1982 through September 24, 1982.

CA 65.7b

REPORTS TO FILE

Received and filed the following:

PROCLAMATION REPORT.

CA 46

DRUG PARAPHERNALIA/ORDINANCE

CA 47

CONTINUE ITEM-INTER-COUNTY
AIRPORT REQUEST

Continued the following item to
November 1, 1982:

LETTER RECEIVED FROM INTER-COUNTY AIRPORT AUTHORITY
DATED SEPTEMBER 15, 1982, REQUESTING SUPPORT OF A
RESOLUTION OPPOSING ESTABLISHMENT OF A REGIONAL
AIRPORT IN SANTIAGO CANYON.

CA 98

MACARTHUR BLVD. MEDIAN LAND-
SCAPE IMPROVEMENTS - TRANS.
SERVICES.

Approved Request for Proposals to
landscape MacArthur Boulevard
medians and authorized the
Director of Transportation to

request design proposals.

CA 29.14

CA COUNCIL GRANT FOR PAUL
APODACA

Approved the acceptance of the 1982-83
California Arts Council Grant for Paul
Apodaca to work at the Bowers Museum
from October 1, 1982 through July 31,

1983; authorized the City Manager and City Clerk to execute the necessary
documents including the "Agreement for Teaching Services" between the City and
Mr. Apodaca; and authorized the Finance Director to establish the necessary
fund accounts as required.

A-82-83

***** CONSENT CALENDAR FINIS *****

BID AWARD
PROJECT 7149A
APPROVED

Following discussion, MOTION
was made by Bricken, seconded
by Griset, to award the following
in accordance with the bid summary

report:

PROJECT 7149A - Recarpeting of Certain Offices on
Eighth Floor, City Hall - Public Works; C.O. Minor,
in the amount of \$13,015.00. (Agenda Item 3B)

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan
NOES: Markel
ABSENT: Serrato

CA 89

CHANGE ORDER
ASSESSMENT DISTR. #246
APPROVED

Councilmember Luxembourger commented
that he was concerned that Lloyd's
Bank would want to be included in
the pedestrian bridge project

proposed under the Change Order for Assessment District #246 which would
require further expenditure. The Director of Community Development
stated that Lloyd's Bank was not interested in participating at this
time. MOTION was made by Bricken, seconded by Griset, to approve the
following change order:

ASSESSMENT DISTRICT #246 - Parking Structure at Third
and Broadway; Donlan Construction Corporation, in an
amount not to exceed \$100,000.00, for the construction
of a pedestrian bridge spanning the east-west alley
between the parking structure and the buildings under
rehabilitation on the 100 block of West Fourth Street.
(Agenda Item 4)

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan
NOES: Markel
ABSENT: Serrato

CA 90

ABC LICENSE APP.
SIGLAR, Donald
3664 S. Bristol
REC'D & FILED

Following discussion, MOTION
was made by Bricken, seconded
by Luxembourger, to receive
and file staff report on the
following:

SIGLAR, Donald, 3664 S. Bristol - Original Type 41
On-sale Beer & Wine, Public Eating Place.
PROTEST: Planning. (Agenda Item 5A)

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan
NOES: Markel
ABSENT: Serrato

CA 146

ABC LICENSE APP.
SHOBEIRI, TONY
1222 E. FIRST
REC'D & FILED

Wallace Davis, 540 North
Golden Circle Drive, Attorney
for the applicant, addressed
Council with regard to an
ABC license application for

property at 1222 E. First St., and requested that the Police protest be withdrawn. MOTION was made by Luxembourger, to withdraw the Police protest if the applicant would agree to having no video games in the establishment and limited liquor sales. Motion died for lack of a second.

MOTION was made by Bricken, seconded by McGuigan, to receive and file staff report on the following:

SHOBEIRI, Tony, 1222 E. First - Original Type 20 Off-
sale Beer & Wine. PROTEST: Police. (Agenda Item 5D)

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato

CA 146

ABC LICENSE APP.
GREENBERG, PAUL
123 N. BROADWAY
PROTEST REMOVED
W/CONDITIONS

Following discussion, MOTION
was made by Markel to receive
and file the staff report on the
ABC license application for
property at 123 N. Broadway.
Motion died for lack of a

second. MOTION was made by Griset, seconded by McGuigan, to receive and file the staff report and remove the Police protest providing the applicant agreed to the following conditions on the license:

- 1) Sixty-five percent of gross sales must be for food and non-alcoholic items;
- 2) Sales of alcoholic beverages are permitted between 7:00 a.m. and 7:00 p.m. only; and
- 3) No video games are to be permitted on the premises.
(Agenda Item 5E)

AYES: Bricken, Griset, Luxembourger, McGuigan
NOES: Acosta, Markel
ABSENT: Serrato

CA 146

ABC LICENSE APP.
O'CAMPO, JOE
403 N. BUSH
CONT'D TO 11/1/82;
STAFF INSTRUCTED

Joe O'Campo, 1108 East Fourth
Street, addressed Council and
requested that the Police
protest be withdrawn on the ABC
application for property at 403
N. Bush St. MOTION was made

by Luxembourger, seconded by Griset, to withdraw the Police protest if the applicant would agree to the following conditions:

- 1) The number of pool tables would remain at 14; and
- 2) No video games would be permitted in the establishment.

Following further discussion, the motion was withdrawn. MOTION was made by Bricken, seconded by McGuigan, to continue the following to November 1, 1982, and instruct staff to examine the feasibility of instituting conditions that would permit the removal of the Police protest:

O'CAMPO, Joe, 403 N. Bush - Premise-to-premise
transfer Type 40 On-sale Beer & Wine.
PROTEST: Police, Planning. (Agenda Item 5F)

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato

CA 146

Council recessed at 3:22 p.m., and reconvened in the Council Chambers at 3:39 p.m., with the same members present.

EX 82-25
2610 "C" W. EDINGER AVE.
APPROVED & FILED

Following discussion, MOTION was made by McGuigan, seconded by Luxembourger, to approve and file Notice of Exemption

and Findings of Fact on the following:

NOTICE OF EXEMPTION & EX 82-25 - Filed by Stanley Okimoto to allow Off-sale Beer and Wine in an existing market "Mekong" at 2610 "C" W. Edinger Avenue in the C 1 District. (Agenda Item 8)

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato

CA 13.2

EXT. JT. POWERS
AGREEMENT-OC MANPOWER COMM.
CONT'D TO 1/3/83;
STAFF INSTRUCTED

The City Manager reviewed the proposed amendments to the joint powers agreement for the Orange County Manpower Commission. Morton Fink, 1983 S. Ritchey,

addressed Council and requested that the existing agreement be continued to January 1, 1983, and also requested that the City Manager meet with the Executive Committee of the Private Industry Council and the Chairman of the Commission to attempt to modify the proposed amendments to the agreement.

MOTION was made by Luxembourger, seconded by Markel, to continue the following to January 1, 1983, and to instruct staff to meet with the Private Industry Council to see if some compromise might be reached concerning the proposed changes to the agreement:

EXTENSION OF AMENDED JOINT POWERS AGREEMENT FOR
ORANGE COUNTY MANPOWER COMMISSION - Between City
and County of Orange, City of Anaheim, and City
of Garden Grove, for the period October 1, 1982
through September 30, 1983. (Agenda Item 12)

AYES: Acosta, Luxembourger, Markel, McGuigan
NOES: Bricken, Grisct
ABSENT: Serrato

A-82-94
CA 140.4

CONTINUE ITEMS -
SA MOBILE HOME REPORT
SCAG MEMBERSHIP FEE
CONT'D TO 11/1/82

MOTION was made by Markel,
seconded by McGuigan, to
continue the following to
November 1, 1982:

SANTA ANA MOBILE HOME MEDIATION COMMITTEE REPORT.
(Agenda Item 17A)

CA 16

INTERGOVERNMENTAL RELATIONS PROGRAM: MEMBERSHIP FEE -
SOUTHERN CALIFORNIA ASSOCIATION OF GOVERNMENTS.
(Agenda Item 17B)

CA 141

AYES: Acosta, Bricken, Grisct, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato

SA/OC TRANSP. CENTER
CONCEPT DESIGN APPROVAL
AMTRAK
APPROVED

MOTION was made by McGuigan,
seconded by Markel, to approve
the concept design for the
Santa Ana Orange County
Transportation Center and

authorize the consultant to proceed with preparation of working drawings.
(Agenda Item 19A)

AYES: Acosta, Bricken, Grisct, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato

CA 82.12A

HOUSING SECT. 8 CERTS.
APPROVED

MOTION was made by Bricken,
seconded by Grisct, to approve
Housing Authority redistribution
of Moderate Rehabilitation

Section 8 Certificates. (Agenda Item 19B)

AYES: Acosta, Bricken, Grisct, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato

CA 137

MACARTHUR BLVD. MEDIAN
LANDSCAPE IMPROVEMENTS
APP. ADJ. - APPROVED

amount of \$250,000.00 from General Revenue Sharing funds; and approve an Appropriation Adjustment transferring \$250,000.00 from 401-116-Project 8537-MacArthur Boulevard Landscaping & Improvements to South Harbor Project Area-\$200,000.00; and South Main Project Area-\$50,000.00, on the following:

MACARTHUR BOULEVARD MEDIAN LANDSCAPE IMPROVEMENTS -
TRANSPORTATION SERVICES. (Agenda Items 19C2 and 3)

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan CA 65.3
NOES: Markel CA 29.14
ABSENT: Serrato CA 89

RECESS
HSG. AUTHORITY
RECONVENED

At 4:34 p.m., Council recessed to the Housing Authority and reconvened at 4:39 p.m., with the same members present.

ORD. NO. NS-1649
INCREASE CONSTR. VALUATIONS
FOR STREET DEDICATIONS
2ND READING & ADOPTED

MOTION was made by Bricken, seconded by McGuigan, to place the following ordinance on second reading and adopt:

ORDINANCE NO. NS-1649 - AN ORDINANCE OF THE CITY OF SANTA ANA AMENDING SECTION 33-47 OF THE SANTA ANA MUNICIPAL CODE TO INCREASE CONSTRUCTION VALUATIONS FOR REQUIRED STREET DEDICATIONS AND PUBLIC IMPROVEMENTS.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato CA 29.4

Councilmember Serrato joined the meeting at 4:39 p.m.

ORD. NO. NS-1651
TRANSP. SYSTEM
IMPROVEMENT AREA "A"
2ND READING & ADOPTED

MOTION was made by Bricken, seconded by McGuigan, to place the following ordinance on second reading and adopt:

ORDINANCE NO. NS-1651 - AN ORDINANCE OF THE CITY OF SANTA ANA AMENDING THE SANTA ANA MUNICIPAL CODE BY ADDING SECTION 8-44 TO ESTABLISH A TRANSPORTATION SYSTEM IMPROVEMENT FEE, ADDING ARTICLE XII TO CHAPTER 13, ESTABLISHING A TRANSPORTATION SYSTEM IMPROVEMENT AREA "A" FUND, AND AMENDING SECTION 8-99 TO CORRECT A TYPOGRAPHICAL ERROR.

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan, Serrato
NOES: Markel
ABSENT: None CA 84.3

ORD. NO. NS-1652
PEEP SHOW ESTAB.
1ST READ. & PUBLISH TITLE

MOTION was made by Luxembourger,
seconded by McGuigan, to place
the following ordinance on
first reading and authorize

publication of title:

ORDINANCE NO. NS-1652 - AN ORDINANCE AMENDING
SECTIONS 12-22, 12-27 AND 12-29 OF, AND ADDING
SECTION 12-45 TO, ARTICLE II OF CHAPTER 12 OF
THE SANTA ANA MUNICIPAL CODE, RELATING TO PEEP
SHOW ESTABLISHMENTS.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel,
McGuigan, Serrato

NOES: None

ABSENT: None

CA 149

ORD. NO. NS-1653
CITY LEASED LOT
FLOWER & S.A. BLVD.
1ST READ. & PUBLISH TITLE

MOTION was made by McGuigan,
seconded by Luxembourger, to
place the following ordinance
on first reading and authorize
publication of title:

ORDINANCE NO. NS-1653 - AN ORDINANCE OF THE CITY
OF SANTA ANA ADDING SECTION 36-436 TO THE SANTA
ANA MUNICIPAL CODE, REGULATING PARKING IN THE
CITY LEASED LOT AT THE NORTHEAST CORNER OF FLOWER
STREET AND SANTA ANA BOULEVARD.

