

# REQUEST FOR Planning Commission Action



**PLANNING COMMISSION MEETING DATE:**

**OCTOBER 22, 2018**

**TITLE:**

**PUBLIC HEARING – SITE PLAN REVIEW NO. 2018-02  
FOR THE ELAN MIXED-USE PROJECT LOCATED AT  
1660 EAST FIRST STREET - WERMERS PROPERTIES,  
APPLICANT {STRATEGIC PLAN NOS. 3, 2; 5, 3; 5, 4}**

**PLANNING COMMISSION SECRETARY**

**APPROVED**

- ☐ As Recommended
- ☐ As Amended
- ☐ Set Public Hearing For \_\_\_\_\_

**DENIED**

- ☐ Applicant's Request
- ☐ Staff Recommendation

**CONTINUED TO** \_\_\_\_\_

Prepared by Ali Pezeshkpour

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Executive Director

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Planning Manager

## **RECOMMENDED ACTION**

Adopt a resolution approving Site Plan Review No. 2018-02 as conditioned for the Elan mixed-use development project.

### **Executive Summary**

The Planning Commission held a duly-noticed public hearing on July 23, 2018 and recommended that the City Council adopt General Plan Amendment No. 2018-03, Amendment Application No. 2018-06, and Zoning Ordinance Amendment No. 2018-03 for the Metro East Mixed Use (MEMU) Overlay Zone expansion and amendments project and the Elan mixed-use development project. The Planning Commission directed staff to prepare a resolution approving Site Plan Review No. 2018-02 for the Elan project for consideration at a future date. Subsequently, at its regular meeting on October 2, 2018, the City Council certified Subsequent Environmental Impact Report (SEIR) No. 2018-15 (SCH No. 2006031041) and adopted the above-listed items for the MEMU project as evidenced by Ordinance No. NS-2955 and Resolution No. 2018-075. Pursuant to the authority provided under the approved MEMU, staff has prepared the Elan project resolution and recommends that the Planning Commission approve Site Plan Review No. 2018-02 as conditioned.

For the Commission's reference and information, a full analysis of the project as presented under Planning Commission's staff report dated July 23, 2018 has been attached as Exhibit 2.

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Ali Pezeshkpour, AICP  
Senior Planner

AP:sb

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GPA No. 2018-3, AA No.2018-6, ZOA No. 2018-3, and SPR No. 2018-02 Metro East Mixed Use (MEMU) Overlay Zone and Elan projects

July 23, 2018

Page 2

- Exhibits
1. Draft Elan project resolution
  2. July 23, 2018 MEMU and Elan Projects Planning Commission Staff Report



RESOLUTION NO. 2018-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA ANA APPROVING SITE PLAN REVIEW NO. 2018-02 AS CONDITIONED FOR A NEW MIXED-USE FAMILY RENTAL RESIDENTIAL AND COMMERCIAL DEVELOPMENT FOR THE PROPERTY LOCATED AT 1660 EAST FIRST STREET

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Planning Commission of the City of Santa Ana hereby finds, determines and declares as follows:

- A. Branden Wermers, representing Santa Anna First Street LLC (“Applicant”), is requesting approval of Site Plan Review No. 2018-02, as conditioned to allow the construction of a new mixed-use 603-unit rental residential and commercial development at 1660 East First Street.
- B. The Metro East Mixed Use (MEMU) Overlay Zone was adopted in 2007 as a result of interest in developing mixed-use residential and commercial projects in its project area. The City of Santa Ana expanded and amended the MEMU to include the subject property and additional properties along First Street between Grand Avenue and the Santa Ana (I-5) Freeway. The regulating plan, which establishes land uses and development standards, allows a variety of housing and commercial projects, including mixed-use residential communities, live/work units, hotels, and offices.
- C. On July 23, 2018, the Planning Commission of the City of Santa Ana held a duly noticed public hearing and at that time considered all testimony, written and oral.
- D. Section 41-595.5 of the Santa Ana Municipal Code (SAMC) requires a review by the Planning Commission of all plans within a zoning district classification combined with an OZ suffix where the applicant wants to apply the overlay zone, to ensure the project is in conformity with the overlay zone plan.
- E. The zoning designation for the subject property was approved by the City Council on October 2, 2018 as evidenced by Ordinance No. NS-2955, Resolution No. 2018-075 and has been designated as Metro East Mixed Use (MEMU) Overlay Zone (OZ-1) in the Active Urban land use district.

**EXHIBIT 1**

- F. The approval herein will be effective upon the 31<sup>st</sup> day after the date Ordinance No. NS-2955 was adopted unless Ordinance No. NS-2955 was replaced or contested.
- G. The Planning Commission determines that the following findings, which must be established in order to grant this Site Plan Review pursuant to SAMC Section 41-595.5, have been established for Site Plan Review No. 2018-03 to allow construction of the proposed project.
  - 1. That the proposed development plan is consistent with and will further the objectives outlined in Section 1.2 for the MEMU overlay district.

The proposed development project will be compatible with Section 1.2 (Objectives) of the Metro East Overlay zone. The proposed project will contain 603 residential units (seven live/work units) with a substantial commercial component of 8,900 square feet, which can be nearly doubled if a mezzanine or second floor were constructed within. In addition, the project has been designed to feature a public plaza at its frontage on First Street, an ample amount of publicly-accessible open space, and a full reconstruction of Elk Lane between First Street and Chestnut Avenue leading to the Santa Ana Zoo. Constructing 603 units in the project area will add to the residential population in the area, stimulating demand for community-serving commercial uses such as restaurants, retail stores, services, and other similar uses. Finally, the project meets several General Plan goals and policies, including the Land Use Element's Goal 2 (to encourage diversity of quality housing, affordability levels, and living experiences), Goal 4 (to provide adequate rental and ownership housing and supportive services), and the Housing Element's policies HE-2.3 and 2.4 (to encourage construction of rental housing, facilitate diverse types of housing, prices, and sizing).

- 2. That the proposed development plan is consistent with the development standards specified in Section 4 of the MEMU overlay district.

Although the project complies with the majority of development standards enumerated in the MEMU regulating plan, it does not meet the requirements for certain building setbacks, which the project exceeds. These standards required approval of a zoning ordinance amendment by the City Council as part of the overall MEMU expansion and amendments project.

3. That the proposed development plan is designed to be compatible with adjacent development in terms of similarity of scale, height, and site configuration and otherwise achieves the objectives of the Design Principles specified in Section 5 of the MEMU overlay district.

The proposed development consists of two multi-level structures ranging from five to seven stories in height. Two-level multiple-family residential communities abut the site to the south and are across Lyon Street to the west, a three-level hotel is to the north across First Street, and the Santa Ana Zoo is across Elk Lane to the east. The MEMU anticipates developments of this scale or larger in the “Active Urban” land use district, and this development would be consistent with the scale of recently-approved developments in the MEMU area, including the Madison (200 N. Cabrillo Park Drive) and two AMG housing communities (2222 and 2114 East First Street). Moreover, the project contains ground-floor non-residential (commercial and community) spaces at the front of the project, which will activate First Street. These spaces have been designed to feature ground-floor ceiling heights up to 24 feet tall, enhancing the urban, mixed-use atmosphere envisioned by the MEMU overlay district.

4. That the land use uses, site design, and operational considerations in the proposed development plan have been planned in a manner that will result in a compatible and harmonious operation as specified in Section 7 of the MEMU overlay district.

The proposed project is consistent with the scale and intensity of projects anticipated in the original MEMU EIR and the Subsequent EIR (SEIR) (SCH No. 2006031041) prepared for the MEMU Overlay Zone regulating plan. No negative impacts from noise, air quality, aesthetics, or traffic are expected except for temporary impacts arising during construction of the project. However, the SEIR identifies the demolition of the now-vacant Elks Club building as the loss of an eligible historic resource. To mitigate this loss, the project will incorporate certain architectural and building elements into its design. Finally, the site’s design is intended to activate First Street by providing a two-story volume commercial space, over 16,000 square feet, which can accommodate a variety of commercial tenants such as a large pharmacy, several smaller tenants, or a neighborhood market or café.

- H. The Applicant agrees to indemnify, hold harmless, and defend the City of Santa Ana, its officials, officers, agents, and employees, from any and all liability, claims, actions or proceedings that may be brought arising out of its approval of this project, and any approvals associated with the project, including, without limitation, any environmental review or approval, except to the extent caused by the sole negligence of the City of Santa Ana.

Section 2. In accordance with the California Environmental Quality Act (CEQA), the recommendation is analyzed by the certified EIR prepared for the MEMU Overlay Zone and the certified SEIR prepared for the MEMU expansion and amendments project (SCH No. 2006031041).

In accordance with the California Environmental Quality Act (CEQA), the recommended action has been determined to be adequately evaluated in the previously certified EIR No. 2006-01 (SCH No. 2006031041) and the certified SEIR 2018-15 as per Sections 15162 and 15168 of the CEQA guidelines. All mitigation measures in EIR No. 2006-01 and associated Mitigation Monitoring and Reporting Program (MMRP) have been enforced and continue to apply to the proposed project. The same measures identified in the 2006 MMRP are carried over within the SEIR. The EIR for the MEMU expansion adequately and fully analyzed the proposed project and it is determined that the MEMU EIR is sufficient to satisfy CEQA review for the proposed project because the proposed project will, among other things, result in no new or increased environmental effects that would require different or new mitigation. In addition, a health risk assessment (HRA) was prepared to identify any impacts from developing a residential community near a major freeway. Using two methods of analysis, the HRA finds that a less than significant impact to project residents would occur due to the project's proximity to a major freeway.

As outlined in the accompanying staff report, the project is consistent with the City's General Plan and the MEMU regulating plan.

Section 3. The Planning Commission of the City of Santa Ana, after conducting the public hearing, hereby approves Site Plan Review No. 2018-02 as conditioned in Exhibit A attached hereto and incorporated as though fully set forth herein. This decision is based upon the evidence submitted at the above said hearing, which includes, but is not limited to: the Request for Planning Commission Action dated July 23, 2018, and exhibits attached thereto; and the public testimony, written and oral, all of which are incorporated herein by this reference.

Section 6. This Resolution shall not be effective unless and until Ordinance No. NS-2955 for the MEMU Overlay Zone expansion and amendments project becomes effective. If said Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, or otherwise does not go into effect for any reason, then this resolution shall be null and void and have no further force and effect.

ADOPTED this 22<sup>nd</sup> day of October, 2018 by the following vote:

Resolution No. 2018-xx



AYES: Commissioners:  
NOES: Commissioners:  
ABSENT: Commissioners:  
ABSTENTIONS: Commissioners:

*\*\*\*Signature page follows\*\*\**

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Mark McLoughlin  
Chairman

APPROVED AS TO FORM:  
Sonia R. Carvalho, City Attorney

By: \_\_\_\_\_  
Lisa Storck  
Assistant City Attorney

#### CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, SARAH BERNAL Recording Secretary, do hereby attest to and certify the attached Resolution No. 2018-XXXX to be the original resolution adopted by the Planning Commission of the City of Santa Ana on October 22, 2018.

Date: \_\_\_\_\_

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Recording Secretary  
City of Santa Ana

## **Conditions for Approval for Site Plan Review No. 2018-02**

Site Plan Review No. 2018-02 is approved subject to compliance, to the reasonable satisfaction of the Planning Manager, with applicable sections of the Santa Ana Municipal Code, the California Administrative Code, the California Building Standards Code, and all other applicable regulations. In addition, it shall meet the following conditions of approval:

The Applicant or Owner, or Owner's successor(s) or assignee(s) (collectively, "Applicant") with the City's consent, which shall not be unreasonably withheld, must comply with each and every condition listed below prior to exercising the rights conferred by this site plan review.

The Applicant must remain in compliance with all conditions listed below throughout the life of the development project. Failure to comply with each and every condition may result in the revocation of the site plan review.

### **A. Planning Division**

1. All proposed site improvements must conform to the Development Project Review approval of DP No. 2017-06.
2. The approved Development is as follows: A mixed-use development project consisting of 603 residential and live/work units and 8,530 square feet of commercial area and 1,209 parking spaces. Specifically, the project will include 310 residential units and seven live/work units in one building and 293 residential units in the other. The buildings will be five and seven stories in height and will consists of approximately 49.6-percent one- and two-bedroom units and 50.4-percent two- and three-bedroom units. The Elan project is comprised of two buildings, the first with seven stories and the second with five. Open space will be provided at 100 square feet per unit, with publicly-accessible open space ranging from 18 percent (Building 2) to 23 percent (Building 1). The publicly-accessible open space shall be a large street-level courtyard between the two buildings on the project site. The courtyard shall contain a large lawn, forest walk, pavilion, dog area, boardwalks, bike racks, and a drop-off area for the community and public. The courtyard will be surrounded by an artist gallery, leasing office, and other community amenities. Additional open space on site will serve the residents and tenants within the community. Amenity rooms, decks and balconies, two pool areas and private courtyards, and view rooms will also be provided at a rate of 100 square feet per unit.
3. The Applicant shall agree to all recommendations contained within the required technical studies and reports prepared for the project. All studies and reports shall be finalized by the Applicant and approved by the City of Santa Ana prior to issuance of building permits.

4. Any amendment to this site plan review, including modifications to approved materials, finishes, architecture, site plan, landscaping, unit count, mix, and square footages must be submitted to the Planning Division for review. At that time, staff will determine if administrative relief is available or if the site plan review must be amended.
5. A residential property manager shall be available at all times that the Project is occupied and onsite management shall at all times maintain a 24-hour emergency contact and contact information on file with the City that is also posted at the entrance to the leasing office for public view.
6. All Project mechanical equipment shall be screened from view from public and courtyard areas.
7. A final detailed amenity plan must be submitted by the Applicant to the Planning Division and approved prior to issuance of any building permits. The plan shall include details on the hardscape design, lighting concepts and outdoor furniture for amenity, plaza, or courtyard areas, as well as an installation plan.
8. Prior to installation of landscaping, Applicant shall submit photos and specifications of all trees to be installed on the Project site for review and approval by the Planning Division. Specifications shall include, at a minimum, the species, box size (24 inches minimum), brown trunk height (10-foot minimum), and name and location of the supplier.
9. Prior to issuance of certificate of occupancy and/or building permit final, Applicant shall record a maintenance agreement for street improvements on the west side of Elk Lane, including long-term maintenance of the parkway (irrigation and landscaping but excluding street trees) and the sidewalk. The agreement shall be reviewed and approved by Applicant and the City's Public Works Agency, Planning and Building Agency, Parks, Recreation and Community Services Agency, and City Attorney Office.
10. Prior to issuance of certificate of occupancy and/or building permit finals, Applicant shall obtain permits for and construct improvements to Elk Lane as per the proposed street improvement plans in DP No. 2017-06.
11. Applicant shall maintain or cause to be maintained the interior and exterior of the Project and the Property in a decent, safe and sanitary manner, and in accordance with the standard of maintenance of first class multifamily rental apartment complexes within Orange County. If at any time Applicant fails to maintain the Project or the Property in accordance with this Site Plan Review approval and such condition is not corrected within five (5) business days after written notice from City with respect to debris and waste material, or thirty (30) calendar days after written notice from City with respect to general maintenance, landscaping and building improvements, then City, in addition to whatever

remedy it may have at law or at equity, shall have the right to initiate code enforcement action to ensure that the development be maintained in accordance with all approved project plans.