AYES: Acosta, Bricken, Luxembourger, McGuigan, Serrato

NOES: Markel

ABSENT: Griset

CA 18.7

ORD. NO. NS-1654
HOME OCCUP. REGULATION
1ST READ. & PUBLISH TITLE

MOTION was made by Bricken,
seconded by McGuigan, to place
the following ordinance on
first reading and authorize

publication of title:

ORDINANCE NO. NS-1654 - AN ORDINANCE OF THE CITY
OF SANTA ANA AMENDING SECTIONS 41-73 AND 41-201
OF THE SANTA ANA MUNICIPAL CODE AND ADDING
SECTIONS 41-192.1, 41-192.2, 41-192.3, 41-192.4
AND 41-192.5 THERETO, TO PROVIDE FOR THE
REGULATION OF HOME OCCUPATIONS.

AYES: Acosta, Bricken, Luxembourger, Markel, McGuigan, Serrato

NOES: None

ABSENT: Griset

CA 91

ORD. NO. NS-1655
SANITATION SERVICES
USERS CHARGE
1ST READ. & PUBLISH TITLE

MOTION was made by Bricken,
seconded by McGuigan, to
place the following ordinance
on first reading and authorize
publication of title:

ORDINANCE NO. NS-1655 - AN ORDINANCE OF THE
CITY OF SANTA ANA ADDING ARTICLE V, CONSISTING
OF SECTIONS 39-80 THROUGH 39-83, TO CHAPTER 39
OF THE SANTA ANA MUNICIPAL CODE AND REPEALING
ARTICLE VII, CONSISTING OF SECTIONS 35-200
THROUGH 35-203, OF CHAPTER 35, TO RELOCATE AND
REVISE THE PROVISIONS FOR A SANITATION SERVICES
USERS CHARGE.

AYES: Acosta, Bricken, Luxembourger, Markel, McGuigan, Serrato
NOES: None
ABSENT: Griset

CA 65

Council recessed at 4:46 p.m., and reconvened at 4:59 p.m., with all
Councilmembers present.

Mayor Bricken left the meeting at 5:08 p.m.

ORD. NO. NS-1656
PROHIB. ICE CREAM
TRUCKS - CONT'D TO 11/1/82

Following consideration of a
letter dated October 1, 1982,
received from Rodolfo Montejano
requesting a continuance to

November 1, 1982, MOTION was made by McGuigan, seconded by Markel, to
continue the following ordinance to November 1, 1982:

ORDINANCE NO. NS-1656 - AN ORDINANCE OF THE CITY OF
SANTA ANA AMENDING THE SANTA ANA MUNICIPAL CODE BY
ADDING ARTICLE X TO CHAPTER 36, CONSISTING OF SECTIONS
36-450 THROUGH 36-455, INCLUSIVE, PROHIBITING CERTAIN
OPERATIONS BY ICE CREAM TRUCKS.

AYES: Acosta, Markel, McGuigan, Serrato
NOES: Griset, Luxembourger
ABSENT: Bricken

Henry Riley, 2123 South Cedar Street spoke against the continuance. CA 112.14

Mayor Bricken rejoined the meeting at 5:21 p.m.

APPEAL NO. 470; VA 82-10
1719 W. EDINGER, SALVATION ARMY
RECONSIDERATION SET 11/1/82;
RES. NO. 82-134
CONT'D TO 11/1/82

Richard Schmid, 11782 Loma
Linda, spoke in favor of the
request for reconsideration
filed by Williamson & Schmid
relating to the appeal against
VA 82-10 involving lights at

the Salvation Army facility on Edinger. Councilmember Acosta left the
Chambers due to a moral conflict of interest.

MOTION was made by Griset, seconded by McGuigan, to reconsider the matter on November 1, 1982, restricting discussion to placement of the light poles on the west property line and technical data pertaining to lumens.

AYES: Bricken, Griset, Luxembourger, McGuigan
NOES: Markel, Serrato
ABSENT: Acosta

Councilmember Acosta rejoined the meeting at 5:35 p.m.

The following resolution was continued to November 1, 1982, by unanimous informal consent:

RESOLUTION NO. 82-134 - A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA ANA APPROVING VARIANCE NO. 82-10 TO MODIFY THE REAR YARD SETBACK REQUIREMENT FOR PROPERTY LOCATED AT 1719 WEST EDINGER AVENUE IN THE A 1 DISTRICT.

CA 13

RES. NO. 82-135
DENYING EX 82-19
2302 N. GRAND ST.
FAILED

Wallace Davis, 540 North Golden Circle Drive, addressed Council regarding Appeal No. 471, appealing approval of Minor Exception 82-19 seeking to

allow off-sale of beer and wine on property at 2302 N. Grand Avenue, and requested reconsideration of the matter.

MOTION was made by Luxembourger, seconded by Serrato, to continue the following resolution to November 1, 1982:

RESOLUTION NO. 82-135 - A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA ANA DENYING MINOR EXCEPTION APPLICATION NO. 82-19, SEEKING TO ALLOW THE SALE OF BEER AND WINE FOR OFF-SITE CONSUMPTION ON PROPERTY LOCATED AT 2302 NORTH GRAND STREET.

MOTION failed on the following vote:

AYES: Acosta, Luxembourger, Serrato
NOES: Bricken, Griset, Markel, McGuigan
ABSENT: None

MOTION was made by Bricken, seconded by Markel, to adopt Resolution No. 82-135.

MOTION failed on the following vote:

AYES: Bricken, Markel
NOES: Acosta, Griset, Luxembourger, McGuigan
ABSENT: None
ABSTAINED: Serrato

No further action was taken on the matter.

CA 13.5

RES. NO. 82-136
PROHIBITING VEHICULAR
USE OF SANTIAGO ST.
ADOPTED

MOTION was made by Bricken,
seconded by Serrato, to
adopt the following resolution:

RESOLUTION NO. 82-136 - A RESOLUTION OF THE CITY
COUNCIL OF THE CITY OF SANTA ANA PROHIBITING
VEHICULAR USE OF A PORTION OF SANTIAGO STREET
SOUTH OF MEMORY LANE/PARKER STREET BY MEANS OF
ROADWAY DESIGN FEATURES.

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan, Serrato
NOES: Markel
ABSENT: None

CA 18.9

RES. NO. 82-137
PROHIBITING VEHICULAR
ENTRY TO GROVEMONT ST.
ADOPTED

MOTION was made by Bricken,
seconded by McGuigan, to
adopt the following resolution:

RESOLUTION NO. 82-137 - A RESOLUTION OF THE
CITY COUNCIL OF THE CITY OF SANTA ANA
PROHIBITING VEHICULAR ENTRY ON TO GROVEMONT
STREET FROM LINCOLN AVENUE BY MEANS OF
ROADWAY DESIGN FEATURES.

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan, Serrato
NOES: Markel
ABSENT: None

CA 18.9

RES. NO. 82-138
IMMIGRATION REFORM
CONT'D TO EVENING SESSION

Leslie Rabine, 401 E. Bishop,
addressed Council, regarding
problems with proposed
Federal legislation relating

to immigration controls, and requested continuance to an evening session.
MOTION was made by Griset, seconded by Bricken, to continue the following
resolution to the evening session:

RESOLUTION NO. 82-138 - A RESOLUTION OF THE
CITY COUNCIL OF THE CITY OF SANTA ANA URGING
THE NATIONAL LEAGUE OF CITIES TO SUPPORT
IMMIGRATION REFORM AND CONTROL.

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan, Serrato
NOES: Markel
ABSENT: None

CA 57.1

RECESS
DINNER
RECONVENED

At 6:07 p.m., Council recessed
to dinner with Orange County
Vector Control and Health
Planning Commission representatives

at Johnny's Restaurant, 2250 East 17th Street.

The meeting was reconvened in the Council Chambers at 7:53 p.m., with all Councilmembers present.

INVOCATION
PLEDGE OF ALLEGIANCE

Following the Pledge of Allegiance to the Flag, the Invocation was given by Reverend Gary Beard, Grand Avenue United Methodist Church.

PROCLAMATION
DOMESTIC VIOLENCE
AWARENESS WEEK

Councilmember Patricia A. McGuigan presented a proclamation to Neil Olson, Member of the Board of Directors of the Women's Transitional

Living Center, proclaiming the week of October 9-16, 1982, as "Domestic Violence Awareness Week." CA 46

COMMUNITY SPOTLIGHT
"GOLDEN CITY DAYS"

Lori Bassett, Chairperson, presented an overview of "Golden City Days", explaining that activities scheduled for the period are intended as a

salute to the City's 113th birthday. Councilmember Daniel E. Griset presented a proclamation to Lori Bassett, proclaiming October 22-31, 1982 as "Golden City Days." CA 9.4

COUNCIL/CRA
SALE OF PROP. TO MARK P.
ROBINSON & MARK P. ROBINSON, JR.
NO ACTION

The City Manager reported that the developer had not met certain deadlines with regard to sale of Community Redevelopment property to Mark P. Robinson and Mark P.

Robinson Jr., bounded on the north by Second Street, on the west by Olive Street, on the south by First Street and on the east by Flower Street, and that the matter should be dropped from the agenda. No action was taken by Council on the following resolution:

RESOLUTION NO. 82-117 - A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA ANA MAKING CERTAIN FINDINGS WITH RESPECT TO THE CONSIDERATION TO BE RECEIVED BY THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF SANTA ANA PURSUANT TO A DISPOSITION AND DEVELOPMENT AGREEMENT BETWEEN THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF SANTA ANA AND MARK P. ROBINSON AND MARK P. ROBINSON, JR. FOR THE SALE AND DEVELOPMENT OF CERTAIN REAL PROPERTY IN THE SANTA ANA REDEVELOPMENT PROJECT AND APPROVING THE SALE OF SAID REAL PROPERTY UPON THE TERMS AND CONDITIONS CONTAINED IN THAT AGREEMENT.

CA 82.4

JT. PUBLIC HEARING - COUNCIL/CRA
FERRANTE/WALDER PROPERTY
TENTH & FLOWER ST.
RES. NO. 82-139 - ADOPTED

Mayor Pro Tem Acosta opened the public hearing regarding the sale to Ferrante/Walder, Joint Venture, of property bounded on the north by a line 165 feet southerly from

Tenth Street, on the west by Flower Street, on the south by Civic Center Drive and on the east by Parton Street.

The Agency Real Estate Officer gave the staff report and recommendations.

The Clerk of the Council reported that all written communications had been distributed to Council.

There were no speakers on the matter. The Mayor Pro Tem closed the public hearing.

Sam Romero, 2034 South Spruce, requested an explanation of the public hearing procedure, and inquired if a tenant in the audience could speak on the matter.

The Mayor Pro Tem reopened the public hearing.

A tenant residing at 838 N. Garnsey asked questions of Council pertaining to relocation, and was referred to staff.

MOTION was made by Bricken, seconded by Serrato, to adopt the following resolution:

RESOLUTION NO. 82-139 - A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA ANA MAKING CERTAIN FINDINGS WITH RESPECT TO THE CONSIDERATION TO BE RECEIVED BY THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF SANTA ANA PURSUANT TO A DISPOSITION AND DEVELOPMENT AGREEMENT BETWEEN THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF SANTA ANA AND THE FERRANTE/WALDER JOINT VENTURE FOR THE SALE OF CERTAIN REAL PROPERTY IN THE SANTA ANA REDEVELOPMENT PROJECT AND APPROVING THE SALE OF SAID REAL PROPERTY UPON THE TERMS AND CONDITIONS CONTAINED IN THAT AGREEMENT.

AYES: Acosta, Bricken, Griset, Luxembourger, McGuigan, Serrato

NOES: Markel

ABSENT: None

CA 82.4

RECESS
CRA
RECONVENED

Council recessed to the Community Redevelopment Agency at 8:27 p.m., and reconvened at 8:59 p.m., with all members present.

PUBLIC HEARING
WARD BOUNDARY CHANGES
STAFF INSTRUCTED

The Mayor Pro Tem opened the public hearing regarding ward boundary changes proposed for the City of Santa Ana. The

Clerk of the Council presented the staff report and recommendations.

The Clerk of the Council reported no written communications.

Merle Rabine, 401 E. Bishop, spoke against the ward boundary changes.

There were no other speakers on the matter. The Mayor Pro Tem closed the public hearing.

Staff responded to questions posed by Council.

MOTION was made by Bricken, seconded by Serrato, to instruct staff to investigate the possibility of realigning ward boundaries based on neighborhood boundaries defined in the General Plan and Neighborhood Integrity areas, and to incorporate a minor modification to the ward map at the northeastern boundary of Ward 6 requested by Councilman Markel.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel,
McGuigan, Serrato

NOES: None

ABSENT: None

By unanimous informal consent, action on the following ordinance was continued to November 1, 1982:

ORDINANCE NO. NS-1657 - AN ORDINANCE OF THE CITY OF
SANTA ANA CHANGING AND ESTABLISHING THE BOUNDARY
LINES OF THE WARDS OF THE CITY OF SANTA ANA, CALIFORNIA. CA 108

ORAL COMMUNICATIONS

Dwight Schroeder, 2332 North Old
Grand, addressed Council regarding
Minor Exception No. 82-19, rebutting
points made in a letter sent by

Wallace Davis requesting reconsideration of the granting of Appeal No. 471.
(See minutes page 343).

Bill Walker, 1104 North Baker, addressed Council regarding the home
occupation ordinance.

CA 13.5

ORAL COMMUNICATION
REFUSE COLLECTION
REFERRED TO STAFF

Michael May, 600 West Santa Ana
Boulevard, Suite 900, representing
Independent Solid Waste Handlers,
addressed Council regarding non-

scheduled trash disposal, and inquired as to whether or not Great Western
Reclamation could meet the demand for drop-off boxes needed by the
community.

MOTION was made by Griset, seconded by McGuigan, to refer to staff for
investigation the matter of demand/response rubbish collection and disposal,
and to incorporate the analysis results in the report that will come
before Council at the end of the year on the City's Solid Waste program.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel,
McGuigan, Serrato

NOES: None

ABSENT: None

CA 11.4

ORAL COMMUNICATION
ROBERT WARD - SA WINDS
STADIUM USE REQUEST
APPROVED

Robert L. Ward, Director of the Santa Ana Winds, addressed Council and requested certain concessions relative use of the Santa Ana Stadium for the California Band Review.

Following discussion, MOTION was made by Bricken, seconded by Griset, to approve the following:

- 1) Controlled use of Eddie West Field - Santa Ana Stadium by the Santa Ana Winds' California Band Review between the hours of 1:00 and 5:00 p.m., Friday, November 26, 1982, for field band competition and trophy presentation, and waive fees for said use;
- 2) Concession rights in the Stadium parking lot up to 10:00 a.m.;
- 3) Authorization of the Director of Recreation, Parks and Community Services, or his designee to cancel permission granted in #1 above, for field band competition, if this use, as the result of weather conditions, would damage the field surface; and
- 4) Provision by the Santa Ana Winds to the City of a PL/PD insurance policy or certificate of insurance under an existing policy to cover this activity, as part of the normal Stadium Tenant requirements.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan
NOES: Serrato
ABSENT: None

CA 52.8

ORAL COMMUNICATION

Wallace Davis, 540 North Golden Circle Drive, requested that Council reconsider the alcoholic beverage license application for his client, Tony Shobeiri, 1222 E. First Street. No action was taken.

CA 146

RES. NO. 82-138
IMMIGRATION REFORM
& CONTROL
ADOPTED

Following discussion, MOTION was made by McGuigan, seconded by Markel, to adopt the following resolution adding the words "for newly hired employees" to

follow "employer job screening:"

RESOLUTION NO. 82-138 - A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA ANA URGING THE NATIONAL LEAGUE OF CITIES TO SUPPORT IMMIGRATION REFORM AND CONTROL.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan
NOES: Serrato
ABSENT: None

CA 57.1

CETA FUNDING PLAN
10/1/82-3/31/83
APPROVED

MOTION was made by Bricken,
seconded by Griset, to take
the following actions with
regard to the CETA Funding

Plan - October 1, 1982 to March 31, 1983, and the CETA Administrative
Cost Pool - October 1, 1982 to March 31, 1983:

- 1) Approve recommended CETA Funding Plan for listed programs for the period October 1, 1982 - March 31, 1983.
- 2) Authorize the Mayor and Clerk to execute a CETA Multi-purpose Contract between the City of Santa Ana and the Orange County Manpower Commission in the amount of \$547,569.00 for the period October 1, 1982 - March 31, 1983. A-82-84
- 3) Authorize the Mayor and Clerk to execute subcontract agreements between the City of Santa Ana and the Rancho Santiago Community College District in the amount of \$149,413.00, and the Santa Ana Unified School District in the amount of \$35,300.00 for the period October 1, 1982 - March 31, 1983. A-82-85
A-82-86
- 4) Authorize the Mayor and Clerk to execute a CETA Administrative Cost Pool Contract between the City of Santa Ana and the Orange County Manpower Commission in the amount of \$135,103.00 for the period October 1, 1982 - March 31, 1983. A-82-87
- 5) Approve Appropriation Adjustment No. 25 transferring \$91,795.00 from 132-183-Various Accounts-CETA Title I Admin. Cost Pool to 132-350-Anticipated Revenue;
- 6) Approve Appropriation Adjustment No. 26 transferring \$238,985.00 from 132-184-Various Accounts-CETA Title IIB Adult Work Exp. to 132-350-Anticipated Revenue;
- 7) Approve Appropriation Adjustment No. 27 transferring \$72,320.00 from 132-185-Various Accounts-CETA Title IIB Recruitment Center to 132-350-Anticipated Revenue;
- 8) Approve Appropriation Adjustment No. 28 transferring \$59,225.00 from 132-186-Various Accounts-CETA Title IIB In-School Youth Program to 132-350-Anticipated Revenue;

- 9) Approve Appropriation Adjustment No. 29 transferring \$25,000.00 from 132-188-933-Ceta Title VII Priv Sctr Initiative to 132-350-Anticipated Revenue; and
- 10) Approve Appropriation Adjustment No. 30 transferring \$47,660.00 from 132-350-Anticipated Revenue to 132-189-Various Accounts-Title IIB Out of School Youth Program.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel,
McGuigan, Serrato

NOES: None

CA 65.3

ABSENT: None

CA 131.11

Councilmember Serrato left the meeting at 10:45 p.m.

GROUP INS. POLICIES
AD&D; SPEC. EXCESS;
AGGREGATE EXCESS
APPROVED

MOTION was made by Bricken,
seconded by Luxembourger, to
approve the following with
regard to renewal of three
employee group insurance

policies:

- 1) Renewal and payment of renewal premiums on life and accidental death and dismemberment insurance, specific excess insurance, and aggregate excess insurance with Lafayette Life Insurance Company for the period from October 1, 1982, to October 1, 1983, and authorize the Mayor and Clerk to sign the necessary policy addendums when received; and
- 2) Changing the existing \$25,000.00 three-year per claim deductible on the Specific Excess Insurance to a \$25,000.00 annual deductible per claim.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan

NOES: None

ABSENT: Serrato

CA 88.80

88.85

APP. ADJ. NO. 41
W. 17TH ST. FIRE
STA. EXPANSION
APPROVED

MOTION was made by Bricken,
seconded by McGuigan, to
approve Appropriation Adjustment
No. 41 transferring \$135,000.00
from 51-999-911-General Fund

Capital Reserve Account to 51-322-621-Fire Suppression Land Acquisition Project, for acquisition of the site on West 17th Street for fire station expansion.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan

NOES: None

ABSENT: Serrato

CA 64

CA 65.3

ORAL COMMUNICATIONS
COUNCILMEMBERS
REFERRED TO STAFF

Mayor Bricken reported on continuing problems with the Civic Center parking lot facility, and stated he was disappointed

in the new vendor. He requested that an examination be made of how the lot functions and how deficiencies in its operation are mitigated. Councilmember Acosta requested a copy of the agreement with the vendor. The matter was referred to staff by unanimous informal consent. CA 77.5

Councilmember Luxembourger reported on a letter dated September 30, 1982, received from Robert P. Mandic, Jr., Mayor, City of Huntington Beach, requesting support for the appointment of Don MacAllister to the Orange County Solid Waste Advisory Commission, and asked that Council endorse this appointment. CA 145.12

RECESS
EXEC. SESSION

Council recessed to Executive Session at 10:55 p.m., and reconvened at 11:56 p.m., with the same members present.

EXEC. SESSION REPORT
GUADAN; SEARLES; LIAGA;
TORRES - CA AUTHORIZED

By way of action out of Executive Session, MOTION was made by Bricken, seconded by Luxembourger, to authorize the City Attorney

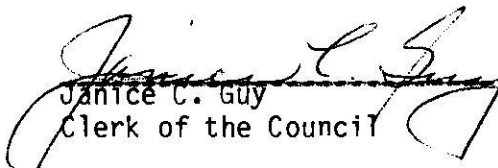
to settle the Workers' Compensation claim of Ruben Guadan, in the amount of \$13,282.50; to compromise and release the Workers' Compensation Case of James Searles in the amount of \$15,000.00; to compromise and release the Workers' Compensation Case of Gaulua Liaga, in the amount of \$25,000.00; and to settle the Workers' Compensation claim of Alberto Torres, in the amount of \$20,000.00.

AYES: Acosta, Bricken, Griset, Luxembourger, Markel, McGuigan
NOES: None
ABSENT: Serrato

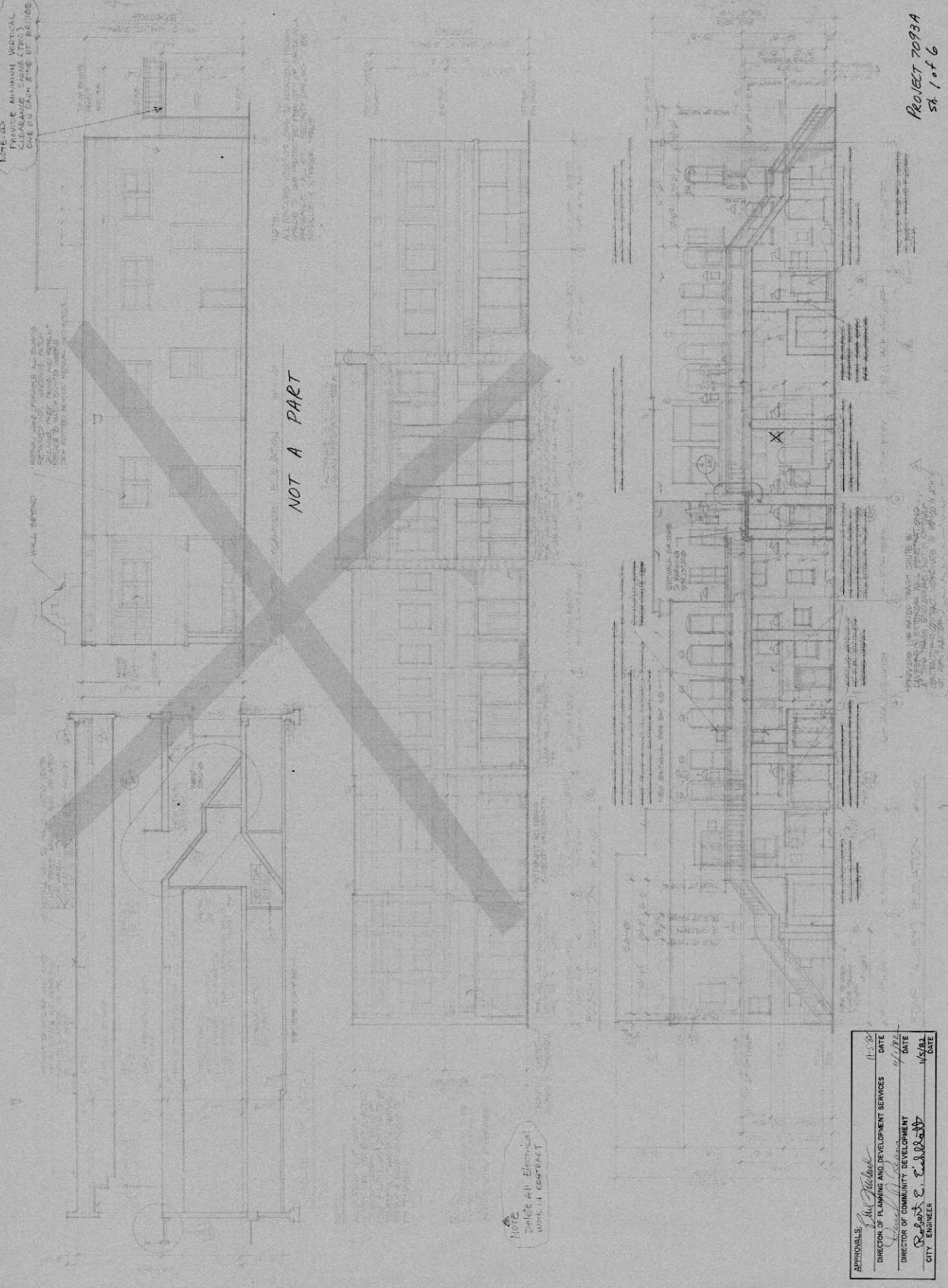
CA 139

ADJOURNMENT

At 12:00 midnight, Council was adjourned by unanimous informal consent.