12. After Project occupancy, landscaping and hardscape materials must be maintained as shown on the approved landscape plans.
13. The full volume (first and second levels) of the commercial square footages on First Street, and the ground floor (shopkeeper) commercial spaces within each live/work unit on Lyon Street, shall be maintained for commercial purposes only and may not be converted or used for residential purposes.
14. The Applicant shall maintain a minimum of 20,000 square feet of commercial space within the project at all times. A floor plan of the commercial space shall be provided at plan check submittal for verification.
15. Prior to issuance of building permits, Applicant shall submit a Resident Storage Plan for the Project. Storage shall be available at no cost to the residents.
16. Prior to issuance of building permits, Applicant shall submit a construction schedule and staging plan to the Planning Division for review and approval. The plan shall include construction hours, staging areas, parking and site security/screening during Project construction.
17. Applicant shall provide onsite parking for residents and visitors of the Project and actively monitor the parking demand of the Project site. Applicant shall take continually monitor and take appropriate measures to manage the parking demand of the Project site to mitigate the use of offsite parking spaces on private or public properties and/or right-of-way. Prior to issuance of the certificate of occupancy and/or building permit finals, Applicant shall submit and obtain approval from the Planning and Building Agency a Parking Management Plan (the "PMP") meeting the requirements of this condition. The approved PMP shall be adhered to and be enforced by the Project at all times.
18. Prior to plan check submittal, the applicant shall submit a public art plan for review. A maximum of \$500,000 of the public art requirement for the project shall be utilized for the creation of a sign program, construction of signage, and the installation of signage for the Santa Ana Zoo.



# REQUEST FOR Planning Commission Action



## PLANNING COMMISSION MEETING DATE:

JULY 23, 2018

## TITLE:

**PUBLIC HEARING – SUBSEQUENT ENVIRONMENTAL IMPACT REPORT NO. 2018-15 (SCH NO. 2006031041), GENERAL PLAN AMENDMENT NO. 2018-03, AMENDMENT APPLICATION NO. 2018-06, AND ZONING ORDINANCE AMENDMENT NO. 2018-03 TO EXPAND AND AMEND THE METRO EAST MIXED USE OVERLAY ZONE, AND SITE PLAN REVIEW NO. 2018-02 FOR THE ELAN MIXED-USE PROJECT - CITY OF SANTA ANA AND WERMERS PROPERTIES, APPLICANTS {STRATEGIC PLAN NOS. 3, 2; 5, 3; 5, 4}**

Prepared by Ali Pezeshkpour

## PLANNING COMMISSION SECRETARY

### APPROVED

- ☐ As Recommended
- ☐ As Amended
- ☐ Set Public Hearing For \_\_\_\_\_

### DENIED

- ☐ Applicant's Request
- ☐ Staff Recommendation

CONTINUED TO \_\_\_\_\_

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Executive Director

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Planning Manager

## RECOMMENDED ACTION

### **Metro East Mixed Use Overlay Zone Expansion and Amendments Project**

Recommend that the City Council:

1. Certify the Subsequent Environmental Impact Report (SCH No. 2006031041) for the Metro East Mixed Use Overlay Zone and Elan projects, make findings pursuant to the California Environmental Quality Act, adopt the Mitigation Monitoring and Reporting Program, and adopt a Statement of Overriding Considerations;
2. Adopt General Plan Amendment No. 2018-03;
3. Adopt Amendment Application No. 2018-06; and
4. Adopt Zoning Ordinance Amendment No. 2018-03.

### **Elan Mixed-Use Project**

Direct staff to prepare, and bring back for consideration at a future meeting, a Resolution of the Planning Commission adopting Site Plan Review No. 2018-02 for the Elan mixed-use development project at 1660 East First Street, contingent upon the City Council taking final action on the Subsequent Environmental Impact Report, General Plan Amendment, Amendment Application, and Zoning Ordinance Amendment referenced above.

## **Executive Summary**

The City of Santa Ana is requesting approval of several actions in order to expand and amend the Metro East Mixed Use (MEMU) Overlay Zone (OZ-1), a document originally adopted by the City in 2007. Specifically, the City is requesting approval of a general plan amendment to modify the general plan land use designation of parcels within the corridor, an amendment application (zone change) to add the OZ-1 designation to affected properties and reclassify others in the existing MEMU area, and a zoning ordinance amendment to update various sections of the existing MEMU document to amend development standards. In addition to the MEMU actions, Wermers Properties is requesting approval of a site plan review application to allow the Elan mixed-use development project at 1660 East First Street. Staff is recommending approval of the projects to create additional market-driven development opportunities in the existing MEMU area and in the expansion area.

A Draft Subsequent Environmental Impact Report (SEIR) has been prepared to review the environmental impacts resulting from implementation of MEMU expansion and the Elan Mixed Use Project.

## **Project Background**

The MEMU Overlay Zone was adopted in 2007 to facilitate mixed-used development opportunities in a portion of the City between the Santa Ana (I-5) and Costa Mesa (SR-55) freeways centered on First and Fourth streets. A number of successful projects were developed or entitled as a result of the 2007 MEMU Overlay Zone adoption, including Lyon Communities' 264-unit mixed-use community as well as the Madison (200 N. Cabrillo Park Drive), AMG Villa Court (2222 E. First Street) and AMG First Point (2110 and 2114 E. First Street). Encouraged by this success in 2016, the City Council directed staff to analyze opportunities to create additional areas for mixed use development by expanding the MEMU area to the east.

In 2017, Wermers Properties proposed the Elan mixed-use community within the MEMU expansion area. Technical studies prepared for the Elan project indicate that demolition of the now-vacant Elks Lodge building on the project site would result in loss of an eligible (unlisted) historic resource, therefore requiring additional environmental analysis. An SEIR was identified as the appropriate environmental document for Elan because the original EIR did not address new information about the Elks Club building that is of substantial importance, which was not known at the time the previous EIR was certified as complete. Because the City was in the process of reviewing Elan and expanding and amending the MEMU concurrently, the SEIR was drafted to address both Elan and the MEMU efforts in a single document that holistically analyzes both items.



### **Project Description and Analysis: MEMU and Elan**

The MEMU Overlay Zone expansion and amendment project will extend the MEMU overlay zone west along First Street to Grand Avenue and will reclassify certain land use districts and amend certain development standards. The project also includes Elan, a mixed-use development project consisting of 603 residential and live/work units and 8,530 square feet of commercial area.

#### **MEMU Expansion and Amendments**

The MEMU Overlay Zone expansion and amendment project will apply the MEMU (OZ-1) designation to 52 parcels and increase its size by approximately 33 acres. The expansion area currently includes a mixture of commercial and multiple-family land uses, as well as a handful of vacant parcels and one affordable housing community that is under construction. Extending the MEMU Overlay Zone to these parcels will maintain their existing zoning designations but will apply the OZ-1 designation. The OZ-1 designation will allow property owners to maintain current developments without rendering existing sites legal-nonconforming, but will also add a layer of additional development opportunities should the property owners elect to develop a mixed-use project permitted by the MEMU Overlay Zone.

The MEMU Overlay Zone expansion and amendment project requires approval of:

- **General Plan Amendment.** Components of the General Plan must be amended to ensure consistency with the MEMU expansion and amendments project and the Elan project. Amendments include updates to the Land Use and Urban Design elements' maps, figures, and buildout assumptions to reflect the MEMU expansion and account for the new Urban Neighborhood and District Center land use designations. The amendments will also be consistent with the 2014 Housing Element.
- **Amendment Application.** Changing the existing MEMU map and boundaries requires an amendment application (zone change). The proposed MEMU Overlay Zone expansion area was refined based on community feedback, staff review, and environmental analyses. The boundaries exclude established single-family neighborhoods and properties with historic designations primarily found near Fourth Street.
- **Zoning Ordinance Amendment.** Changes to the MEMU text require a zoning ordinance amendment to change the development standards and permitted land uses in the MEMU Overlay Zone.

The MEMU Overlay Zone expansion maintain the current caps of 5,551 potential new residential units and a potential net increase of approximately 963,000 square feet of commercial space and 690,000 square feet of office space that were analyzed and approved in the original EIR and MEMU Overlay District adopted in 2007. The expansion will allow these development potentials to be spread over a larger area within the existing and proposed MEMU Overlay Zone boundaries.

In addition to expanding the MEMU Overlay Zone, the City proposes to amend the existing MEMU land use districts and development standards. These changes are described and analyzed in Table 1: Summary of MEMU Overlay Zone Amendments, below.

<b>Table 1: Summary of MEMU Overlay Zone Amendments</b>	
<i>Amendment</i>	<i>Issues and Impact</i>
<b>Map.</b> Re-designate northern segments of the existing MEMU Overlay Zone area as Village Center.	<p><b>Issue:</b> Village Center and Neighborhood Transitional land use district boundaries bisect existing development sites in the northern segment of the existing MEMU Overlay Zone area.</p> <p><b>Amendment Impact:</b> Creates a uniform land use district in the northern segment of the existing MEMU Overlay Zone area without impacting sensitive land uses.</p>
<b>Land Use.</b> Allow multiple-family residential uses as part of a mix use development.	<p><b>Issue:</b> Multiple-family residential uses are prohibited within the Village Center land use district.</p> <p><b>Amendment Impact:</b> Creates additional opportunities for multiple-family development as part of a mixed-use project in a large portion of the existing MEMU Overlay Zone area.</p>
<b>Land Use.</b> Allow religious assembly in all land use districts subject to approval of a conditional use permit (CUP)	<p><b>Issue:</b> Churches and other religious assemblies are not currently identified as an allowable use in any MEMU land use district.</p> <p><b>Amendment Impact:</b> Ensures that the City complies with current case law requiring religious assembly where other forms of community assembly are otherwise allowed</p>
<b>Land Use.</b> Amend the uses permitted in each MEMU land use district to more closely match uses permitted in other form-based code areas in the City	<p><b>Issue:</b> Non-residential uses allowed as part of a mixed-use development are restricted to a handful of business types in the Neighborhood Transitional district.</p> <p><b>Amendment Impact:</b> Creates greater opportunities for commercial uses to locate within mixed-use projects in the MEMU area and creates consistency between the MEMU, Harbor Plan, and Transit Zoning Code. New uses include eating establishments (cafes, restaurants), bakeries, retail and service uses, and allows products to be sold as an ancillary component of a professional business.</p>



**Table 1: Summary of MEMU Overlay Zone Amendments**

<i>Amendment</i>	<i>Issues and Impact</i>
<b>Development Standard.</b> Reduce private/public open space requirement to 90 square feet per unit.	<b>Issue:</b> Currently the MEMU requires 100 square feet of private/common open space required per unit in the Neighborhood Transitional, Village Center, and Active Urban land use districts. In other City form-based codes the standard is 90 square feet per unit.  <b>Amendment Impact:</b> Amends the MEMU open space standards to be consistent with other Santa Ana form-based code areas, including the Harbor Plan and Transit Zoning Code.
<b>Development Standard.</b> Amend setback standards to be consistent with those contained in the Harbor Plan, which prescribe setbacks based on relation to the street and surrounding land uses.	<b>Issue:</b> Building setbacks are prescribed depending on land use district and by yards (front, side, rear, etc.). Rear-yard setbacks for buildings over three and ten stories are 100 feet and 150 feet, respectively, resulting in disproportionately-large rear yard areas becoming undevelopable.  <b>Amendment Impact:</b> Amends the MEMU setback standards to be consistent with the Harbor Plan. For developments adjacent to residential land uses, the property line setback proposed is 15 feet (up to the 2 <sup>nd</sup> floor), 20 feet (up to the 6 <sup>th</sup> floor), and 30 feet (7 <sup>th</sup> floor and above). This amendment will reduce the number of variance and/or density bonus incentives/concessions and waiver requests.
<b>Development Standard.</b> Amend allowable height in the Neighborhood Transitional and Office land use districts to allow buildings up to 4 and 10 stories, respectively.	<b>Issue:</b> Neighborhood Transitional and Office land use districts allow buildings up to 3 and 6 stories, respectively, which do not match current market demands and increases in real estate values and costs.  <b>Amendment Impact:</b> Amends building height standards to be consistent with other Santa Ana form-based code areas, including the Harbor Plan and Transit Zoning Code while respecting sensitive land uses that may be nearby. This amendment will reduce the number of variance and/or density bonus incentives/concessions and waiver requests.

### Elan Mixed-Use Development

The SAMC and MEMU Overlay Zone require that the Planning Commission review a site plan review application for any project proposed within an overlay zone that is built to the overlay zone's standards. The Elan project site is currently located in the General Commercial (C-2) and Multiple-Family Residence (R-3) zoning districts. However, because the City is proposing to apply the OZ-1 designation to the project site, Planning Commission approval of a site plan review application is required in order for the project to materialize. Staff will draft the Elan



project's Site Plan Review (SPR) No. 2018-02 resolution if directed to do so by the Planning Commission. The City Council is not required to act on or review the Elan project's SPR application.

The Elan project requires approval of a separate site plan review application by the Planning Commission. The project is described in Table 2: Elan Project Conformance to Development Standards, below.