Janice C. Guy
Clerk of the Council

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PROJECT 7093A
 SK 1 of 6

DRAWING NUMBER
 1096

DRAWING NUMBER
 PR: 7093A

DRAWING NUMBER
 ELEVATED
 WALKWAY

DRAWING NUMBER
 1-153-15

APPROVALS	DATE
DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES	11-82
DIRECTOR OF COMMUNITY DEVELOPMENT	11-82
CITY ENGINEER	11-82

NOTE
 Delete All Electrical
 Work in Contract

thirtieth
street
architects
inc.

WHEELER & GRAY
CONSULTING ENGINEERS

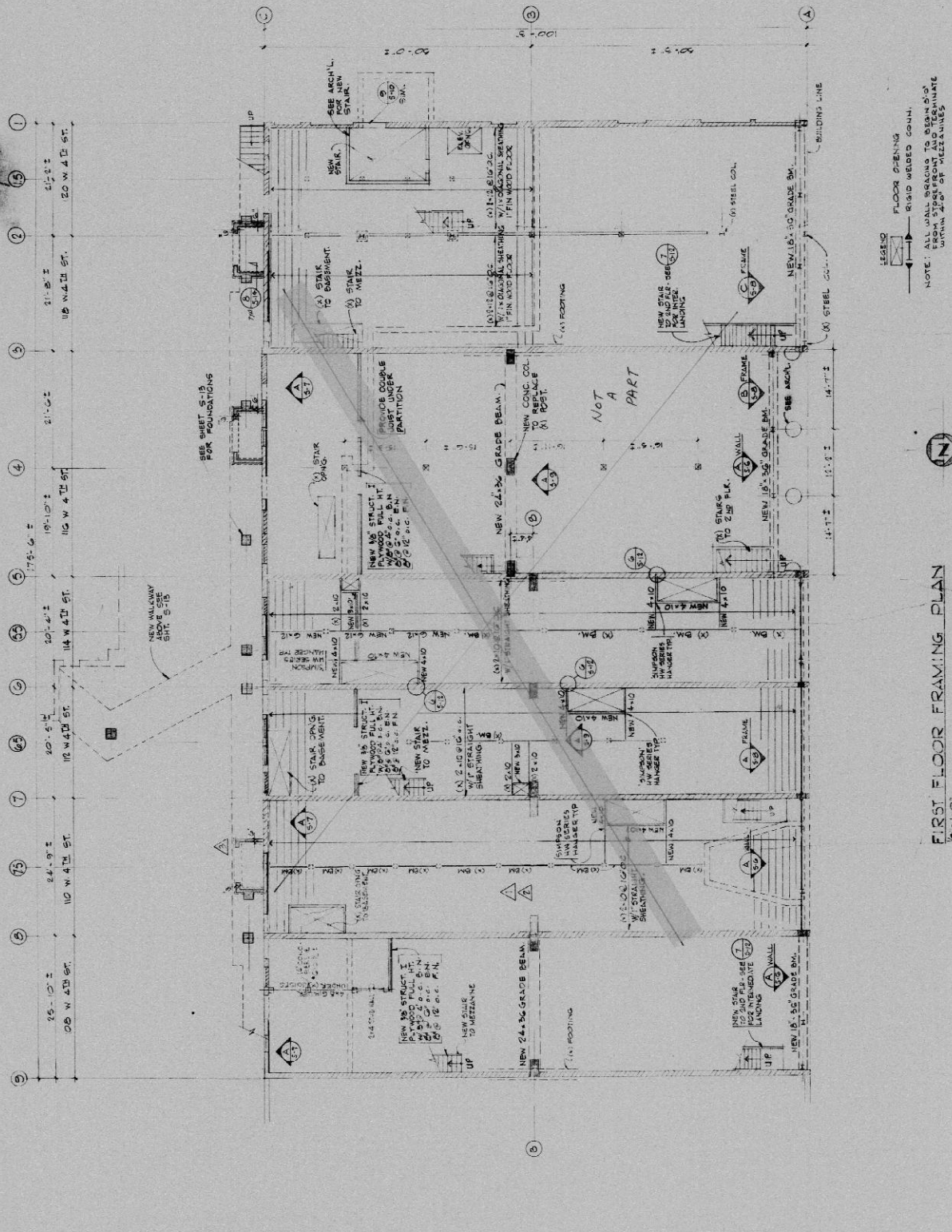
SANTA ANA REDEVELOPMENT
108-120 W. 4TH STREET

FIRST FLOOR FRAMING
PLAN
ELEVATED
WALKWAY

DATE: 11/15/83
BY: J. J. JONES
CHECKED: J. J. JONES
APPROVED: J. J. JONES

5-2
PR 153-15
11-53-15

PR 153-15
11-53-15



FIRST FLOOR FRAMING PLAN
1/8\"/>

LEGEND
FLOOR JOISTING
RIGID WELDED CONNECTION
NOTE: ALL WALL BRACINGS TO BE ANCHORED TO FOUNDATION
MINIMUM 2\"/>

DRAWING NUMBER
396

DRAWING NUMBER
PR: 7093A

DRAWING NUMBER
ELEVATED
WALKWAY

DRAWING NUMBER
1-153-15

MEZZANINE FRAMING PLAN

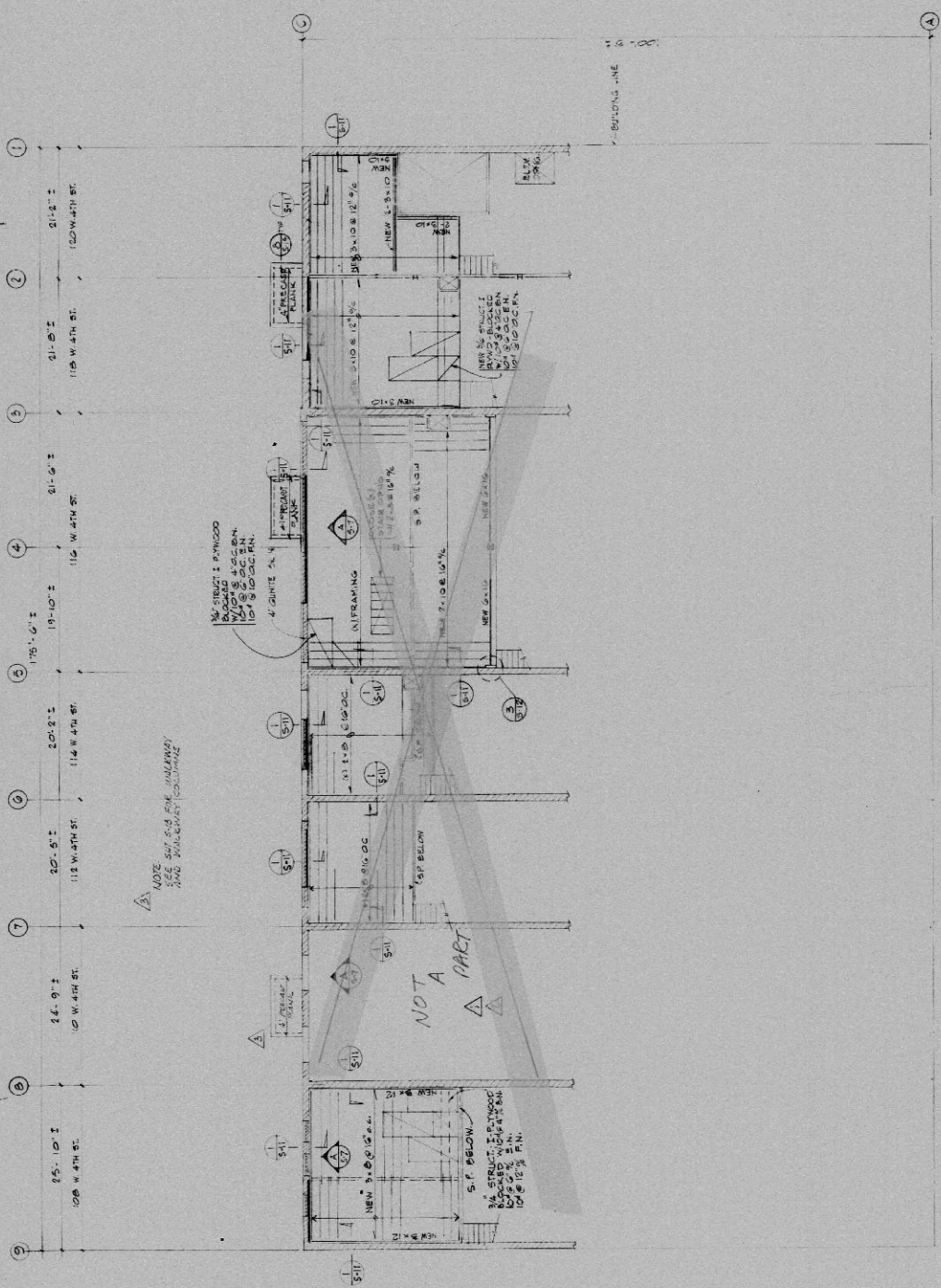
SANTA ANA REDEVELOPMENT
108-120 W. 4TH STREET

SALESTONE CONSULTING ENGINEERS

thirtieth
street
architects
inc.



MEZZANINE FRAMING PLAN



1.82

PR: 70959

FLYVATFD
WALKWAY

5/-53-15

4 of 6

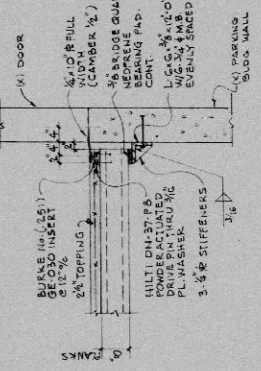
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646

DRAWING NUMBER
PR: 7095A

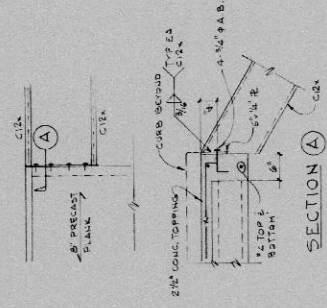
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ELEVATED
WALKWAY

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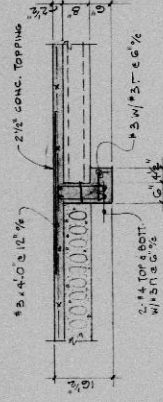
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WEST



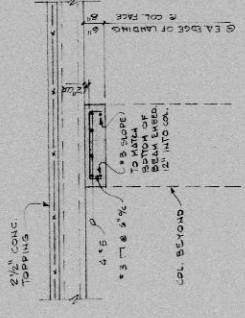
SECTION 4
ELEVATION
3/8\"/>



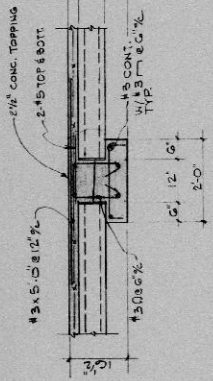
SECTION 7
DETAIL
3/8\"/>



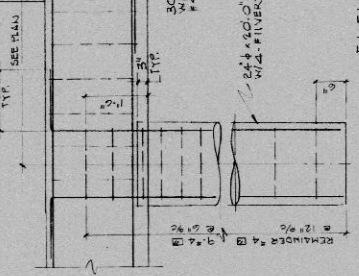
SECTION 3
ELEVATION
3/8\"/>



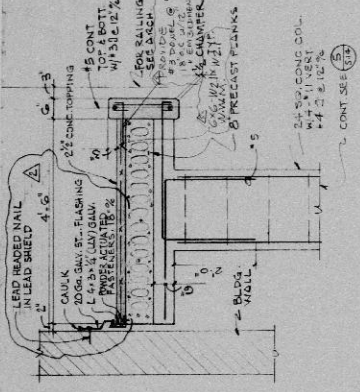
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ELEVATION
3/8\"/>



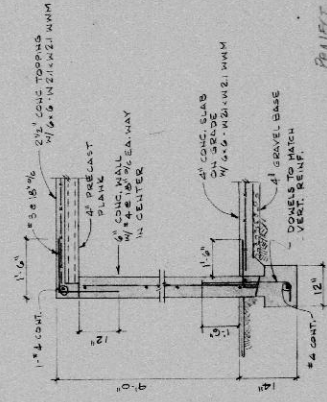
SECTION 2
ELEVATION
3/8\"/>



SECTION 5
ELEVATION
3/8\"/>



SECTION 1
ELEVATION
3/8\"/>



SECTION 8
ELEVATION
3/8\"/>

SANTA ANA REDEVELOPMENT
108-120 W. 4TH STREET

BRIDGE SECTIONS
DOWNTOWN PARKING STRUCTURE

S-14

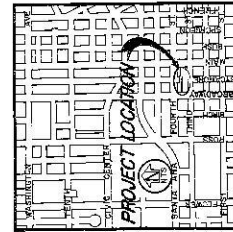
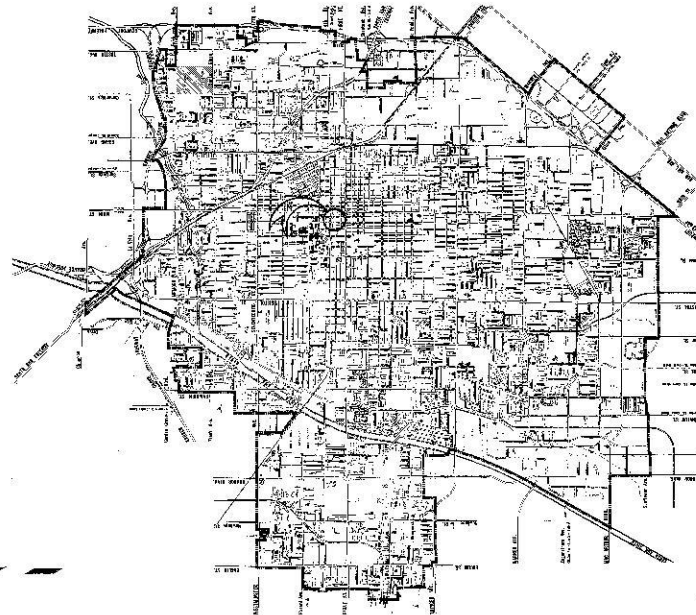
PROJECT
7095A
S-14
646

CITY OF SANTA ANA

PUBLIC WORKS AGENCY

PROJECT NO. 7447

CONSTRUCT DOWNTOWN PEDESTRIAN WALKWAY / BRIDGE
IN ALLEY N/O THIRD STREET PARKING STRUCTURE
(PHASE II)



VICINITY MAP

SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	WALKWAY PLAN AND ELEVATION
3	WALKWAY DETAILS
4	STRUCTURAL DETAILS
5	STRUCTURAL DETAILS & NOTES
6	ALLEY IMPROVEMENTS

APPROVALS:

<i>David L. Evans</i> EXECUTIVE DIRECTOR CITY ENGINEER	10-19-82 DATE
<i>Robert E. Williams</i> EXECUTIVE DIRECTOR ECONOMIC DEVELOPMENT	8-17-82 DATE
<i>Robert E. Williams</i> EXECUTIVE DIRECTOR COMMUNITY DEVELOPMENT & HOUSING SERVICES	8-7-82 DATE
<i>Robert E. Williams</i> EXECUTIVE DIRECTOR UTILITIES AGENCY	10-1-82 DATE

1 of 6

ALLEY N/O 3 RD
E/O BROADWAY

PEDESTRIAN
BRIDGE
PR 7447

1-12-17

1-12-17

LOCATION PLAN

BRIDGE SECTION 1

BRIDGE SECTION 4

BRIDGE PLAN

BRIDGE SECTION 2

BRIDGE SECTION 3

BRIDGE SECTION 10

SECTION 1112.15-00

RAILING DETAIL @ CONC. LANDING	TYP. STAIR SECTION	CONC. LANDING SECTION	BRIDGE SECTION @ 1STORY BLDG.	TYPICAL	EXPANSION JOINT DETAILS
SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"

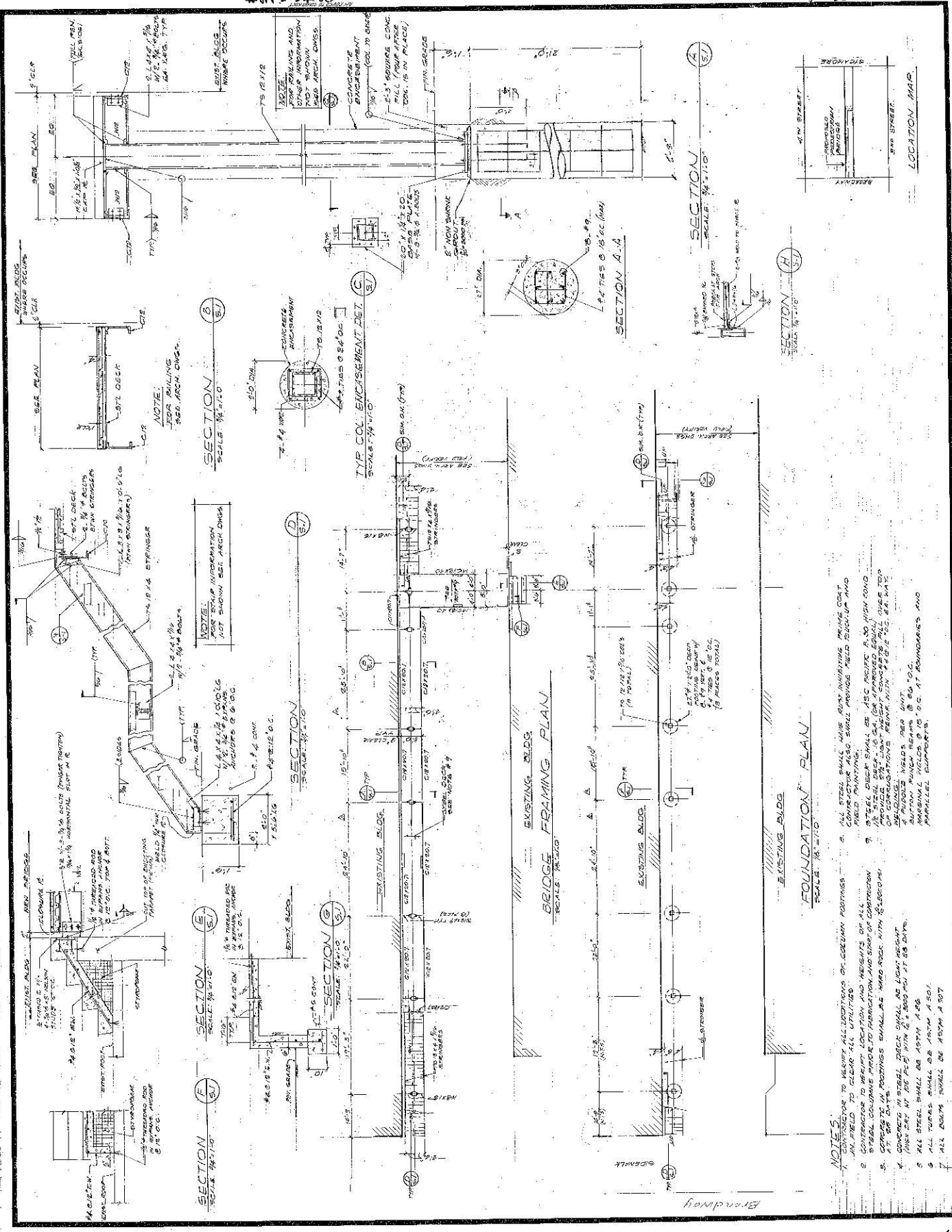
306

AUS/ N/O 3 RD.
E/O BROADWAY

PEDDESTRIAN
BRIDGE

41-81-1

61-21-1



- NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON COLUMN FOOTINGS.
 2. CONTRACTOR TO CLEAR ALL UTILITIES, INCLUDING ALL EXISTING AND NEW UTILITIES, FROM THE BRIDGE DECK AND APPROACHES.
 3. CONTRACTOR TO MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 4. CONTRACTOR TO MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
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GENERAL NOTES

INTENT OF DRAWINGS AND NOTES

TYPICAL DETAILS AND GENERAL NOTES APPLY TO ALL PARTS OF THE JOB EXCEPT WHERE SPECIFICALLY DETAIL OR NOTED OTHERWISE ON OTHER SHEETS.

RESOLVE ANY CONFLICTS ON THE DRAWING BY CONSULTING THE ARCHITECT. THE ENGINEER'S RESPONSIBILITY IS TO PROVIDE THE FREQUENCY OF REINFORCEMENT OF DRINKING WATER SUPPLY SYSTEMS. CONSULTANTS SHOULD BE ADVISED AS NOTED.

THE STRUCTURAL DRAWINGS SHOW ONLY THE BASIC STRUCTURAL FRAME. REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR FINISHES, PARTITIONS, AND OTHER NON-STRUCTURAL DETAILS. WHEN REQUIRED, SPECIFIC FINISHES AND PARTITIONS SHALL BE SHOWN ON THE DRAWING. DIMENSIONS OF OPENINGS ARE FOR REFERENCE ONLY. VERIFY WITH ARCHITECT BEFORE CONSTRUCTION. WHEN FINISHES OR PARTITIONS ARE SHOWN ON STRUCTURAL PLANS, SEE TYPICAL DETAILS FOR REINFORCING AROUND NORMAL OPENINGS NOT SHOWN.

CODE

BUILDING SHALL CONFORM WITH THE 1992 EDITION OF THE UNIFORM BUILDING CODE.

STRUCTURAL STEEL

STRUCTURAL STEEL SHALL CONFORM TO ASTM SPEC. A36, A572, OR A588, AS NOTED. WHEN NOT NOTED, CONFORM TO THE LATEST EDITION OF THE SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS. FOR A572 AND A588 STEEL, SEE NOTES AND COMMENTS ON DRAWING.

PIPE COLUMNS SHALL BE BASED ON THE 1992 EDITION OF THE UNIFORM BUILDING CODE. STRUCTURAL STEEL SHALL CONFORM TO ASTM SPEC. A36, A572, OR A588, AS NOTED.

WHEN FABRICATING BEAMS FLARE NATURAL CORNER UP. ALL BENT CONNECTIONS SHALL HAVE A MINIMUM 2" THICK BOLT JAWERS SHOWN OTHERWISE.

MINIMUM SIZE OF 90° FOR STRUCTURAL STEEL CONNECTIONS SHALL BE 3/4" EXCEPT WHEN OTHERWISE SHOWN. NOTED. ALL 90° CONNECTIONS SHALL HAVE MORE THAN 1/2" THICKNESS IN THICKNESS.

FOR BEAM END BRACES ON ALL CONNECTIONS TO BEAM FLANGES OF I-SECTION AND CHANNELS. MINIMUM 3/4" AT END BRACE AND FILL FOR BRACKET. WELDED FILLED CONNECTIONS ALL DOUBLE ANGLE MEMBERS AT 2-4" ON CENTER.

NO HOLES OVER 3/4" DIAMETER SHALL BE MADE IN LOWER MEMBERS OF TRUSSES UNLESS SPECIFICALLY SHOWN. WELDING SHALL BE DONE BY A PROCESS APPROVED BY THE ENGINEER. WELDERS SHALL BE CERTIFIED.

A SEQUENCE OF FIELD JOINTS SHALL BE PLANNED TO MINIMIZE JOINTS IN STRESSES AND DISTORTION.

WELDING SHALL CONFORM TO UNIFORM BUILDING CODE STANDARD NO. 27-6.79.

LENGTHS OF WELD SHOWN ARE EFFECTIVE LENGTHS AS SPECIFIED IN THE UNIFORM BUILDING CODE. WELD OF JOINTS SHALL BE FULL PENETRATION WELD. UNLESS NOTED OTHERWISE, WELDERS SHALL BE CERTIFIED. WELDED JOINTS SHALL BE FULL PENETRATION WELD. UNLESS NOTED OTHERWISE, WELDERS SHALL BE CERTIFIED.

ALL SHOP WELDING SHALL BE PERFORMED BY A FIBERGLASS-ALL PLASMA CUTTER PLATES AND DRIP PLATES USED FOR SHOP WELDING. ALL PLASMA CUTTER PLATES SHALL BE PARALLEL WITH DIRECTION OF PRINCIPAL STRESS.

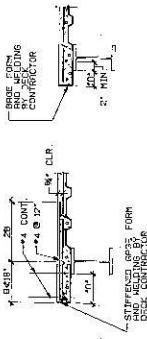
AFTER FABRICATION, ALL STEEL SHALL BE CLEANED FREE OF OIL, GREASE, AND RUST. ALL STEEL SHALL BE PAINTED WITH A MINIMUM OF TWO COATS OF PAINT. PAINTING SHALL BE DONE AFTER THE STEEL IS CLEANED AND BEFORE THE STEEL IS SHIPPED. THE PAINTING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNIFORM BUILDING CODE.

STEEL DECK

STEEL DECK SHALL BE OF THE TYPE AND PROFILE AS INDICATED ON DRAWING.

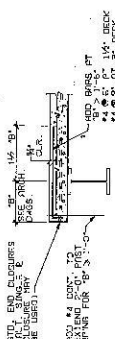
30" AND 12" VALUES SHALL BE DETERMINED ACCORDING TO THE "LIGHT GAGE STEEL INSTITUTE".