<b>Table 2: Elan Project Conformance to Development Standards</b>	
<i>Standard or Item</i>	<i>Conformance and Analysis</i>
<b>MEMU Land Use District and Allowable Use.</b> The Active Urban (AU) land use district allows multiple-family residential as part of a mixed-use project.	Complies. The Elan project contains a multiple-family component, a commercial component, and seven live/work units.
<b>Number of Residential Units.</b> No density prescribed.	<p>Complies. Building 1 will contain 310 residential units, including seven live/work units. The unit mix consists of approximately 57-percent (177) studio and one-bedroom units and 43-percent (133) two- and three-bedroom units. Building 2 will contain 293 residential units. The unit mix consists of approximately 42-percent (123) studio and one-bedroom units and 58-percent (170) two- and three-bedroom units.</p> <p>Overall, the project will contain 49.6-percent one- and two-bedroom units, and 50.4-percent two- and three-bedroom units, satisfying the Housing Element's goals and policies of designing projects for a variety of housing types, including large families.</p>
<b>Commercial Component.</b> All projects in the MEMU Overlay Zone must be mixed-use, but no minimum commercial square footage is prescribed.	<p>Complies. The entire project frontage on First Street has been designed for commercial space. Elan will contain 8,530 square feet of leasable commercial area, which could be nearly doubled to 16,338 square feet if a second floor or mezzanine were constructed within the large-volume commercial space. The project has been conditioned to be designed and conditioned to maintain the flexibility to expand the commercial floor.</p> <p>The development will also contain seven live/work units. Combined, the live/work units will contain 4,333 square feet of commercial square feet consisting of ground-floor shopkeeper units and upper-level residential/work areas.</p> <p>Overall, the project has the capacity of approximately 19,700 square feet of commercial area.</p>



**Table 2: Elan Project Conformance to Development Standards**

<i>Standard or Item</i>	<i>Conformance and Analysis</i>
<b>Stories.</b> Developments in the Active Urban land use district must contain a minimum of 3 stories with no maximum.	Complies. The Elan project is comprised of two buildings, the first with seven stories and the second with five. The taller building with the commercial uses is placed closer to First Street to maximize its street presence, visibility for commercial tenants, and to reduce impacts on lower-scale multiple-family structures toward the south and west of the project site.
<b>Minimum Site Area.</b> Developments in the Active Urban land use district must contain at least 1 acre.	Complies. The project site contains 6.38 acres. The large site size provides an opportunity for greater publicly-accessible and private open space on site, parking, and the proposed improvements to Elk Lane.
<b>Permitted Frontage.</b> Developments in the Active Urban land use district must contain either forecourt, shopfront, gallery, or arcade frontage types.	<p>Complies. Shopfront and forecourt provided. The shopfront design maintains the commercial character of First Street, and the forecourt designs elsewhere on site break up the building's massing and volume where it is adjacent to lower-scale multiple-family land uses.</p> <p>The entire frontage of the proposed project along First Street has been designed as a shopfront with commercial retail. In addition, the northern half of Building 1's Lyon Street frontage is also dedicated to commercial use.</p>
<b>Publicly-Accessible Open Space.</b> Developments in the Active Urban land use district must contain at least 15 percent of the total lot area as publicly-accessible open space.	Complies. Publicly-accessible open space ranges from 18 percent (Building 2 site) to 23 percent (Building 1 site). The publicly-accessible open space is at the project's ground-level, allowing access from the surrounding community into the heart of the development.
<b>Private/Common Open Space.</b> Private/Common open space for projects located in the Active Urban land use district must be at least 100 square feet per unit.	Complies. The project provides over 100 square feet of private open space per residential unit. Moreover, the project would continue to comply with this requirement if the MEMU open space standards are amended.
<b>Building Setbacks.</b> Developments in the Active Urban land use district that contain between 4 and 9 stories must contain setbacks of 0-20 feet (front), 0-10 feet (side), 100 feet (rear).	Complies, with MEMU amendments. The front setback (First Street) and side setback on Lyon Street comply. The Elk Lane side setback exceeds the 10-foot maximum allowed, but this standard is proposed to be amended to allow additional setbacks if publicly-accessible open space is provided in its place. Moreover, the building's rear setback (37 feet) is proposed to be amended to more closely match the standards contained in the Harbor Plan (minimum 5 feet).

**Table 2: Elan Project Conformance to Development Standards**

<i>Standard or Item</i>	<i>Conformance and Analysis</i>
<b>Parking.</b> Mixed-use developments with less than 10 percent of gross floor area dedicated to commercial uses must contain 2.0 parking spaces per unit, with every unit allocated at least one space.	Complies. 1,209 parking spaces provided (2.00 spaces per unit). The project has been designed to provide at least one parking space per residential unit, and with dedicated commercial parking inside Building 1's parking structure. Finally, the street improvements surrounding the project site will maintain street parking for the residents and surrounding community.
<b>Driveway Width.</b> Driveways on development sites may be up to 24 feet wide.	Complies. The maximum width of any driveway leading into the project site is 24 feet, enhancing the experience for pedestrians and cyclists in the area and reducing the impacts of vehicular movements onto surrounding streets.
<b>Building Massing.</b> Developments must contain a variety of massing, volume, and step-backs to increase building articulation.	Complies. The buildings feature multiple volumes and breaks designed to reduce massing. These features allow the project to avoid a monotonous appearance and reduce its visual impact on the surrounding community.
<b>Courtyard Height-to-Width Ratios.</b> Courtyards must be designed with ratios of 2:1 (enclosed on four sides) or 3:1 (open on one or more sides).	Complies. Ratios provided range from 1:1 or 1:2. The generous ratios maximize light and air in the courtyards, reducing the amount of shadow and creating a better experience for residents and guests using the open space areas on site.
<b>Findings for Site Plan Review Approval.</b> MEMU Sec. 8.2, subsections a through d inclusive require findings to show that the development plan furthers the MEMU objectives, meets development standards, is compatible with adjacent development, and its land uses, site design, and operational plan are compatible and harmonious.	Complies. The Elan project is a mixed-use project that will materially assist with activating a vacant parcel and vacant building. The project will introduce a mixed-use development that will activate its surroundings with new commercial experiences, amenities, and a full reconstruction of Elk Lane, which will enhance the sense of entry to the Santa Ana Zoo. The project has been carefully designed to complement the zoo to the east and to minimize impacts on existing multiple-family residences to the south and west through building articulation and step-downs in massing, through the screening of all parking and loading activities within the project site, and through construction of a limited number of driveways on Elk Lane and Lyon Street.

*Elan Site Planning, Architecture, Elk Lane Improvements, and Commercial Component*

The centerpiece Elan's onsite publicly-accessible open space is a large street-level courtyard between the two buildings on the project site. The courtyard will contain a large lawn, forest walk, pavilion, dog area, boardwalks, bike racks, and a drop-off area for the community and public. The



courtyard will be surrounded by an artist gallery, leasing office, and other community amenities. Additional open space on site will serve the residents and tenants within the community. Amenity rooms, decks and balconies, two pool areas and private courtyards, and view rooms will meet or exceed the present and proposed (amended) MEMU standards.

The project's landscape palette has been selected to match and complement the Santa Ana Zoo that lies to the east of the project site across Elk Lane. The project frontage will also be improved with unique lighting and street furniture to match the Santa Ana Zoo. The applicant has coordinated the landscape plan with the Public Works and Parks, Recreation and Community Services agencies.

Elan will feature a contemporary architectural style with Mid-century modern elements. Building materials are designed to mimic or complement the natural environment, with generous use of horizontal elements and carefully-placed vertical emphases, angles, metal brows, and fiber cement siding resembling wood, wood railings, glass, concrete, and cement blocks. The project's defining architectural features are the 24-foot high ceilings for the commercial component and the full-height illuminated Window Wall along First Street. All utilities, loading, and move-ins will be contained within the building, and all parking (subterranean or above-ground structure) will be concealed from view from both the public and from within the project. The contemporary style also incorporates influences commemorating the Elks Lodge and Saddleback Inn.

As part of the project, the applicant has proposed a full reconstruction of Elk Lane between First Street and Chestnut Avenue. The improvements are voluntary and have been coordinated with the Planning and Building, Public Works, and Parks, Recreation and Community Services agencies. Improvements include undulating sidewalk patterns on the project site, sidewalk improvements on the zoo (east) side of Elk Lane, and new bulb-outs and crosswalks on both sides of Elk Lane. The applicant has committed to constructing the new street, sidewalks, curbs, parking, and gutters, and will landscape both sides of Elk Lane, with the City assuming the long-term responsibility of maintenance through a maintenance agreement. These improvements have been designed to take into account the new Zoo Master Plan, adopted in March 2018. In addition to the improvements to Elk Lane, the project will require reconstruction of sidewalks, curbs, and gutters along First and Lyon streets. Portions of all streets along the project's frontage (Elk Lane and First and Lyon streets) will also be repaved. The project will be conditioned to require continued coordination among the Planning and Building, Public Works, and Parks, Recreation and Community Services agencies to identify opportunities for street art, signage, and other installations to complement the Santa Ana Zoo.

The commercial component on First Street and the live/work units' ground-floor shopkeeper spaces have been designed to accommodate a wide range of tenants and to be expanded if market conditions warrant. The First Street commercial space has been designed with full two-story volumes, enabling the square footage to be doubled within to over 16,000 square feet. This square footage can accommodate half a dozen smaller tenants, a large pharmacy, or neighborhood market and café. The design and success of the commercial spaces are intended to

serve as a catalyst for reinvestment in or new commercial developments on First Street as market conditions improve and demand increases.

Although the developer has not yet identified tenants, Elan's commercial spaces have been designed with large volumes and high ceilings for "experiential" businesses such as specialized retail, cafes, creative offices, and other street-activating commercial uses. All commercial areas within the project will be conditioned to be available for commercial use at all times and will prohibit future conversion to additional residential units.

### **California Environmental Quality Act (CEQA) Analysis**

The original MEMU EIR certified in 2007 analyzed issues identified during the Notice of Preparation (NOP) public review period, including: aesthetics and design, traffic and parking, provision of open space, safety, housing affordability and overcrowding, burdening of the public services and infrastructure, and construction and operational air quality. Because these items analyzed in the original EIR, and because the nature of the MEMU expansion and amendments is consistent with what was analyzed in the original EIR, an SEIR was prepared to address any subsequent impacts resulting from the Elan project and from expanding the MEMU to the East First Street area. The SEIR has been prepared pursuant to the requirements of CEQA and discloses the environmental impacts associated with implementing the proposed project and includes mitigation measures that can reduce potential impacts to the extent possible or to below a level of significance.

The SEIR analyzes impacts related to air quality, cultural resources, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, transportation/traffic, and tribal cultural resources. Other impacts from components such as aesthetics, agriculture/forestry, biology, geology/soils, mineral resources, populations/housing, public services, and utilities/service systems were excluded following the NOP public review or were adequately addressed in the original MEMU EIR and are not expected to intensify with the MEMU expansion and amendments.

Based on the draft SEIR's analysis, the MEMU Overlay Zone expansion's impacts would be consistent with those identified in the original 2007 EIR and would result in significant and unavoidable impacts to air quality, noise, and transportation/traffic. However, development of the Elan project would result in a substantial adverse change to an eligible but unlisted historical resource (the now-vacant Elks Lodge building), which was not addressed in the 2007 EIR. The demolition constitutes an adverse impact for CEQA purposes. As a result, preparation of the current draft SEIR was required, and the draft SEIR analyzes and proposes mitigation for the demolition of the Elks Lodge building and for the entire MEMU project.

The draft SEIR's Notice of Availability (NOA) was published in the Orange County Register and posted to the County Clerk on June 12, 2018 for the required 45-day public comment period. The draft is also available for public view at the City Hall Planning counter and the Santa Ana Library

in the Civic Center. The public comment period ends on July 27, which will allow the City to respond to any comments received and incorporate comments and responses into the Final SEIR before the City Council public hearing, tentatively scheduled on August 21. As of this printing, no comments or communications from the public have been received on the draft SEIR.

All mitigation measures in the original EIR and associated Mitigation Monitoring and Reporting Program (MMRP) have been enforced and continue to apply to the proposed Elan project. The same measures identified in the original MEMU EIR MMRP are carried over within the draft SEIR. New mitigation measures proposed for the Elan project include documenting the building to Historic American Building Survey (HABS) Level 2 standards, preserving distinctive Elks Lodge building elements on the Elan project site, and developing an interpretative opportunity on the Elan site for public enjoyment. In addition to these measures, the applicant is proposing to commemorate the Saddleback Inn, which occupied a portion of the site before its demolition. The full-height illuminated window wall along First Street will contain a view room to be named after Walt Disney, who frequented the Saddleback Inn.

In addition, a health risk assessment (HRA) was prepared to identify any impacts from developing a residential community near a major freeway. Using two methods of analysis, the HRA finds that a less than significant impact to project residents would occur due to the project's proximity to a major freeway.

## **Economic Impacts**

### **MEMU Overlay Zone Expansion**

With the exception of the AMCAL community and Holiday Inn Express projects, the majority of the 52 parcels that are proposed to be rezoned with the OZ-1 designation have not undergone substantial improvements since first being developed. The OZ-1 designation will provide opportunities for market-driven redevelopment, without a full rezoning or property takings.

Moreover, amending the MEMU document is intended to respond to current market demands in the area. A large portion of the MEMU Overlay Zone is designated "Village Center," which allows office and commercial developments. However, the only form of housing allowed in this district is live/work construction. In order to facilitate development in the original MEMU area, the City's amendment to allow construction of multi-family housing in this land use district will directly address several development projects that are anticipated in the MEMU area that have not yet submitted development applications due to the live/work restriction. Other amendments, such as modifying development standards to more closely match standards found in other zoning districts, are intended to streamline the development process without the need for variance applications or density bonus incentives/concessions or waivers. This streamlining is intended to provide greater predictability to developers engaging in the development review process and is expected to result in additional medium- to large-scale developments in the area.



### Elan Mixed Use Project

The Elan project is expected to produce up to 3,000 temporary jobs through construction and project management, and 125 permanent jobs in the commercial spaces (First Street commercial component and seven live/work lofts), and in onsite management and building service vendors (waste collection, pool servicing, fitness room maintenance, technology/IT, landscape maintenance, etc.). Its valuation is currently estimated at \$200,000,000, which will result in approximately \$17,500,000 new fees for the City. Among these fees are approximately \$8,000,000 in inclusionary housing in-lieu fees. These fees will allow the City to continue providing services to the community, portions of which will be reinvested in parks and community facilities in the project vicinity. The applicant's investment in the Elk Lane improvements is estimated to be \$1,200,000.

Finally, the large commercial component of the project is expected to produce additional sales and business taxes for the City. The project will be conditioned to require preservation of its commercial components in perpetuity and to maintain its property values through site maintenance and site management.

### Public Outreach

The City held an information session/community meeting on September 7, 2017 at the Elks Lodge building, which is located on the project site. Over 100 members of the community attended. The meeting was advertised on various forms of social media, through Neighborhood Initiatives staff, and through a mass-mailing to 2,800 recipients that included property owners, renters, and tenants that included a 500-foot buffer surrounding the existing and proposed MEMU areas. Following the September 7, 2017 meeting, City staff and the Elan project's applicants attended two Saddleback View and Lyon Street neighborhood associations' meetings where the MEMU expansion and the Elan project were discussed.

On January 22, 2018, staff presented a work-study session on the MEMU expansion and Elan projects to the Planning Commission. Members of the Planning Commission asked staff questions about the projects, timing, and separate parking study.

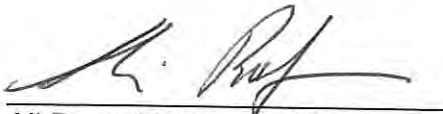
Since the MEMU expansion and Elan projects' inceptions, the City has maintained topical webpages that have been updated with relevant information, plans, and other information. City staff have also met with interested parties, including property owners and tenants within and outside the MEMU project area. While there have been phone calls and emails received throughout the course of this project, at the time of this printing, no correspondence, either written or electronic, had been received from any members of the public.

### **Strategic Plan Alignment**

Approval of this item supports Goal No. 3 Economic Development, Objective No. 2 (Create new opportunities for business/job growth and encourage private development through new General Plan and Zoning Ordinance policies), and Goal No. 5 Community Health, Livability, Engagement and Sustainability, Objective No. 3 (Facilitate diverse housing opportunities and support efforts to preserve and improve the livability of Santa Ana neighborhoods) and Objective No. 4 (Support neighborhood vitality and livability).

### **Conclusion**

Based on the projects' analyses, staff recommends that the Planning Commission recommend that the City Council approve Subsequent Environmental Impact Report No. 2018-15 (SCH No. 2006031041) for the Metro East Mixed Use Overlay Zone expansion and Elan projects; General Plan Amendment No. 2018-03, Amendment Application No. 2018-06, and Zoning Ordinance Amendment No. 2018-03 for the MEMU Overlay Zone expansion project; and that the Planning Commission approve SPR No. 2018-02 as conditioned for the Elan project.