STEEL DECK AND METHOD OF ATTACHMENT TO SUPPORTS SHALL BE AS SHOWN ON DRAWINGS. SHOWN ATTACHMENT METHOD ON SHOP DRAWINGS.



"A" > 6"

DECK PARALLEL

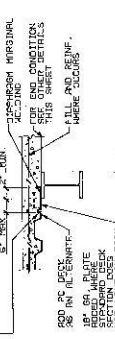


DECK PERPENDICULAR

TYPICAL DETAILS AT SHAFTS, OPENINGS AND FLOOR OVERHANG FOR DECK WITH CONC. FILL

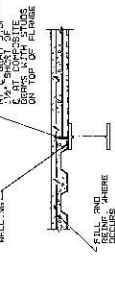
AT GAGE PLATE CORNER AS FOLLOWS:

1. AT DECK WITH CONC. FILL, BUTION BUNCH AT 2" O.C. EXCEPT WHERE DECK WELDING IS REQUIRED.
2. AT DECK WITH INSULATING CONC. FILL OR WITHOUT FILL, PROVIDE WELDED SEAM CORN. AT SHAFT OPENING AS INDICATED.



1/2" DIA. PLATE NOT USED ON BEAM

1/2" DIA. PLATE NOT USED ON BEAM



1/2" DIA. PLATE NOT USED ON BEAM

1/2" DIA. PLATE NOT USED ON BEAM

CONCRETE

ALL CONCRETE UNLESS OTHERWISE NOTED SHALL BE READY-MIXED READY-PLACED TYPE 150 (ASTM C190.1).

ULTIMATE COMPRESSIVE STRENGTH SHALL BE THE FOLLOWING:

FOOTING: 5000 PSI. AT 28 DAYS

STEEL DECK: 5000 PSI. AT 28 DAYS

CONCRETE DESIGN MIX

ALL CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT. ALL CONCRETE SHALL BE DESIGNED BY AN APPROVED ENGINEER. ALL CONCRETE SHALL BE DESIGNED BY AN APPROVED ENGINEER. ALL CONCRETE SHALL BE DESIGNED BY AN APPROVED ENGINEER.

LOW-MODULUS CONCRETE

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MAYOR
Miguel A. Pulido
MAYOR PRO TEM
Sal Tinajero
COUNCILMEMBERS
Vincent F. Sarmiento
Michele Martinez
Angelica Amezcua
P. David Benavides
Roman A. Reyna



CITY OF SANTA ANA

20 CIVIC CENTER PLAZA • P.O. BOX 1988
SANTA ANA, CALIFORNIA 92702

INTERIM CITY MANAGER
Kevin O'Rourke
CITY ATTORNEY
Sonia R. Carvalho
CLERK OF THE COUNCIL
Maria D. Huizar

August 15, 2013

Dr. Amir Dual
8950 W. Olympic Boulevard, Suite 105
Beverly Hills, CA 90211-3565

SUBJECT: CATWALK ACROSS FROM 3RD STREET AND BROADWAY STREET PARKING
STRUCTURE (214 W. 4th STREET, SANTA ANA)

Dear Dr. Dual:

The purpose of this letter is to summarize our discussion at the August 7, 2013 meeting. Staff consisting of myself, Ms. Gaby Lomeli and Commander Ken Gominsky met with you to discuss the past nuisance problems that have caused damages to your property. We informed you that city staff has been working on various solutions to address the described nuisance problems. Also, we informed you that as a temporary solution, we have authorized the security services from the 3rd and Broadway city parking structure to provide additional monitoring (especially at night) of the catwalk, and to report any suspicious activities to the Santa Ana Police Department. We described to you the two feasible solutions and they are:

- a. Remove the existing railing along the interior side of the catwalk for the portion of your property and to install a new 10-foot-high wrought iron fence;
- b. Remove the existing portion of the catwalk bridge along the portion of your property and protect in place the remaining catwalk with new railing.

As we reviewed the two feasible solutions with you, we informed you that either solution would solve only the problem from the City's right-of-way. However, you would have some issues on your property as transients could still jump onto your building's rooftop from the adjacent buildings. To deter anyone from doing this, we recommended that a fence be installed along the building line perpendicular to the catwalk. Since this fence will be on private property, which is a civil matter, the City will not be able to do the work. However, we mentioned that we could help to facilitate a meeting between you and the adjacent property owners to discuss installing a common fence along the building roof line. Commander Gominsky suggested that you complete a "No Trespass" Form from the Police Department giving them the authorization to be on private property to arrest trespassers, which you have done so at the meeting. Commander Gominsky also suggested that you contact Downtown Incorporated and ask for additional

security monitoring of your property as well as consider installing lights and cameras for additional security.

We are preparing the detailed work and a cost estimate for each solution and will need to obtain City Manager and City Council review and approval before we can proceed with the City's procurement process to award a contract to perform the work. I will be the primary contact person if you have to report any issues and to inquire about the status of solving the problem.

Should you have any questions, or if I can be of further assistance, please do not hesitate to contact me at (714) 647-5336, or via email at: nfong@santa-ana.org.

Sincerely,

A handwritten signature in black ink, appearing to read 'Nancy Fong', with a stylized flourish at the end.

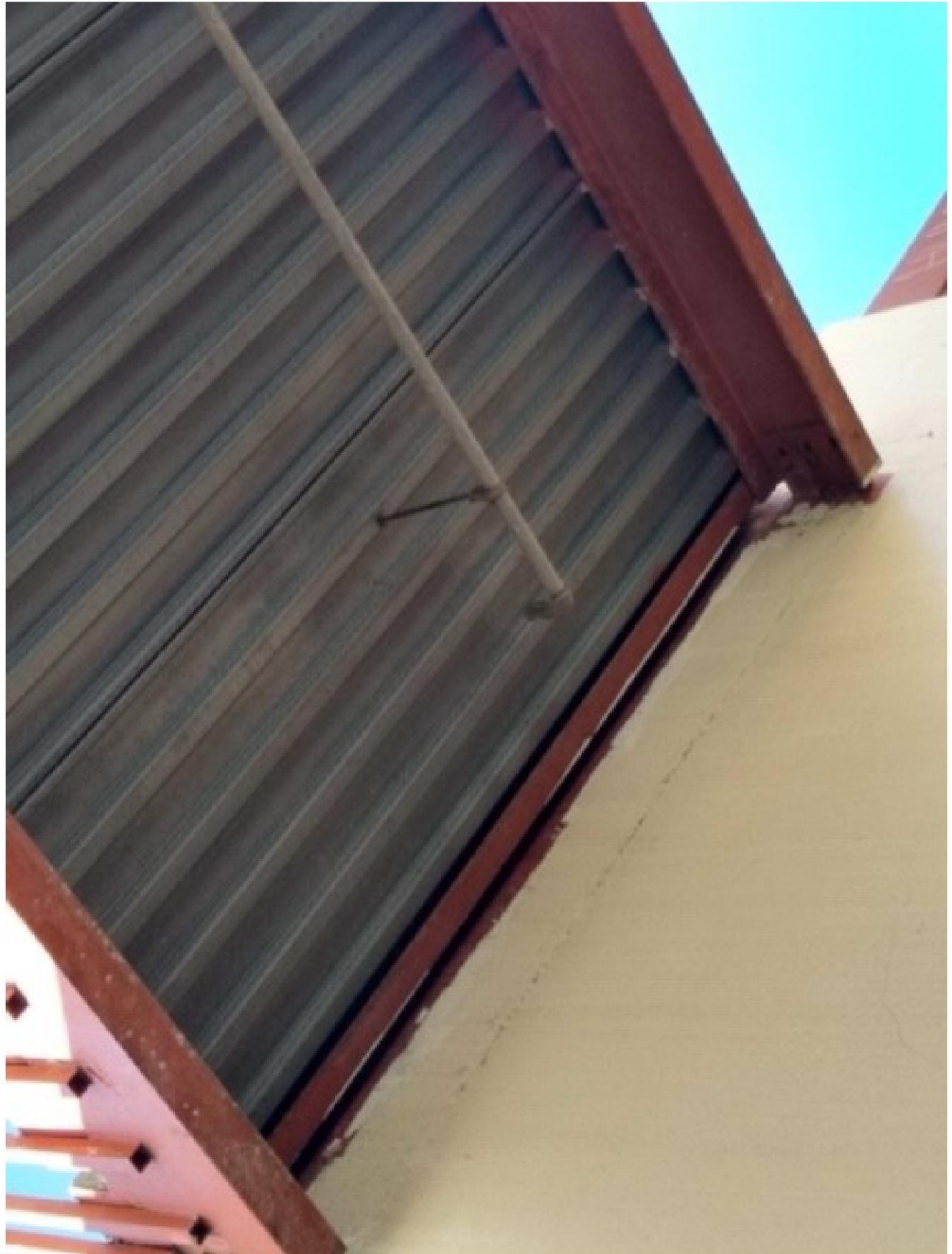
Nancy Fong, AICP
Interim Executive Director
Community Development Agency

c: Commander Ken Gominsky, Police
Gaby Lomeli, Redevelopment Project Manager I
Gerald Caraig, Building Safety Manager
Alvaro Nunez, Community Preservation Coordinator
Kenny T. Nguyen, Senior Civil Engineer
Robert Aguirre, Assistant Engineer II