Ali Pezeshkpour, AICP  
Senior Planner

AP:sb

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- Exhibits
1. Draft General Plan Amendment Resolution
  2. Draft Amendment Application (Zone Change) and Zoning Ordinance Amendment Ordinance
  3. Draft General Plan Amendments
  4. Draft Sectional District Map
  5. Draft MEMU Overlay Zone Amendments
  6. Elan Project Site Photo
  7. Elan Project Site Plan
  8. Elan Project Landscape Plan
  9. Elan Project Open Space Exhibit
  10. Elan Project Floor Plans
  11. Elan Project Renderings
  12. Elan Project Elevations
  13. Draft Elk Lane Street Improvement Plans
  14. Draft Subsequent Environmental Impact Report (SEIR) and Appendices

## RESOLUTION NO. 2018-xx

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA ANA CERTIFYING FINAL SUBSEQUENT ENVIRONMENTAL IMPACT REPORT NO. 2018-15 (SCH NO. 2006031041) AND THE MITIGATION MONITORING AND REPORTING PROGRAM, CEQA FINDINGS OF FACT AND STATEMENT OF OVERRIDING CONSIDERATIONS; GENERAL PLAN AMENDMENT NO. 2018-03 AND FOR THE PROPOSED METRO EAST MIXED USE OVERLAY ZONE EXPANSION AND AMENDMENTS PROJECT AND THE ELAN DEVELOPMENT PROJECT LOCATED AT 1660 EAST FIRST STREET

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The City Council of the City of Santa Ana hereby finds, determines and declares as follows:

- A. The City of Santa Ana (City) is requesting approval of General Plan Amendment No. 2018-03 to amend the General Plan land use designation of 53 parcels located in the existing Metro East Mixed Use (MEMU) Overlay Zone (OZ-1) and in the proposed MEMU expansion area to be consistent with the current land uses and proposed zoning designations in the MEMU project area. In addition, Wermers Properties (Applicant) is requesting approval of Site Plan Review No. 2018-02 to allow a 603-unit mixed-use development project at 1660 East First Street, which has been reviewed and approved by the Planning Commission subject to approval of this General Plan Amendment, and separate but related Amendment (Zone Change) and Zoning Ordinance Amendment applications.
- B. On July 23, 2018, during the 45 day public comment period, the Planning Commission held a duly noticed public hearing and voted to recommend that the City Council adopt a resolution certifying Subsequent Final Environmental Impact Report No. 2018-15 (SCH No. 2006031041) and approving the Mitigation Monitoring Program, Findings of Fact and Statement of Overriding Considerations; General Plan Amendment No. 2018-03; Amendment Application No. 2018-06; and Zoning Ordinance Amendment No. 2018-02 for the Metro East Mixed Use Overlay Zone expansion and amendments project.

- C. On August 21, 2018, the City Council of the City of Santa Ana held a duly noticed public hearing to consider all testimony, written and oral, related to Subsequent Final Environmental Impact Report No. 2018-15 (SCH No. 2006031041), General Plan Amendment No. 2018-03, Amendment Application No. 2018-06; and Zoning Ordinance Amendment No. 2018-02 for the Metro East Mixed Use Overlay Zone expansion and amendments project, at which time all persons wishing to testify were heard, the project was fully considered, and all other legal prerequisites to the adoption of this Resolution occurred.
- D. Pursuant to the California Environmental Quality Act (Pub. Res. Code sec. 21000 et seq.; "CEQA"), and the State CEQA Guidelines the City has determined that a Subsequent Environmental Impact Report (SEIR) should be prepared pursuant to CEQA in order to analyze all potential adverse environmental impacts of the proposed project.
1. Pursuant to Public Resources Code section 21067 and the State CEQA Guidelines (Cal. Code Reg., tit. 14 Sec 15000 et seq.) section 15051, the City is the lead agency for the proposed Project.
  2. In accordance with CEQA, the recommended actions have been reviewed through an SEIR. Sections 15080 through 15097, and 15162 of the State CEQA Guidelines (Article 7) guide the process for the preparation of an EIR and an SEIR.
  3. The California Environmental Quality Act (CEQA) requires that, where there is the potential for environmental impacts as the result of a proposed project, an EIR be prepared in order to study and analyze any potential environmental impacts, disclose such potential impacts to the public, and mitigate such impacts to the greatest extent feasible. As such, an EIR was prepared for the original MEMU Overlay Zone in 2007 and was subsequently certified by the City Council.
  4. An SEIR is prepared when an EIR has been certified for a project and the lead agency determines that one or more of the criteria listed under Section 15162 and 15163 of the State CEQA Guidelines are met. The City has determined that an SEIR is the most appropriate environmental document due to the characterization of the proposed changes to the project that was previously approved with the certified Final EIR for the MEMU Overlay Zone in 2007. The current SEIR has been prepared pursuant to the requirements of CEQA and discloses the



environmental impacts associated with implementing the proposed project and includes mitigation measures that can reduce potential impacts to the extent possible or to below a level of significance. The proposed project will be consistent with the prior findings in the original 2007 Final EIR certified by the City Council, and significant and unavoidable environmental impacts disclosed in the 2007 EIR would remain for air quality, noise, and transportation/traffic. However, development of the Elan project would result in a substantial adverse change to an eligible historical resource (the now-vacant Elks Club building), which was not addressed in the 2007 EIR. As a result, preparation of the current draft SEIR was required, and the draft SEIR analyzes and proposes mitigation for the demolition of the Elks Club building.

5. The SEIR, as required by CEQA, contains 1) an Initial Study; 2) a project description; 3) a description of the environmental setting, potential environmental impacts, mitigation measures for any significant effects, and consistency with plans and policies; and 4) names of preparers. The mitigation measures included in this SEIR are designed to reduce or eliminate the potentially significant environmental impacts described herein. The scope of the SEIR evaluates the proposed project's effects on the following resource topics: air quality, cultural resources, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, transportation/traffic, and tribal cultural resources.
6. The City prepared a draft SEIR and published the Notice of Availability (NOA) in the Orange County Register as well as posted the NOA at the Orange County Clerk's Office on June 12, 2018. The City circulated the draft SEIR for a 45-day public review between June 12, 2018 and July 27, 2018. The draft SEIR was available for public review at the Santa Ana City Hall, the City of Santa Ana Main Library, and on the City's website.
7. During the 45-day public review period, the City held a regularly scheduled public hearing with the Planning Commission on July 23, 2018, to receive comments regarding the draft SEIR.
8. The City received a total of \_\_\_\_ written comment letters during the public review period and evaluated all comments received from the persons or agencies that reviewed the draft SEIR. Pursuant to Section 15088 of the State CEQA Guidelines, the City, as the lead agency for the project, has reviewed all comments received on the



document. The City provided written responses to all agencies and members of the public commenting on the draft SEIR at least 10 days prior to the City Council hearing.

9. The City has prepared a Final SEIR, consisting of comments and recommendations received during the 45-day public review and comment period, written responses to those comments, and revisions and clarifications to the draft SEIR in response to those comments. For the purposes of this Resolution, the SEIR shall refer to the draft SEIR, including all of the technical studies and appendices to the draft SEIR, as revised by the Final SEIR's revisions, together with the other sections of the Final SEIR, including all of the technical studies, attachments, and appendices to the Final SEIR.
10. Findings of Fact with respect to environmental impacts, including environmental impacts identified in the Final SEIR as potentially significant, but which the City finds can be substantially lessened through the imposition of feasible mitigation measures identified in the Final SEIR, are described in Exhibit A attached hereto and incorporated herein by this reference.
11. As a result of the environmental analysis in the SEIR, one significant impact was found from the construction of the proposed project that pertains to loss of an eligible historic resource. Accordingly, the City has also prepared a Statement of Overriding Considerations in compliance with Public Resources Code Sections 21081 and CEQA Guidelines Section 15093, which finds that specific economic, legal, social, technological, or other benefits of the proposed project outweigh the significant and unavoidable impacts identified in the EIR, as described in Exhibit B attached hereto and incorporated herein by this reference.
12. Mitigation measures have been provided to address potential environmental impacts, with a list of these mitigation measures found within the attached Mitigation Monitoring and Reporting Program (MMRP) attached hereto as Exhibit C and incorporated herein by this reference. Mitigation measures have been outlined to address potential impacts stemming from adoption of the original MEMU EIR and the 2018 MEMU expansion and amendments project's SEIR.

13. All the requirements of CEQA and the State CEQA Guidelines have been satisfied by the City in the Final SEIR, which is sufficiently detailed so that all of the potentially significant environmental effects of the proposed project have been adequately evaluated.
  14. The Final SEIR prepared in connection with the proposed project sufficiently analyzes both the feasible Mitigation Measures necessary to avoid or substantially lessen the proposed project's potential environmental impacts and a range of feasible alternatives capable of eliminating or reducing these effects in accordance with CEQA and the State CEQA guidelines.
  15. All of the findings and conclusions made by the City Council pursuant to this Resolution are based upon the oral and written evidence presented to the City Council as a whole and not based solely on the information provided in this Resolution.
  16. Prior to taking action, the City Council has heard, been presented with, reviewed and considered all of the information and data in the administrative record, including the Final SEIR, and all oral and written evidence presented to it during all meetings and hearings, all of which is incorporated herein by this reference.
  17. The City has not received any comments or additional information that produced substantially new information requiring recirculation or additional environmental review under Public Resources Code sections 21166 and 21092.1 and State CEQA Guidelines section 15088.5.
- E. General Plan Amendment No. 2018-03 has been filed to amend the General Plan to change the land use designation of certain parcels located in the existing Metro East Mixed Use (MEMU) Overlay Zone (OZ-1) and in the proposed MEMU expansion area to be consistent with the current land uses and proposed zoning designations in the MEMU project area. The amendments will designate properties located in both the existing MEMU area and in the MEMU expansion area as Urban Neighborhood (UN) or District Center (DC) as shown on Exhibit D.
1. Currently, the land use designations of the properties are inconsistent with the proposed OZ-1 designation. This project will require amendments to the Land Use and Urban Design elements of the General Plan to designate parcels in the MEMU expansion area

either UN or DC, and parcels within the existing MEMU area either UN or DC, to match current or anticipated land uses.

2. The proposed project will be consistent with several goals and policies of the 2014 Housing Element. First, the project is consistent with Goal 2, which encourages diversity of quality housing, affordability levels, and living experiences that accommodate Santa Ana's residents and workforce of all household types, income levels, and age groups to foster an inclusive community. Second, the project supports Goal 4 to provide adequate rental and ownership housing opportunities and supportive services. Further, the project is consistent with Policy HE-2.2 to create District Centers with high intensity, mixed-use urban villages and pedestrian-oriented experiences; and Policy HE-2.4 to facilitate diverse types, prices, and sizes of housing. The MEMU expansion and amendments project will result in an overall increase in land available for residential development and will not impact the inventory of housing opportunity sites needed to achieve City's 2014-2021 RHNA allocation.
3. The City Council has weighed and balanced the General Plan's policies, both old and new, and has determined that based upon this balancing that General Plan Amendment No. 2018-03 is consistent with the purpose of the General Plan.

Section 2. Certification. The City hereby certifies that (1) the SEIR has been prepared, processed, and noticed in accordance with CEQA and the State CEQA Guidelines; (2) the SEIR was presented to the City Council and the City Council has reviewed and considered the information contained in the SEIR prior to considering adoption of the project, and (3) the SEIR reflects the independent judgment and analysis of the City Council and is deemed adequate for the purposes of making decisions on the merits of the Project.

Section 3. CEQA Findings. The City hereby adopts the CEQA Findings, which were prepared in accordance with Public Resources Code section 15091 and which are attached hereto as Exhibit A and incorporated herein by this reference as if fully set forth herein.

Section 4. Statement of Overriding Considerations. The City hereby adopts the Statement of Overriding Considerations made in connection with the approval of the Project pursuant to CEQA Guidelines Section 15091, which is attached hereto as Exhibit B and incorporated herein by this reference as if fully set forth herein.

Section 5. Mitigation Monitoring Program. Pursuant to Public Resources Code section 21081.6, the City Council hereby adopts the Mitigation Monitoring

Program attached hereto as Exhibit C and incorporated herein by this reference. The City finds that the Mitigation Monitoring Program is designed to ensure that, during the implementation of the Project, the City and any other responsible parties implement the components of the Project and comply with the mitigation measures identified in the Mitigation Monitoring Program.

Section 6. Wildlife Resources. Pursuant to Title XIV, California Code of Regulations (CCR) § 735.5(c)(1), the City Council has determined that, after considering the record as a whole, there is no evidence that the proposed Project will have the potential for any adverse effect on wildlife resources or the ecological habitat upon which wildlife resources depend. The proposed Project exists in an urban environment characterized by paved concrete, roadways, surrounding buildings and human activity. However, pursuant to Fish and Game Code § 711.2 and Title XIV, CCR § 735.5, the payment of Fish and Game Department filing fees in conjunction with this project is at the discretion of the State of California Department of Fish and Wildlife.

Section 7. Approvals. Based on the entire record before the City Council, all written and oral evidence presented, the CEQA Findings, the Statement of Overriding Considerations, and the Mitigation Monitoring Program, all attached and incorporated herein as Exhibit A, Exhibit B, and Exhibit C to this Resolution, the City Council of the City of Santa Ana hereby:

- A. Adopts the CEQA findings, adopts the Statement of Overriding Considerations, and certifies Final Subsequent Environmental Impact Report No. 2018-15, and approves the Mitigation Monitoring Program for the MEMU Overlay Zone Expansion and Elan projects;
- B. Approves General Plan Amendment No. 2018-03; and,

These decisions are based upon the evidence submitted at the above said hearing, which includes, but is not limited to: the Request for Council Action dated August 21, 2018, and exhibits attached thereto; and the public testimony, written and oral, all of which are incorporated herein by this reference.

Section 8. Indemnification. The Applicant agrees to indemnify, hold harmless, and defend the City of Santa Ana, its officials, officers, agents, and employees, from any and all liability, claims, actions or proceedings that may be brought arising out of its approval of this project, and any approvals associated with the project, including, without limitation, any CEQA review or approval, except to the extent caused by the sole negligence of the City of Santa Ana.

Section 9. Ordinances. This Resolution shall not be effective unless and until Ordinance No. NS-\_\_\_\_\_ (AA No. 2018-06 and ZOA No. 2018-03) and Ordinance No. NS-\_\_\_\_\_ become effective. If said ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, or otherwise does not go into effect for any reason, then this resolution shall be null and void and have no further force and effect.



Section 10. Judicial Review. These decisions rendered by the City Council of the City of Santa Ana are final and are subject to judicial review pursuant to California Code of Civil Procedure section 1094.6. The Planning and Building Agency shall give direct notice to the Applicant of the City Council's decisions and these findings.

Section 11. Location of Documents and Custodian of Records. The documents and materials that constitute the record of proceedings on which the CEQA Findings in Exhibit A of this Resolution have been based are located at 20 Civic Center Plaza, Santa Ana. The custodian for these records is the Santa Ana Clerk of the Council. This information is provided in compliance with Public Resources Code section 21081.6.

Section 12. Notice of Determination. The City Council hereby directs staff to file a Notice of Determination with the County of Orange within five (5) working days of final Project approval.

ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Miguel A. Pulido  
Mayor

APPROVED AS TO FORM:  
Sonia R. Carvalho, City Attorney

By: \_\_\_\_\_  
Lisa Storck  
Assistant City Attorney

AYES: Councilmembers \_\_\_\_\_  
NOES: Councilmembers \_\_\_\_\_  
ABSTAIN: Councilmembers \_\_\_\_\_  
NOT PRESENT: Councilmembers \_\_\_\_\_

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, MARIA D. HUIZAR, Clerk of the Council, do hereby attest to and certify the attached Resolution No. 2018-xx to be the original resolution adopted by the City Council of the City of Santa Ana on \_\_\_\_\_, 2018.

Date: \_\_\_\_\_

\_\_\_\_\_  
Clerk of the Council  
City of Santa Ana

ORDINANCE NO. NS-XXXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTA ANA APPROVING AMENDMENT APPLICATION NO. 2018-06 REZONING VARIOUS PROPERTIES LOCATED ALONG THE FIRST STREET CORRIDOR AND ZONING ORDINANCE AMENDMENT NO. 2018-03 AMENDING THE METRO EAST MIXED USE OVERLAY ZONE (OZ-1)

THE CITY COUNCIL OF THE CITY OF SANTA ANA DOES ORDAIN AS FOLLOWS:

Section 1. The City Council of the City of Santa Ana hereby finds, determines and declares as follows:

- A. In 2007, the City Council approved and adopted the Metro East Mixed Use (MEMU) Overlay Zone (OZ-1). The MEMU was intended to provide the framework for future redevelopment of a 200-acre section of the City along First and Fourth streets between the Santa Ana (I-5) and Costa Mesa (SR-55) freeways.
- B. Since 2007, one development project has been constructed and three others entitled that are consistent with the goals and objectives of the MEMU. However, changes to the development market following the recession have resulted in the need to modify the MEMU in order to continue to further the goals of the plan while implementing a regulatory framework that protects the health, safety, and welfare of the City.
- C. Amendment Application No. 2018-06 has been filed by the City of Santa Ana to apply the OZ-1 designation to approximately 52 parcels located along First Street between Grand Avenue and the Santa Ana (I-5) Freeway and along Lyon Street and Elk Lane between First Street and Chestnut Avenue (Exhibit A).
- D. The OZ-1 designation of the various parcels as shown on Exhibit A will allow additional development opportunities of these parcels into mixed-use developments, thereby being consistent with the goals and objectives of the MEMU.
- E. Zoning Ordinance Amendment No. 2018-03 will amend the existing MEMU, a copy which is available at the Planning Division Public Counter and Main Public Library, or viewed on the City's MEMU webpage. The amendments will create greater consistency among the MEMU and other form-based codes that have been adopted since 2007, including the Transit Zoning Code and Harbor Mixed-Use Transit Corridor Specific Plan (Exhibit B).

- F. On July 23, 2018, the Planning Commission held a duly noticed public hearing and voted to recommend that the City Council adopt an ordinance approving Amendment Application No. 2018-06. This action will be consistent with the General Plan, as amended by General Plan Amendment No. 2018-03, and Zoning Ordinance Amendment No. 2018-03 to amend the MEMU.
- G. The City Council, prior to taking action on this ordinance, held a duly noticed public hearing on August 21, 2018.
- H. The City Council also adopts as findings all facts presented in the Request for Council Action dated August 21, 2018 accompanying this matter.
- I. For these reasons, and each of them, Amendment Application No. 2018-06 and Zoning Ordinance Amendment No. 2018-03 is hereby found and determined to be consistent with the intent and purpose of Chapter 41 of the Santa Ana Municipal Code, thus changing the zoning districts is found to be consistent with the General Plan of the City of Santa Ana and otherwise justified by the public necessity, convenience, and general welfare.

Section 2. The City Council has reviewed and considered the information contained in the previously-approved Environmental Impact Report and the Subsequent Environmental Impact Report for the Metro East Mixed Use Overlay Zone (SCH No. 2006031041) prepared with respect to this project. The City Council has, as a result of its consideration of the record as a whole and the evidence presented at the hearings on this matter, determined that, as required pursuant to the California Environmental Quality Act (CEQA) and the State CEQA Guidelines, the proposed Subsequent Environmental Impact Report for the Metro East Mixed Use Overlay Zone meets all of the requirements of CEQA.

Section 3. This ordinance shall not be effective unless and until Resolution No. 2018-\_\_\_\_\_ (Subsequent Environmental Impact Report No. 2018-05 and General Plan Amendment No. 2018-03) are adopted and become effective. If said resolution and ordinance are for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, or otherwise does not go into effect for any reason, then this ordinance shall be null and void and have no further force and effect.

Section 4. If any section, subsection, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance. The City Council of the City of Santa Ana hereby declares that it would have adopted this ordinance and each section, subsection, sentence, clause, phrase or portion thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses, or portions be declared invalid or unconstitutional.



ADOPTED this 21<sup>st</sup> day of August, 2018

\_\_\_\_\_  
Miguel A. Pulido  
Mayor

APPROVED AS TO FORM:  
Sonia R. Carvalho  
City Attorney

By: \_\_\_\_\_  
Lisa Storck  
Assistant City Attorney

AYES: Councilmembers \_\_\_\_\_

NOES: Councilmembers \_\_\_\_\_

ABSTAIN: Councilmembers \_\_\_\_\_

NOT PRESENT: Councilmembers \_\_\_\_\_

#### CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, MARIA D. HUIZAR, Clerk of the Council, do hereby attest to and certify the attached Ordinance No. NS-XXXX to be the original ordinance adopted by the City Council of the City of Santa Ana on \_\_\_\_\_, 2018, and that said ordinance was published in accordance with the Charter of the City of Santa Ana.

Date: \_\_\_\_\_

\_\_\_\_\_  
Clerk of the Council  
City of Santa Ana

Ordinance No. NS-XXXX

# City of Santa Ana General Plan Land Use Element 1998

## City of Santa Ana Planning Division



Adopted

February 2, 1998

(Reformatted January 2010)

The following is a chronology of the approved general plan amendments that have been incorporated into this document since the comprehensive update of the General Plan Land Use Element adopted by the Santa Ana City Council February 2, 1998 (GPA 1997-05):

GPA 2018-01 (pending)  
GPA 2018-02 (May 15, 2018)  
GPA 2015-01 (May 15, 2018)  
GPA 2017-02 (December 19, 2017)  
GPA 2017-01 (June 20, 2017)  
GPA 2016-03 (February 21, 2017)  
GPA 2016-02 (May 17, 2016)  
GPA 2016-01 (April 19, 2016)  
GPA 2015-03 (February 2, 2016)  
GPA 2014-02 (October 21, 2014)  
GPA 2014-01 (June 3, 2014)

GPA 2011-03 (March 19, 2012)  
GPA 2011-02 (June 6, 2011)  
GPA 2010-01 (June 7, 2010)  
GPA 2008-02 (July 20, 2009)  
GPA 2007-03 (May 18, 2009)  
GPA 2008-01 (May 5, 2008)  
GPA 2004-03 (February 2, 2009)  
GPA 2007-02 (June 18, 2007)  
GPA 2007-01 (March 19, 2007)  
GPA 2006-01 (October 2, 2006)  
GPA 2005-01 (December 5, 2005)

GPA 2005-02 (October 17, 2005)  
GPA 2004-01 (April 5, 2005, as passed by the voters of Santa Ana)  
GPA 2004-04 (July 19, 2004)  
GPA 2004-06 (July 6, 2004)  
GPA 2003-02 (June 16, 2003)  
GPA 2003-01 (February 18, 2003)  
GPA 2002-01 (September 3, 2002)  
GPA 2002-03 (August 19, 2002)  
GPA 2001-03 (February 19, 2002)

GPA 2001-02 (January 7, 2002)  
GPA 2000-09 (May 7, 2001)  
GPA 2000-08 (February 5, 2001)  
GPA 2000-03 (December 4, 2000)  
GPA 2000-02 (November 20, 2000)  
GPA 1999-02 (October 18, 1999)  
GPA 1999-01 (August 16, 1999)  
GPA 1998-04 (October 5, 1998)  
GPA 1998-05 (September 21, 1998)  
GPA 1998-01 (May 4, 1998)

## EXHIBIT 3

areas. To encourage a dynamic mixture of residential, office and commercial uses, within these areas both building intensity and residential density is based on floor area ratio and zoning development standards. In calculating either the allowable floor area or the allowable residential density, it is the City's policy to not allow upward rounding. The Land Use Plan is illustrated in Exhibit 2. Additional information concerning the Land Use Plan and the land use designations is provided in Table 1 (Land Use Development Intensity Standards), and in the Appendix.

**Table 1**  
**Development Intensity Standards**

<i>Land Use Designation</i>	<i>Density/Intensity Standards (du/acre - FAR)<sup>1</sup></i>
<b>Residential Land Use Designations</b>	
Low Density Residential (LR-7)	7 du/acre
Low-Medium Density Residential (LMR-11)	11 du/acre
Medium Density Residential (MR-15)	15 du/acre
<b>Mixed Use Land Use Designations</b>	
District Center <sup>2</sup> (DC)	
Other District Center (Midtown, MacArthur Place, etc.)	90 du/acre and FAR 1.0-2.0
Heritage District Center	FAR 1.7
Downtown District Center	FAR 3.0
Metro East District Center	FAR 3.0
Transit Village District Center	FAR 5.0
Harbor Corridor District Center	FAR 5.0
Urban Neighborhood	
Transit Zoning Code Area/ First, Fifth & 17 <sup>th</sup> Street Corridor	FAR 0.5-1.5
Harbor Corridor	FAR 3.0
<u>Metro East</u>	<u>FAR 0.75-1.5</u>
<b>Commercial Land Use Designations<sup>3</sup></b>	
Professional and Administrative Office (PAO)	FAR 0.5-1.0
General Commercial (GC)	FAR 0.5-1.0
One Broadway Plaza District Center (OBPDC) <sup>4</sup>	FAR 2.9
<b>Industrial Land Use Designations</b>	
Industrial (IND)	FAR 0.45
<b>Other Land use Designations</b>	
Institutional (INS)	FAR 0.5
Open Space (O)	FAR 0.2

**Notes:**

<sup>1</sup> The intensity standards shown refer to the theoretical maximum amount of development permitted for each land use designation (du-dwelling units; FAR-floor area ratio). Development must also adhere to zoning regulations, and/or specific plan requirements.

<sup>2</sup> The District Center and Urban Neighborhood land use designations permit both residential and non-residential development.

<sup>3</sup> Commercial intensities may vary. Baseline FAR is 0.5. Specific areas allowing greater intensities are indicated in Exhibit A-3.

<sup>4</sup> One Broadway Plaza District Center land use designation permits office, restaurant and ancillary retail for a master planned development.

\*Refer to Appendix for description of Land Use designations.





## LAND USE PLAN IMPLEMENTATION

To effectively achieve the broad range of goals outlined for the City's future growth and development, a variety of plans, programs, and regulations must be relied upon. This section of the Element discusses these tools, and how they correlate with implementation of the City's land use goals.

### DEVELOPMENT INTENSITY STANDARDS

Table A-1 summarizes the development intensity standard for each of the General Plan designations, and provides land use distribution by acreage for the land use. The intensity standards for the categories permitting residential development are expressed in density, measured in "units per acre," or floor area ratio and zoning development standards in the case of certain Mixed Use land use designations. The intensity standards for non-residential development are expressed as "floor area ratio" or FAR. The FAR concept is illustrated in Exhibit A-3. The intensity standards in concert with the zoning and development standards regulate the massing, form and building size.

**Table A-1**  
**Development Intensity Standards**

<i>Land Use</i>	<i>Density/Intensity Standards</i>
<b>Residential Land Use Designations</b>	
Low Density	7 du/acre
Low-Medium Density	11 du/acre
Medium Density	15 du/acre
<b>Mixed Use Land Use Designations</b>	
District Center	
Other District Centers (Midtown, etc.)	90 du/acre and FAR 1.0-2.0
Heritage District Center	FAR 1.7
Downtown District Center	FAR 3.0
Metro East District Center	FAR 3.0
Transit Village District Center	FAR 5.0
Harbor Corridor District Center	FAR 5.0
Urban Neighborhood	
Transit Zoning Code Area/ First, Fifth & 17 <sup>th</sup> Street Corridor	FAR 0.5-1.5
Harbor Corridor	FAR 3.0
<u>Metro East</u>	<u>FAR 0.75-1.5</u>
<b>Commercial Land Use Designations</b>	
Professional/Admin. Office	FAR 0.5-1.0
General Commercial	FAR 0.5-1.0
One Broadway Plaza District Center*	FAR 2.9
<b>Industrial Land Use Designations</b>	
Industrial	FAR 0.45
<b>Other Land Use Designations</b>	
Institutional	FAR 0.5
Open Space	FAR 0.2

Notes:

du - dwelling unit, FAR - floor area ratio

\* Residential development is not a permitted use.



The City established development intensity standards in 1988, for nonresidential land use designations. The standards measure intensity through the use of floor area ratios. The floor area ratios proposed for the City's major commercial corridors are expected to remain in place over the life of the Land Use Element.

Those areas of the City proposed for the most intensive levels of development include district centers, professional and administrative office districts, and several other commercial centers with a unique character, or special development concerns. Some of these areas correspond to those for which Specific Plans have been prepared.

The proposed floor area ratio(s) for most of the City's commercial corridors allows structures of two to three stories with surface parking. The major development areas-the District Centers and Professional/Administrative Office Districts along Tustin Avenue and East First Street-allow mid-rise and high-rise buildings with structured parking. These areas are expected to generate the highest level of development activity in the City as centers of commerce. These areas are listed in Table A-2 and are shown in Exhibit A-4. The floor area ratios indicated in Table A-2 are the maximum building intensity allowed for development.

**Table A-2 Key Area- Floor Area Ratios**

<i>Area</i>	<i>Project/Area</i>	<i>FAR</i>
1	MainPlace	2.1
2	City Place	2.54
3	North Main Street	1.5
4	North Broadway	1.0
5	Museum District	1.5
6	Hutton Development	1.0
7	Civic Center Specific Development Plan	1.0
8	Midtown Specific Plan	0.5-1.0
9	Civic Center	1.0
10	Downtown	3.0
11	Orange County Register	1.15
<del>12</del>	<del>Xerox Center Development</del>	<del>3.29</del>
<del>12</del> 3	First Street/Tustin Avenue	1.0
<del>13</del> 4	Bentall Center Development	1.5
<del>14</del> 5	2720 Hotel Terrace Drive	1.0
<del>15</del> 6	1951 East Carnegie Avenue	0.55
<del>16</del> 7	4040 West Carriage Avenue	0.47
<del>17</del> 8	Lake Center Development	0.72
<del>18</del> 9	South Coast Metro	1.0
<del>19</del> 20	MacArthur Place North	2.0
<del>20</del> 21	MacArthur Place South	1.0
<del>21</del> 22	Pac Tel Office	1.5
<del>22</del> 23	Metro East	3.0
<del>23</del> 24	Transit Village	5.0
<del>24</del> 25	Town & Country Manor	1.27
<del>25</del> 26	Harbor Mixed Use Transit Corridor	5.0
<del>26</del> 27	Heritage	1.7



## Residential

The Land Use Plan provides for three distinct residential land use designations. Residential development is also permitted in two other designations: District Center and Urban Neighborhood. The Santa Ana Land Use Plan includes the following residential land use designations:

- The **Low Density Residential (LR-7)** designation applies to those areas of the City which are developed with lower density residential land uses. The allowable maximum development intensity is 7 units per acre. Development in this category is characterized primarily by single-family homes. This designation applies to a large proportion of the City (~~6,456.96~~6,454.6-acres) representing 47 percent of the City's total land area.
- The **Low-Medium Density Residential (LMR-11)** designation applies to those sections of the City which are developed with residential uses at permitted densities of up to 11 units per acre. The land area included in this designation is approximately 420.6 acres. The great majority of the land designated as Low-Medium Density Residential is located in the westerly portion of the City, north and south of First Street. Properties with this designation are typically characterized by mobile home parks, a mixture of duplexes and single family residences, or small lot subdivisions.
- The **Medium Density Residential (MR-15)** designation applies to those sections of the City which are developed with residential uses at densities of up to 15 units per acre. Development in this designation is characterized by duplexes, apartments, or a combination of both. A total of ~~370.1~~362.3 acres is designated as Medium Density Residential. The designation applies to areas located in the vicinity of downtown, areas north and south of MacArthur Boulevard, and in other areas where there are established multiple-family development projects.