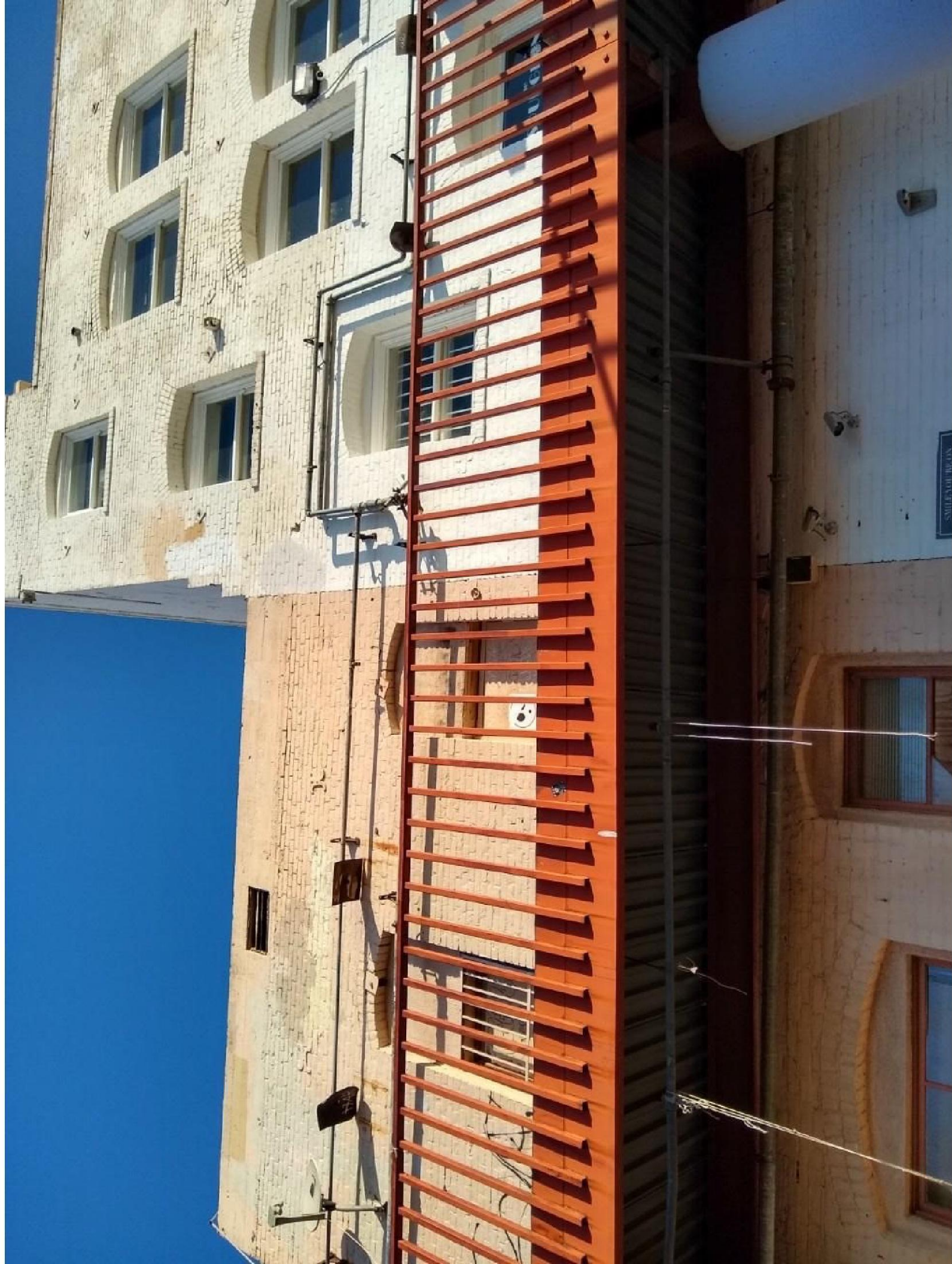








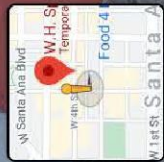
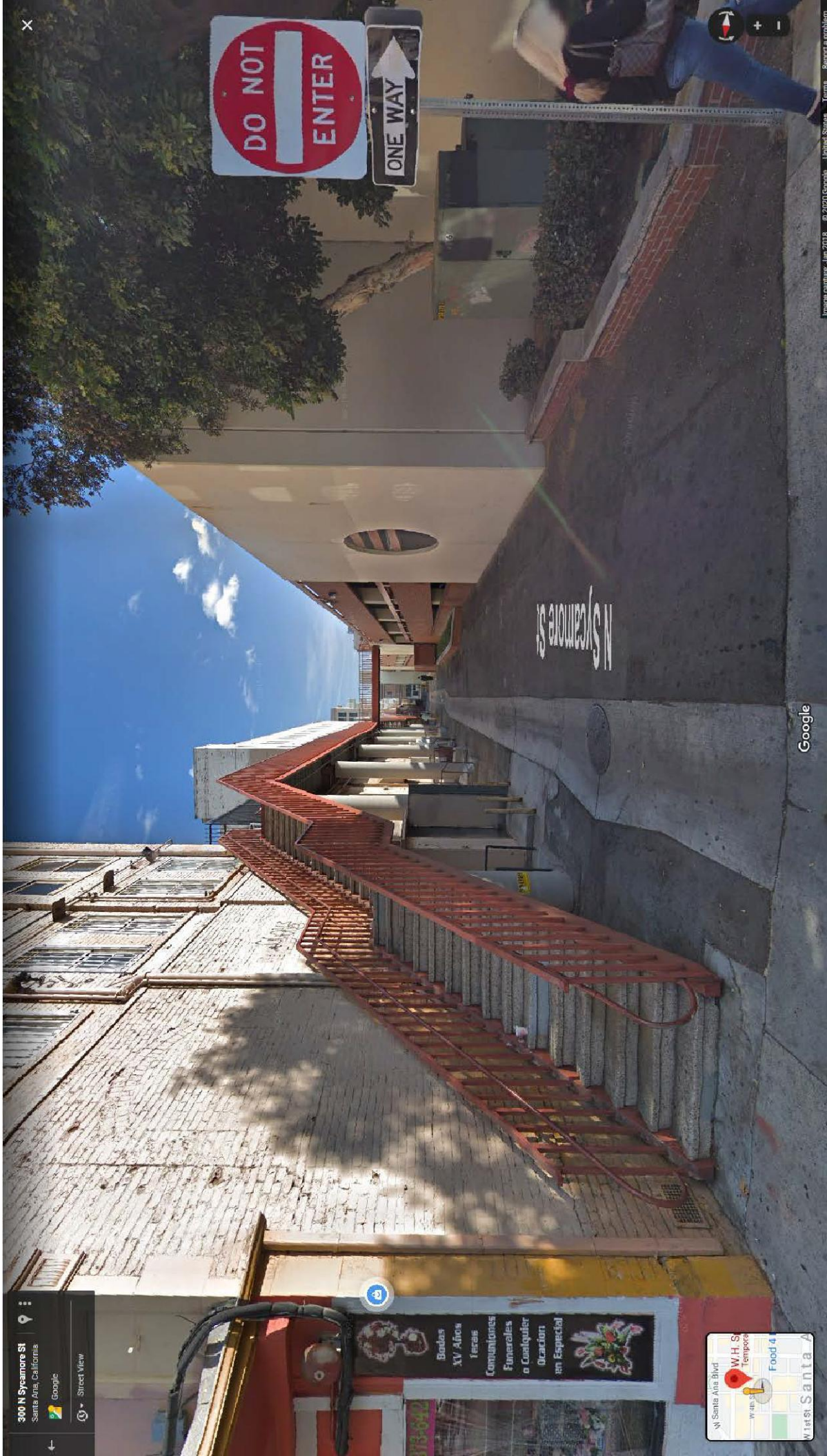




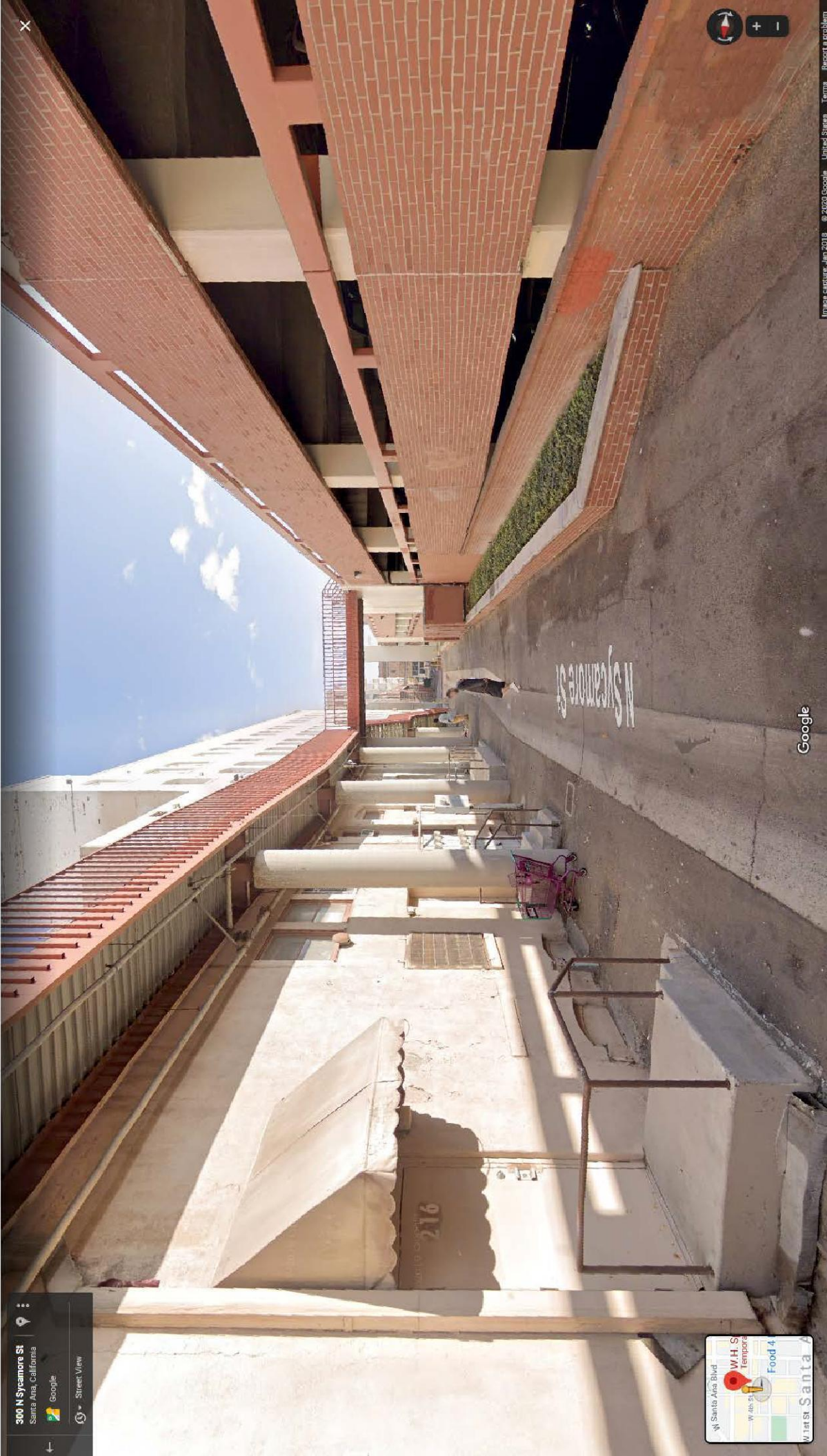
300 N Sycamore St
Santa Ana, California

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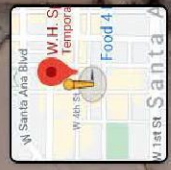
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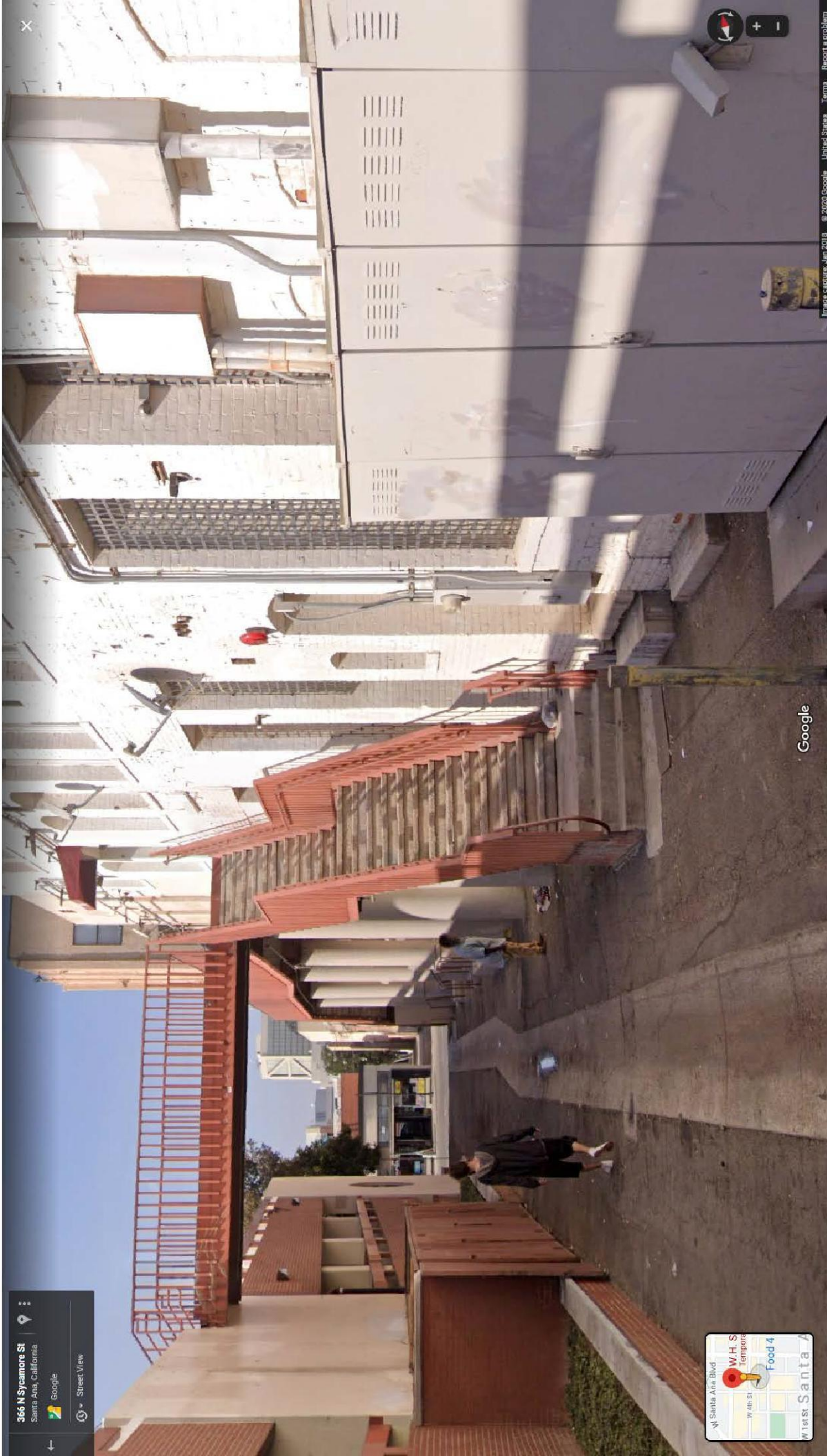
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300 N Sycamore St
Santa Ana, California
Google
Street View