## Commercial

The Land Use Plan identifies three land use designations that encourage a variety of office, retail and commercial enterprises to serve the community.

- The **Professional/Administrative Office (PAO)** designation applies to those areas where professional and/or administrative offices are predominant, or where such development is being encouraged. Land included in this designation is found primarily near the Civic Center, and along the First Street and Tustin Avenue Corridors in close proximity to freeways. There are other smaller PAO areas in the City such as along North Broadway and along portions of east and west Seventeenth Street. A total of ~~612.4~~600.8 acres is included in this land use designation. The floor area ratio intensity standard applicable to this land use designation ranges from 0.5 to 1.0.

The Professional and Administrative Office areas are intended to provide a unique environment for office development in those areas of the City where office uses are the predominant land use. The purpose for maintaining and supporting these areas exclusively for office and office-related uses is to encourage major employment centers at locations which significantly lessen the impact to the City's local street system. The First Street/Tustin Avenue office corridor between the Santa Ana (I-5) and Costa Mesa (SR-55) Freeways serves this purpose. In addition, the orderly, well-maintained quality of existing development supports a continuation of these areas as functional office/employment centers.

The Professional and Administrative Office designation includes a range of floor area ratios to differentiate development intensity and character in relation to adjacent land uses. The areas with a FAR of 0.5 are not major office centers, but rather have an established character of lower intensity garden office and professional service uses. These areas are typically adjacent to low density residential neighborhoods, or are converted residential office uses. Office development along East Fourth Street, between Grand Avenue and the Santa Ana Freeway, is typical of this low-rise office character. The PAO area located adjacent to the Civic Center contains a range of office development intensity which supports the City's functional role as the government center of the County.

The types of uses typically located in the PAO district include the following:

- Professional and administrative offices/office parks;
- Service activities such as copy centers, courier services, travel agencies, and restaurants when such uses are an integral component of a planned office development; and
- Professional uses such as accountants, attorneys, doctors, engineers, and insurance brokers.





- The **General Commercial (GC)** district applies to commercial corridors in Santa Ana including those located along Main Street, Seventeenth Street, Harbor Boulevard, and other major arterial roadways in the City. The intensity standard applicable to this designation is a floor area ratio of 0.5 -1.0, though most General Commercial districts have a FAR of 0.5. A total of ~~885.8~~ 855.3 acres of land is included in this designation.

General Commercial districts are key components in the economic development of the City. They provide highly visible and accessible commercial development along the City's arterial transportation corridors. In addition, General Commercial land uses provide important neighborhood facilities and services, including shopping, recreation, cultural and entertainment activities, employment, and education. The districts also provide support facilities and services for industrial areas including office and retail, restaurants and various other services.

The General Commercial development standards are based upon the character and intensity of development, as well as the degree of access and market demand for these properties. The relationships to adjacent land uses, are also considered. Uses typically located in this district are:

- Business and professional offices;
- Retail and service establishments;
- Recreational, cultural, and entertainment uses; and
- Vocational schools.

General Commercial Districts have a floor area ratio of 0.5 with the exception of the Mid-town area which has an floor area ratio of up to 1.0.

- One Broadway Plaza District Center is a separate land use designation as it has an F.A.R. of 2.9, which exceeds the typical District Center intensity limit. Additionally, it does not include a residential component. One Broadway Plaza is envisioned as a landmark professional office complex that will be a focal point in the Downtown Redevelopment area serving the Civic Center complex, Downtown, and Midtown urban areas. The City's District Centers and major development areas are shown in Exhibit A-5.



## Mixed Use

The Land Use Plan provides for two distinct mixed use land use designations. These designations allow for both vertical and horizontal mixed use developments, with an emphasis on linkages to a range of transportation options:

- The **District Center (DC)** land use designation includes the major activity areas in the City. Seven areas of the City, totaling ~~665.5~~681.1 acres, are designated as District Center. The intensity standard for the District Center designation ranges from a floor ratio of 1.0 to 5.0.

District Centers are designed to serve as anchors to the City's commercial corridors, and to accommodate major development activity. District Centers are to be developed with an urban character that includes a mixture of high-rise office, commercial, and residential uses which provide shopping, business, cultural, education, recreation, entertainment, and housing opportunities. Residential developments within some District Centers are allowed at a density of up to 90 units per acre when developed as an integral component of a master planned mixed use project. In Harbor Corridor, Metro East, Downtown, and Transit Village District Centers residential development intensity is based on a combination of floor area ratio and zoning overlay and/or development standards. Some District Centers serve as major retail and employment centers locally and regionally, and should include development which promotes the City as a regional activity center while creating an environment conducive to business on a regional scale. District Centers in Santa Ana include the following:

- The **Main Place/City Place District Center** includes a regional shopping center and office complex, as well as high intensity housing and mixed-use development.
- The **Museum District** located between the Downtown and MainPlace/City Place District Centers is proposed as a major office/cultural center which will be developed over the next 15 to 20 years. The area will focus upon the expanded Bowers Museum, the Discovery Science Center and the construction of additional museums and cultural centers.
- The **Downtown District** serves as one of the County's major employment and governmental operations centers complemented with a mix of residential, commercial, and services uses to enhance its urban vibrancy. Emphasis on streets that accommodate all modes of transportation, including mass transit, pedestrian and bicyclist is key in this urban setting.



The intensity standard for the Urban Neighborhood ranges from a floor area ratio of 0.5 to 3.0; with residential density based on a combination of floor area ratio and zoning development standards. A total of ~~279.1~~313.4 acres of land in the City are designated Urban Neighborhood.

### Industrial

The Industrial designation applies to those areas developed with manufacturing and industrial uses. The designation applies to areas which are predominantly industrial in character, and includes those industrial districts in the southwestern, south central and southeastern sections of the City. A total of 2,152.8 acres of land in the City is designated as Industrial. The maximum floor area ratio for this designation is 0.45.

The Industrial districts of the City are vital to its economic health. These areas provide employment opportunities for local residents, and generate municipal revenues for continued economic development. As one of the County's oldest cities, Santa Ana has long been an industrial center for the region. The City's goal is to maintain this strong industrial base by setting land use policies which preclude the intrusion of less intensive commercial or residential uses. Typical uses found in this district include the following:

- Light and heavy product manufacturing and assembly.
- Commercial uses which are ancillary to industrial uses in the district.

### Institutional

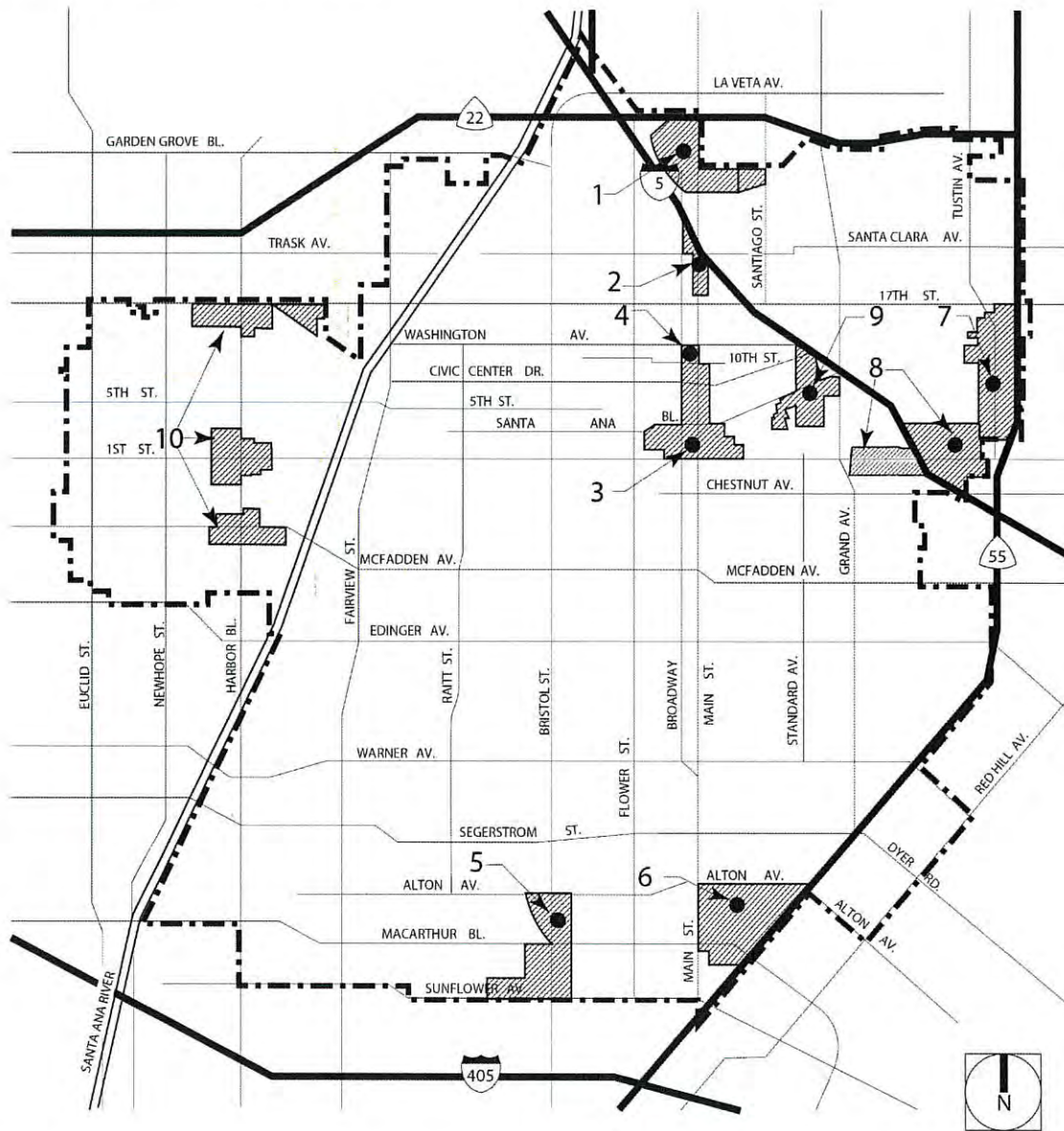
The Institutional designation includes the Civic Center, other governmental facilities, City facilities and public institutions such as schools, etc. Only public properties of approximately five acres or more are designated as Institutional. The maximum applicable floor area ratio standard for this designation is 0.5. The 0.5 FAR is used as a guideline since most development in this designation are State, federal, and local governmental facilities that are not subject to local development regulations. A total of 800.6 acres of land is included in this designation.

### Open Space

The Open Space designation is applied to parks, water channels, cemeteries and other open space uses. A total of 1,010.9 acres are included in this land use designation. Of this total, 358 acres of public park land is included in this land use designation.



Exhibit A-5 Major Development Areas



- |                        |                                |
|------------------------|--------------------------------|
| 1 - MainPlace          | 7 - Tustin Avenue Corridor     |
| 2 - Museum District    | 8 - Metro East                 |
| 3 - Downtown           | 9 - Transit Village            |
| 4 - One Broadway Plaza | 10 - Harbor Mixed-Use Corridor |
| 5 - Southcoast Metro   |                                |
| 6 - MacArthur Place    |                                |

--- City Limits

0 0.6 1.2 Miles

# City of Santa Ana General Plan Urban Design Element 1998

City of Santa Ana  
Planning Division



Adopted

**July 6, 1998**

(Reformatted January 2010)



Exhibit 4 City Form Map

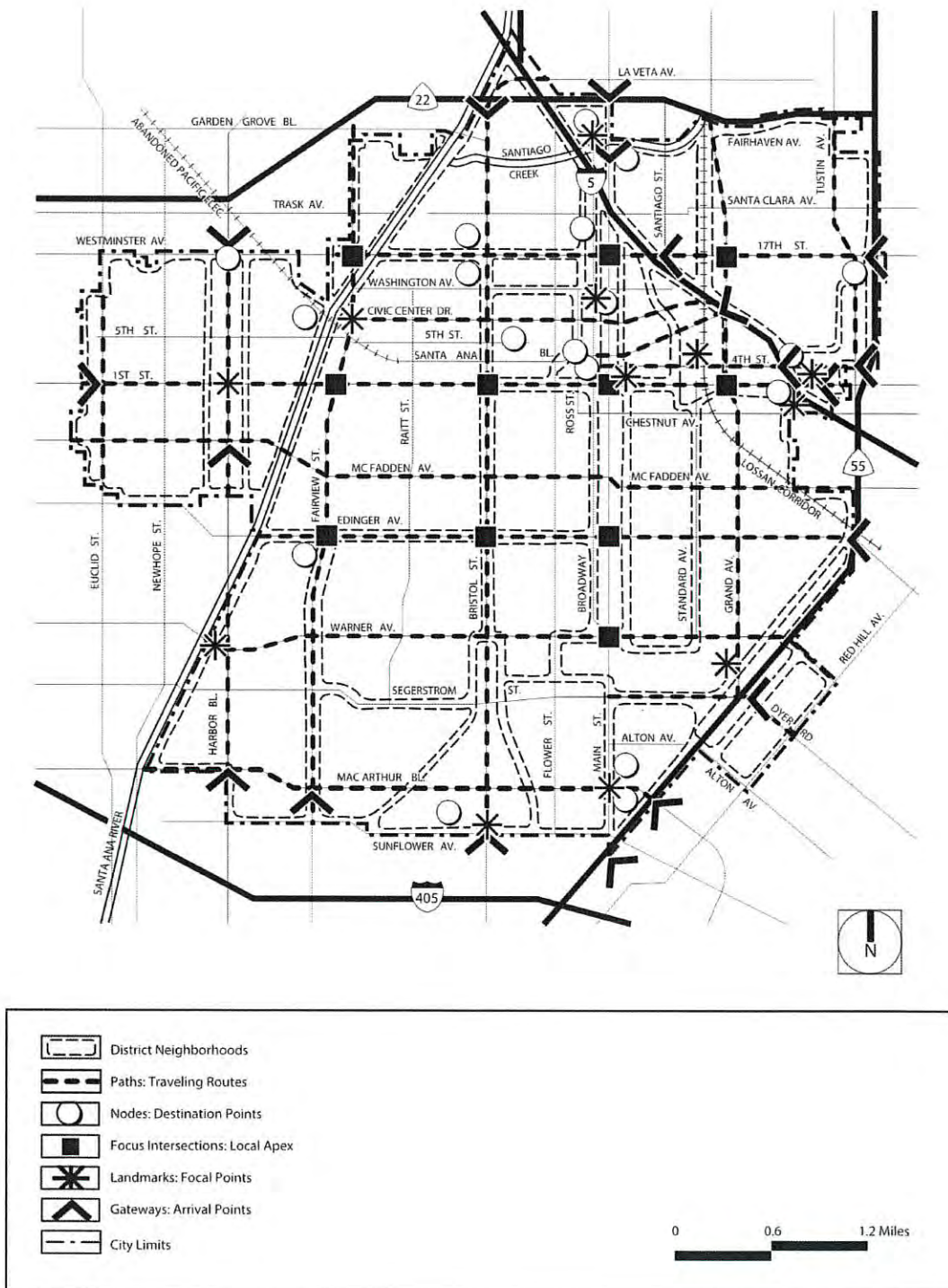




Exhibit 5 Districts

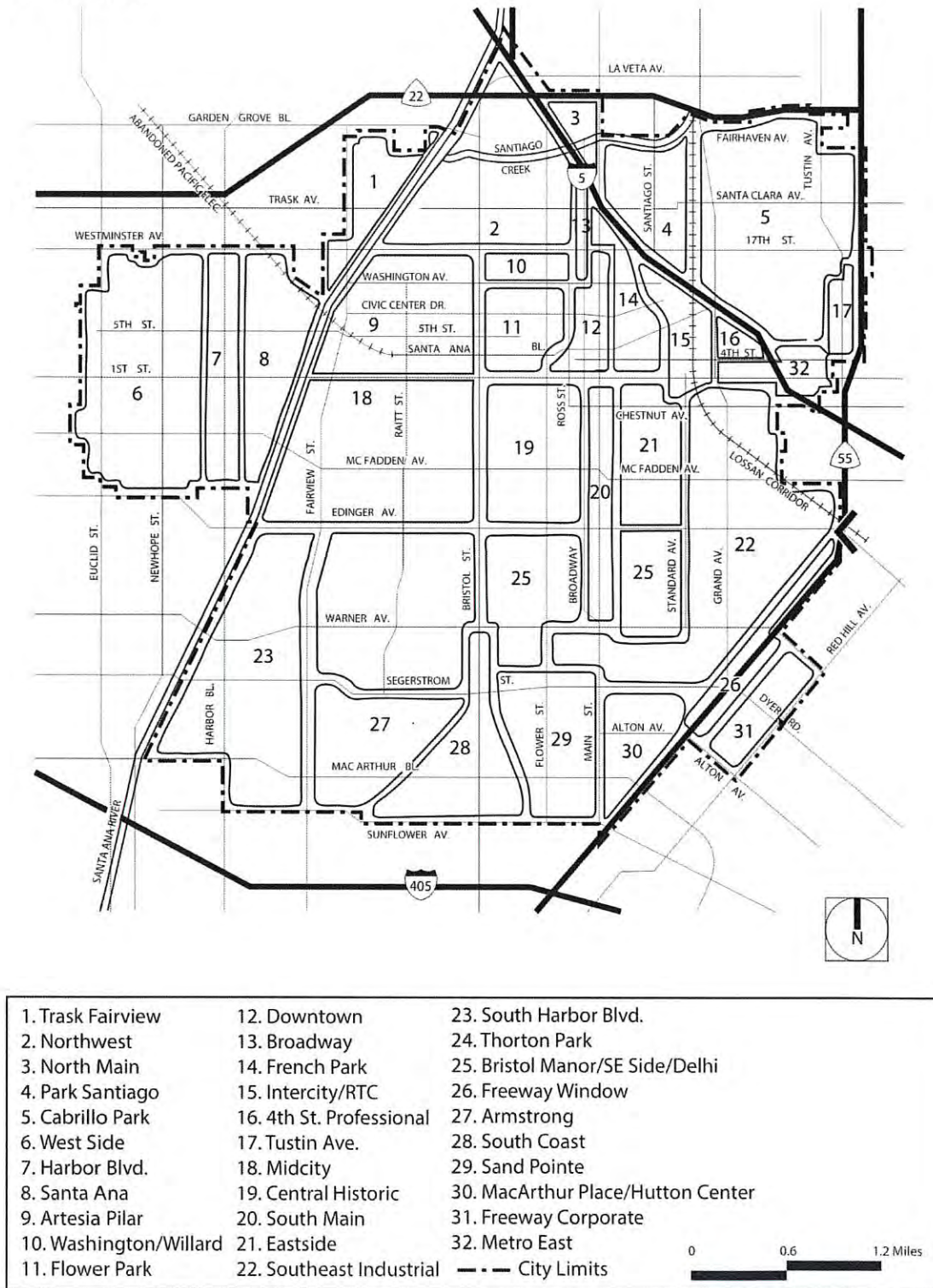
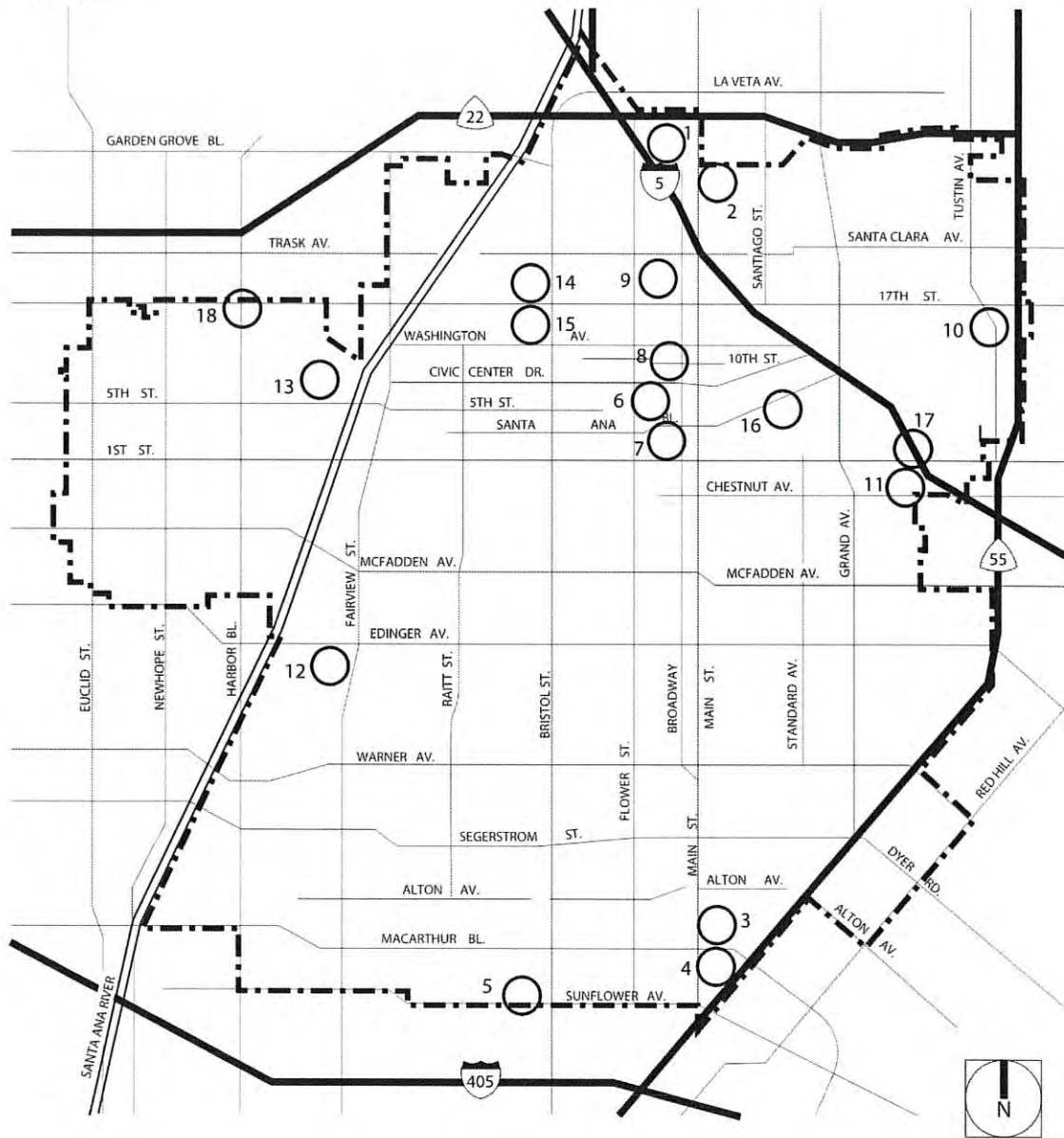


Exhibit 7 Nodes

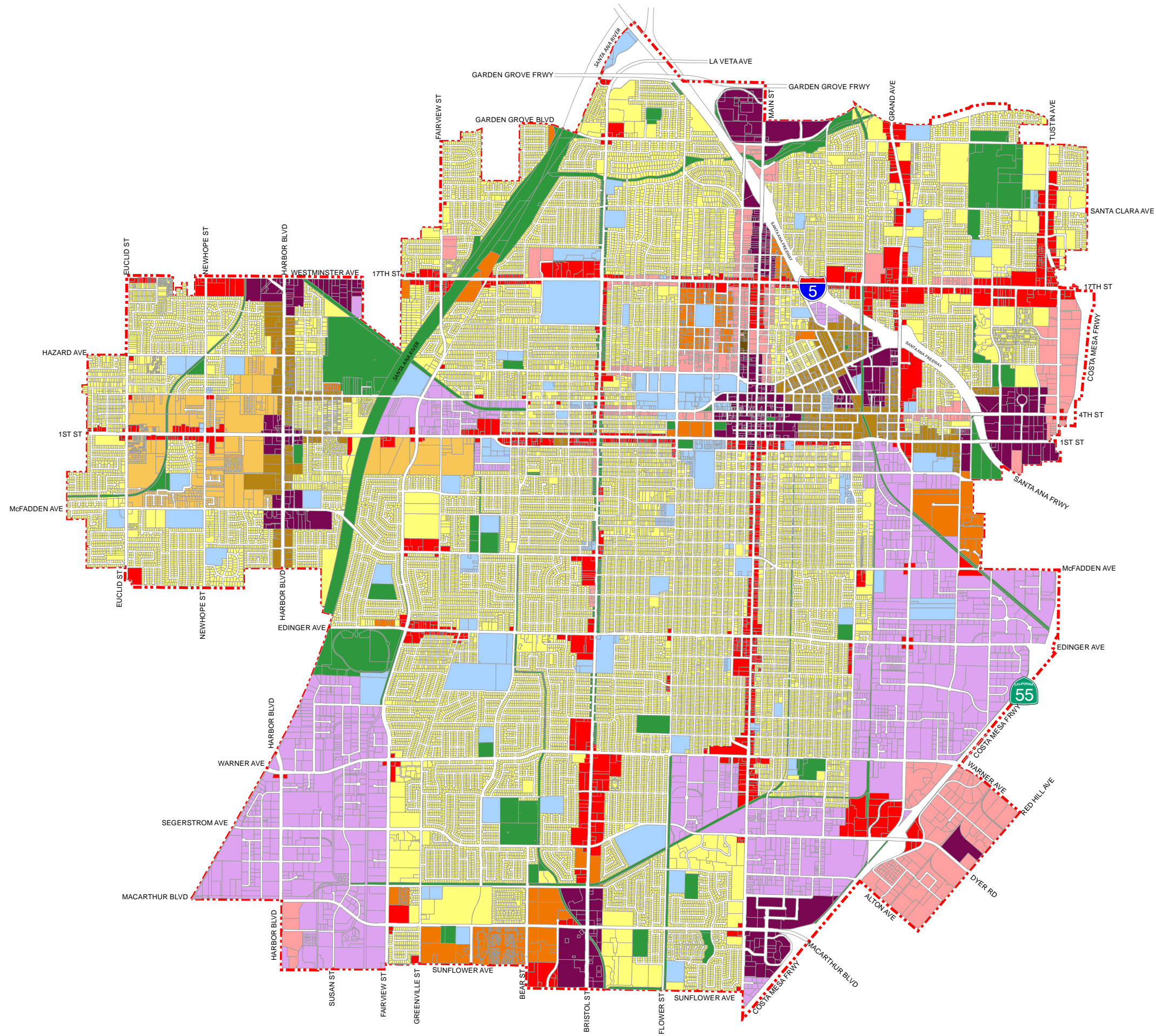
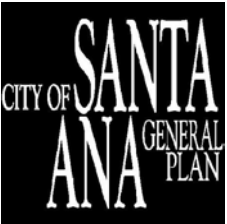


- |                                    |                                    |
|------------------------------------|------------------------------------|
| 1. Main Place Mall                 | 10. Tustin Ave., South of 17th St. |
| 2. Main St. Concourse              | 11. Santa Ana Zoo                  |
| 3. MacArthur Place                 | 12. Centennial Park                |
| 4. Hutton Center                   | 13. Willowick Golf Course          |
| 5. South Coast Bristol             | 14. Bristol Marketplace            |
| 6. Civic Center                    | 15. Rancho Santiago College        |
| 7. Downtown/4th St./Artist Village | 16. Regional Transportation Center |
| 8. One Broadway Plaza              | 17. Metro East                     |
| 9. Bowers Museum                   | 18. Harbor Corridor Plan           |

--- City Limits

0 0.6 1.2 Miles





Land Use Designations

- LR-7 (Low Density Residential)
- LMR-11 (Low-Medium Density Residential)
- MR-15 (Medium Density Residential)
- UN (Urban Neighborhood)
- GC (General Commercial)
- IND (Industrial)
- INS (Institutional)
- O (Open Space)
- DC (District Center)
- PAO (Professional & Administration Office)
- OBPDC (One Broadway Plaza District Ctr.)