Google



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Santa Ana, California

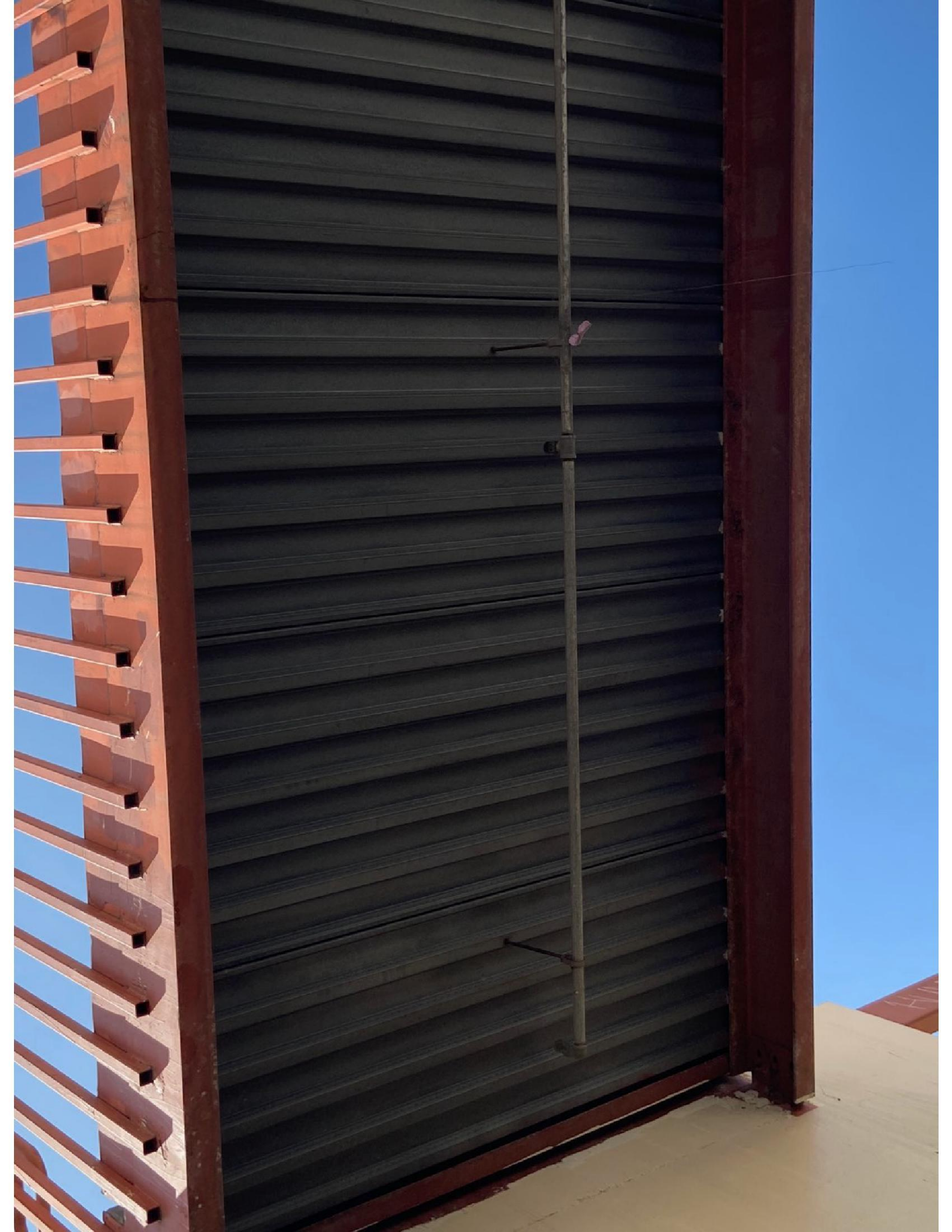
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AEF
ASSOCIATED EQUITY FUNDS









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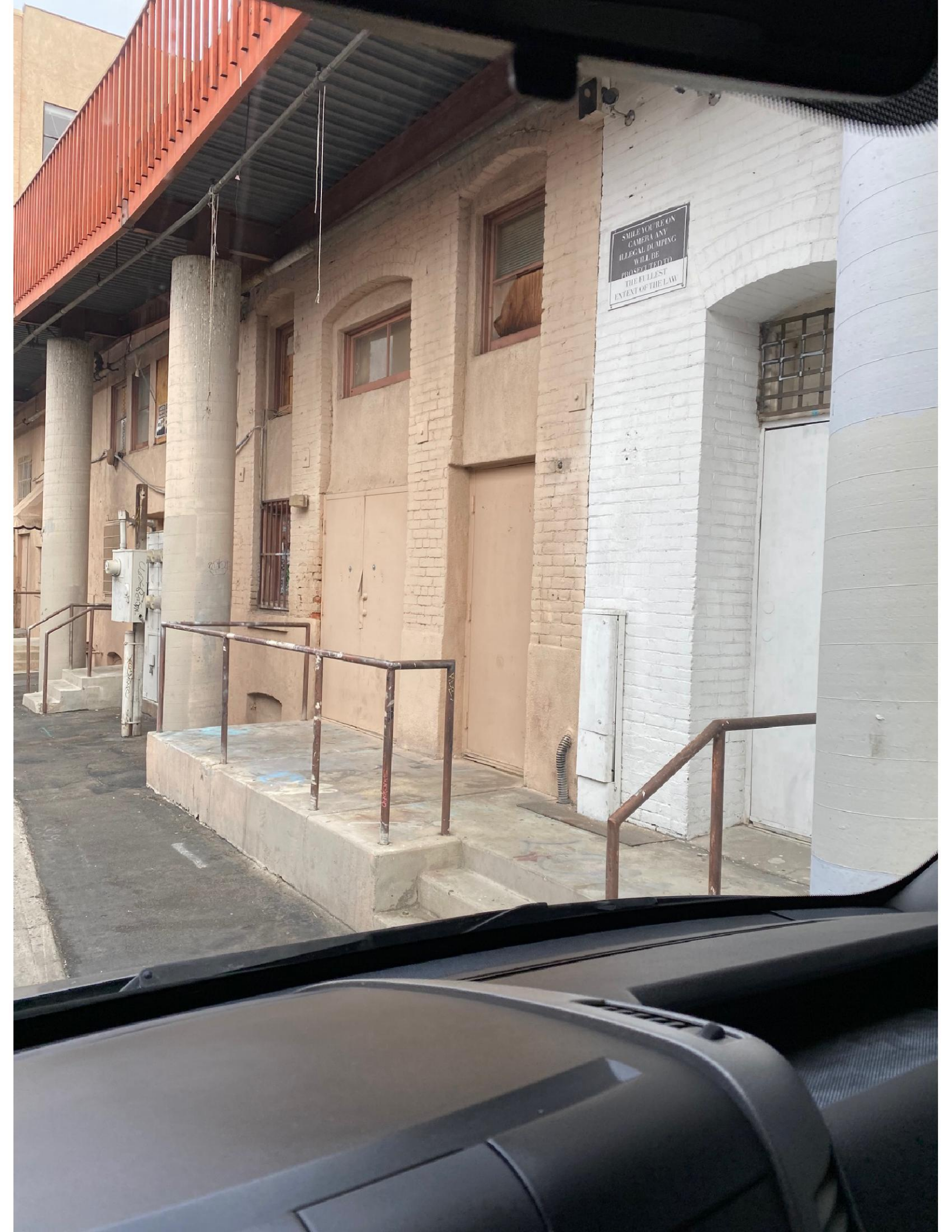
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SMILE YOU'RE ON
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ILLEGAL DUMPING
WILL BE
PROSECUTED TO
THE FULLEST
EXTENT OF THE LAW













Orozco, Norma

From: Ernesto Conde <metrops.org@me.com>
Sent: Tuesday, October 20, 2020 3:40 PM
To: eComment
Subject: 3rd and Broadway Project

Mayor and Councilmembers,

I am in support of this project as presented. It will bring much needed new infrastructure to help revitalize Downtown Santa Ana and further the livability of the area.

Thank you

Orozco, Norma

From: Cesar Adame <soz@gunthers.co>
Sent: Tuesday, October 20, 2020 3:42 PM
To: eComment
Subject: Project 3rd & Broadway

Hello,

My name is Cesar Adame, owner of Gunthers on 3rd st. I also approve this project.

Best regards,

Orozco, Norma

From: Brit Costello <brit@cervezacito.com>
Sent: Tuesday, October 20, 2020 3:54 PM
To: eComment
Subject: Planning Commission Public Comment for Agenda Item No. 2

Mr. Chairman and Commissioners

We at Cerveza Cito Brewing Co. support agenda item No. 2 the 201 West 3rd project also known as the 3rd and Broadway project. We are committed to seeing growth in our amazing community and see value to this project. We fully support.

The Team of Cerveza Cito
309 W 4th St. Santa Ana, Ca. 92701

Orozco, Norma

From: Jon Desprez <jondesprez@gmail.com>
Sent: Tuesday, October 20, 2020 3:52 PM
To: eComment
Subject: item # 2 3rd&Broadway project

>> Dear Planning Commissioners and City Council:

>>

>> Subject: item # 2 3rd&Broadway project

>>

>> I am writing to request your approval for the "3rd and Broadway" project.

>>

>> This project is such a beautiful addition to the Downtown Core. The architect, Studio One Eleven, was sensitive to the character of the existing Historic Downtown. They paid special attention to the historic details of the rhythm and proportions of the surrounding Historic Buildings. They were able to weave in the old, while being still being honest with the architecture of today. The end result is a brilliant balance.

>>

>> Carefully placing the outdoor recreation decks and balconies and gently working with the building setbacks, they controlled the massing to a very comfortable scale.

>>

>> Reactivating Sycamore Street will link the north and south of the Downtown Area, creating a more pedestrian friendly environment. This will also create a safer place to be. The proposed retail, residential and Hotel will be active place. The North and South Downtown will no longer be blocked with a dangerously large and dark parking structure which harbors a den of criminal behavior.

>>

>> The Sycamore Plaza will be an active Plaza for the residents to enjoy street fairs, artist openings and farmers and flea markets. Downtown will once again be a gathering place for residents and visitors as well.

>> The revitalization of Santa Ana is moving in a progressive direction; let's keep that momentum going and I encourage you to approve the "3Rd and Broadway" Project.

>

> Thank you

> Jon Desprez

>

>

Orozco, Norma

From: Timothy Rush <timrush1408@icloud.com>
Sent: Tuesday, October 20, 2020 3:51 PM
To: eComment
Subject: Item 75-A , 3rd & Broadway project

Dear Mayor & Council

We desperately need a new parking garage downtown with All the residents this will bring to further improve our DTSA. More parking in the DT has been bandied about since this garage was finished in 1981. Please approve this project!!!

Tim Rush Wilshire Square

Sent from my iPhone

Orozco, Norma

From: Matthew Hicks <info@email.actionnetwork.org>
Sent: Tuesday, October 20, 2020 3:56 PM
To: eComment; Carvalho, Sonia R.; Ridge, Kristine
Subject: Item 75A: Another giveaway to developers?

City Staff,

The City shouldn't provide public land and millions in subsidies to a developer, just to get a hotel they might convert to apartments in a few years. As a Santa Ana taxpayer, I'm outraged that we are going to provide our land and subsidies to a developer. Either get a better deal or make a new plan.

Sincerely,

Matthew Hicks
dylanrocky@yahoo.com
1404 n Tustin ave g4
Santa Ana , California 92705

Orozco, Norma

From: Tina Miller <beani4tina@aol.com>
Sent: Tuesday, October 20, 2020 3:58 PM
To: eComment
Subject: Planning commission Item 2

Good afternoon.

I am writing to the members of the Planning Commission in support of the project on 3rd and Broadway. Any updates within the city that will help revive economic development are a welcome sight after the devastating effects of COVID in our community. The efforts into the construction alone will ensure paychecks for many local workers. When the project is complete, the potential benefits of new residential space, service and retail employment opportunities, and the tax revenue generated will be greatly needed.

Thank you for your consideration and approval of this vital project.



Date 10/20/20

eComment

Planning Commission Public Comment for Agenda item No.2

Dear eComment:

Hello, my name is Jason Venable and I am executive secretary and co/ owner of Suavecito pomade.

I am writing in support of Item Number 2 the 201 West third project also known as 3rd and Broadway.

Sincerely,

**Jason Venable
Executive secretary
2831 w 1st st
Santa ana , CA 92703**

Orozco, Norma

From: Robert Escalante <rclipper@icloud.com>
Sent: Tuesday, October 20, 2020 4:22 PM
To: eComment
Subject: 3rd and broadway

Mr Chairman and fellow commissioners

I am writing this as support for agenda item 2 also known as the third and broadway Project.
Our City,Community and most of all our Local businesses will Benefit from this Economic Project. It is one of the
Keys to Helping Make our Downtown Successful.

Thank You and lets get together and Build this Sooner than Later

Sincerely

Robert Escalante. (Local Downtown Business on 3rd Street)