Land Use Plan



Exhibit 2  
Pending  
Revised - February 2018



**Table A-4**  
**Land Use Plan Build-out Capacities**

Land Use		Acres	Intensity/ Density	Effective Buildout <sup>1</sup>		Theoretical Buildout	
Residential							
Low Density Residential	LR-7	6,456.9 6,454.6	7 du/ac			45,198 45,182 du	
Low Medium Density Residential	LMR-11	420.6	11 du/ac			4,627 du	
Medium Density Residential	MR-15	370.1 362.3	15 du/ac			- 5,435 6,551 du	
Subtotal		7,267.6 7,247.6 7,237.5			95,844 95,843 du <sup>1</sup>	55,624 55,376 55,243 du	
Mixed Use				Non Res.	Res.	Non-Res.	Res.
District Center							
Other <sup>2</sup>	DC	309.5	90 du /ac FAR 1.0-2.0	11,955,583 sf	3,017 du	23,764,534 sf	3,017 du
Heritage	DC	18.8	FAR 1.7	54,090 sf	1,221 du	54,090 sf	1,221 du
Downtown	DC	62.5	FAR 3.0	2,057,824 sf	1,661 du	2,057,824 sf	1,661 du
Metro East	DC	98.3 113.9	FAR 0.75- 3.0	3,245,185 sf 2,779,356 sf	5,551 du 5,037 du	3,245,185 sf 2,779,356 sf	5,551 du 5,037 du
Transit Village	DC	51.4	FAR 5.0	402,864 sf	2,761 du	402,864 sf	2,761 du
Harbor Corridor	DC	125.0	FAR 5.0	1,836,155 sf	2,029 du	1,836,155 sf	2,029 du
Urban Neighborhood	UN	276.9 313.4	FAR 0.5-3.0	876,546 sf 1,483,117 sf	5,016 du 5,529 du	876,546 sf 1,483,117 sf	5,016 du 5,529 du
Subtotal		994.5 944.6		20,568,989 sf 20,428,420 sf	21,255 du 21,256 du	32,020,458 sf 32,237,371 sf	21,255 du 21,256 du
Commercial							
Professional & Admin. Office	PAO	612.4 600.8	FAR 0.5-1.0	13,338,072 13,085,424 sf		26,676,144 26,170,848 sf	
General Commercial	GC	885.8 855.3	FAR 0.5-1.0	19,292,724 18,628,434 sf		38,585,448 37,256,868 sf	
One Broadway Plaza District Ctr <sup>3</sup>	OBPDC	4.3	FAR 2.9	543,193 sf		543,193 sf	
Subtotal		1,502.5 1,460.4		33,173,989 32,257,051 sf		65,804,785 63,970,909 sf	
Industrial							
Industrial	IND	2,152.8	FAR 0.45	42,199,991 sf		42,199,991 sf	
Other							
Institutional	INS	800.6	FAR 0.2-0.5	6,974,740 sf		17,436,850 sf	
Open Space	OS	1,010.9	FAR 0.2	8,806,961 sf		8,806,961 sf	
Subtotal		1,811.5		15,781,701 sf		26,243,811 sf	

FAR=floor area ratio; d.u.=dwelling unit; s.f.=square feet (of floor area). Acreage shown in table does not include roads in right-of-way.

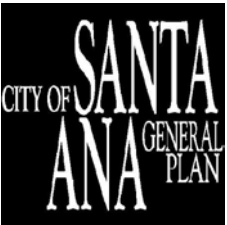
<sup>1</sup> Effective capacity for non-residential development assumes development possible under the lower range of FAR intensity standards with the exception of the Metro East District Center, Transit Village District Center, Downtown District Center, Heritage District Center, and Urban Neighborhood areas. The Harbor Corridor District Center, Metro East District Center, Transit Village District Center, Downtown District Center, and Urban Neighborhood areas allow a range of intensity for mixture of residential and non-residential development based on the zoning development standards. Residential effective capacity was calculated by adding the 21,255 21,256 units possible in the District Center and Urban Neighborhood with the existing 74,588 (Census 2000) housing units.

<sup>2</sup> Land use designation permits both residential and non-residential development. Build-out assumes 90% of land area will be developed as commercial and 10% will be developed as residential; with the exception of Town and Country Manor project intended for continuum of care and housing seniors.

<sup>3</sup> Land use designation permits high intensity office development with ancillary retail use.

This table has been revised to correspond with the GIS Land Use Map illustrated in Exhibit 2.





These land use designations have a floor area ratio as noted below unless otherwise indicated in the table below.

DC (District Center)	1.0
UN (Urban Neighborhood)	0.5 - 1.5
PAO (Professional & Administration Office)	0.5
OBPDC (One Broadway Plaza District Ctr.)	2.9
GC (General Commercial)	0.5
IND (Industrial)	0.45
INS (Institutional)	0.5
O (Open Space)	0.2

Project / Area	Floor Area Ratio
1- MainPlace.....	2.1
2- City Place.....	2.54
3- North Main St.....	1.5
4- North Broadway.....	1.0
5- Museum District.....	1.5
6- Hutton Development.....	1.0
7- Civic Center Specific Dev Plan.....	1.0
8- Midtown Specific Plan.....	0.5-1.0
9- Civic Center.....	1.0
10- Downtown.....	3.0
11- Orange County Register.....	1.15
12- First St / Tustin Ave.....	1.0
13- Bentall Center Dev.....	1.5
14- 2720 Hotel Terrace Dr.....	1.0
15- 1951 E Carnegie Ave.....	0.55
16- 4040 W Carriage Ave.....	0.47
17- Lake Center Dev.....	0.72
18- South Coast Metro.....	1.0
19- Mac Arthur Place.....	2.0
20- Mac Arthur Place South.....	1.0
21- Pac Tel Office.....	1.5
22- Metro East.....	3.0
23- Transit Village.....	5.0
24- Town and Country Manor.....	1.27
25- Harbor Mixed Use Specific Plan.....	0.5-5.0
26- The Heritage.....	1.7

LR-7 (Low Density Residential)
LMR-11 (Low-Medium Density Residential)
MR-15 (Medium Density Residential)

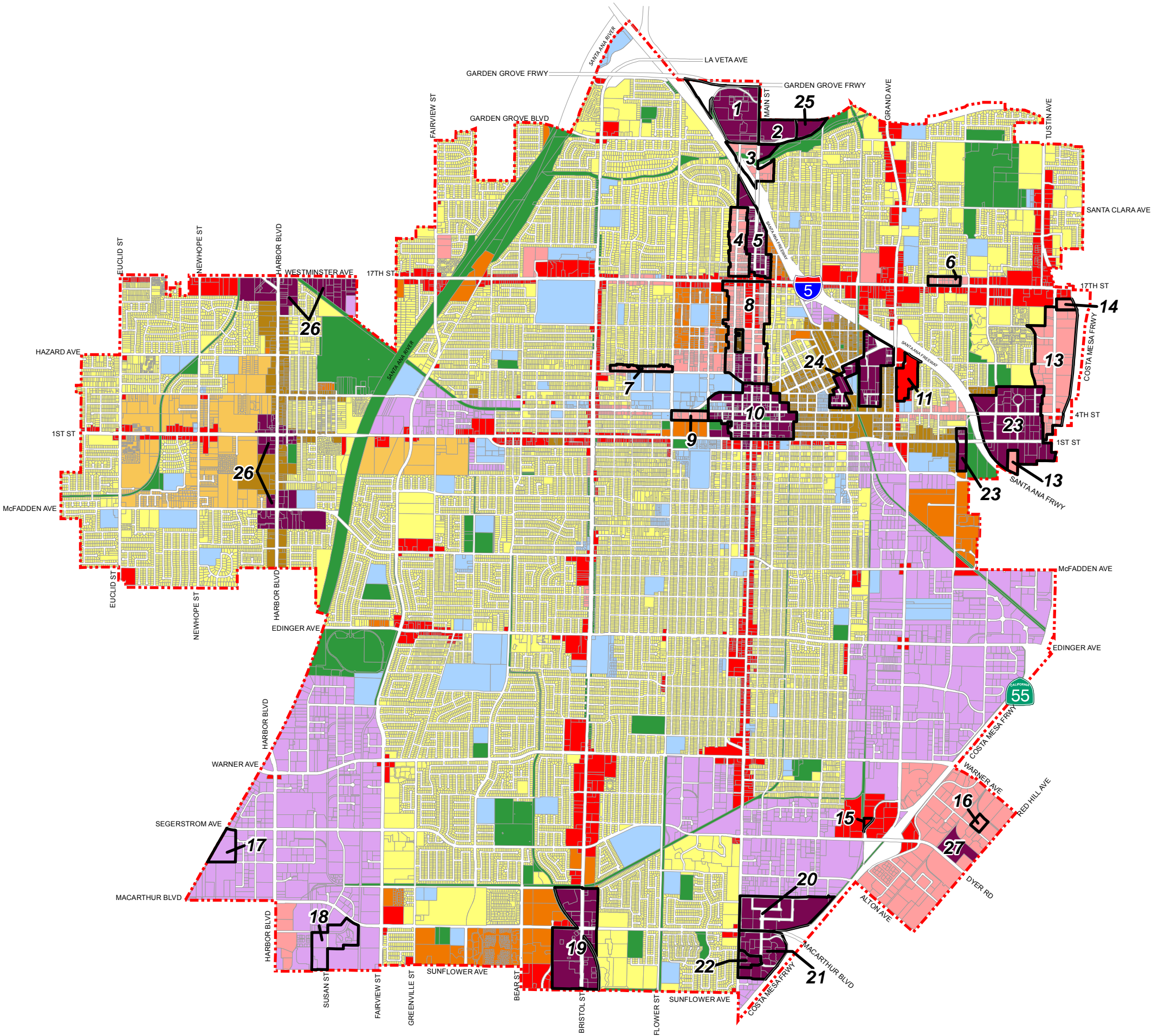
# Land Use Plan & Development Intensity Standards/ FAR Areas



Exhibit A-4

Revised - July 2018

Land Use Element







## ZONING DISTRICTS

A1	GENERAL AGRICULTURAL	CSM	SOUTH MAIN STREET COMMERCIAL DIST.	R2	TWO-FAMILY RESIDENCE	-B	PARKING MODIFICATION
C1	COMMUNITY COMMERCIAL	GC	GOVERNMENT CENTER	R3	MULTIPLE-FAMILY RESIDENCE	-OZ	OVERLAY ZONE
C1MD	COMMUNITY COMMERCIAL - MUSEUM DIST.	M1	LIGHT INDUSTRIAL	R4	SUBURBAN APARTMENT	-PRD	PLANNED RESIDENTIAL DEVELOPMENT
C2	GENERAL COMMERCIAL	M2	HEAVY INDUSTRIAL	RE	RESIDENTIAL ESTATE	-HD2	HEIGHT DISTRICT II
C4	PLANNED SHOPPING CENTER	O	OPEN SPACE	SD	SPECIFIC DEVELOPMENT		
C5	ARTERIAL COMMERCIAL	P	PROFESSIONAL	SP	SPECIFIC PLAN		
CR	COMMERCIAL RESIDENTIAL	R1	SINGLE-FAMILY RESIDENCE				



## SECTIONAL DISTRICT MAP: 17-5-9

CITY OF SANTA ANA, CALIFORNIA





# METRO EAST MIXED-USE OVERLAY ZONE

JULY 2018



**EXHIBIT 5**





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Metro East Public Realm Amenity Plan	
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# 1.0 Purpose and Objectives

## 1.1 PURPOSE

The purpose of the Metro East Mixed Use Overlay Zone, hereinafter referred to as the MEMU Overlay Zone, is to introduce development forms and uses that will provide for the creation of a high-intensity, mixed-use urban village within a previously developed mid-rise to high-rise office environment. This chapter establishes standards which will fulfill the following major objectives for this mixed-use urban village area.

## 1.2 OBJECTIVES



*Mixed-use urban village prototype*

The Metro East Mixed Use Overlay Zone is intended to create a unique urban environment that achieves the following objectives:

- Create an active, mixed-use urban village where it is possible to live, work, shop and play all within a short walk of each other.
- Facilitate well-designed new mixed-use development projects that combine residential and nonresidential uses through innovative and flexible design solutions.
- Achieve the harmonious integration of new mixed-use development within the existing fabric of the mid-rise and high-rise office environment and commercial land uses.
- Encourage urban form and architecture that incorporate contemporary design styles and solutions as well as the use of sustainable building and site design concepts such as green buildings, energy-conserving building materials, and landscaping designs that reduce water consumption.

- Create highly-amenitized streetscapes that provide items such as landscaping, street furniture, niche or linear parks, passive and active water features, public plazas and courtyards, public art, and public transportation shelters in a design that integrates the public realm with adjacent private development and serves to create a distinct identity for the district.



*Contemporary design solutions*

- Provide for an appropriate interface of land uses and development intensities relative to the Transit Zoning Code area, the Santa Ana (I-5) Freeway, and the Costa Mesa (SR-55) Freeways.
- Create a highly-integrated pedestrian system that provides for connectivity between the residential areas and public recreation amenities to the north and the MEMU Overlay Zone area.



*Active urban mixed-use*





*Street-facing retail*

- h. Provide for active street life through the inclusion of dedicated pedestrian-oriented design and active uses on the ground floor at strategic location.
- i. Provide for a mix of housing in order to encourage a continuum of living and a variety of household types.
- j. Ensure that each project includes exceptional site planning, unique architecture, high-quality building materials, extensive open space, indoor and outdoor amenities and first-rate public improvements.



*Ground-floor commercial space at strategic corner*

- k. Encourage parking solutions that provide for adequate parking to ensure the long-term quality of the project, but that are creative in their design thereby enhancing the area's urban form. Parking requirements are designed to create a level of scarcity that will discourage vehicle trips, increase pedestrian activity, and enhance the provision of high-quality building and site design.

- l. Facilitate project designs that encourage adequate amounts of retail or commercial space to service residents and/or employees within the development and the larger Metro East Overlay Zone area.
- m. Allow for the development of varied residential types in a mixed-use configuration including, but not limited to loft-style units, live/work units, attached row houses, and high-quality stacked flats.
- n. Provide adequate access for public safety services.
- o. Stimulate investment and reinvestment in the area through the provision of a comprehensive planning framework that facilitates private-market success.
- p. Provide for an alternative set of zoning regulations than is provided for by the underlying zoning district .
- q. Implement the City's General Plan.



*Unique architecture*



*Contemporary building materials*



## 2.0 Applicability

The MEMU Overlay Zone is comprised of the properties generally bounded by the Santa Ana (I-5) Freeway on the west, Park Court Place and its prolongation to Tustin Avenue on the north, First Street on the south, Tustin Avenue and the Costa Mesa State Route (SR-55) on the east, and also includes properties along First Street and Lyon Street between Grand Avenue to the West and the Santa Ana (I-5) Freeway to the East. The boundaries of the MEMU Overlay Zone are depicted in Figure 1 and the existing sectional district maps.



Figure 1 MEMU Overlay Zone Location

## **2.1 APPLICABLE REGULATIONS**

These provisions shall apply to all properties within the MEMU Overlay Zone, but do not supersede the underlying zoning districts. All new development within the MEMU Overlay Zone will be subject to the requirements and improvements required in the Metro East Public Realm Amenity Plan, which is included as an Appendix. Definitions of terms not found within the MEMU Overlay Zone are found within SAMC Chapter 41, Article 1, Division 2.

## **2.2 CONTINUANCE OF DEVELOPMENT RIGHTS UNDERLYING ZONING DISTRICT STANDARDS**

All regulations, development standards, and requirements in the underlying zoning districts shall continue to apply to those properties that are currently developed according to the existing standards. New properties may also be developed to the existing underlying zoning district provided that all standards and requirements of the underlying zone are met.

## **2.3 OPTION TO APPLY THE MEMU OVERLAY ZONE**

Properties within the MEMU Overlay Zone may choose to develop to the standards of the underlying zoning districts or to the standards contained within this MEMU Overlay Zone. In order to exercise the option to develop under the MEMU Overlay Zone district, a MEMU Site Plan Review application approved by the Planning Commission shall be required. In granting such approval, the Planning Commission must find that the proposed development is in compliance with the provisions of the MEMU Overlay Zone and the Findings in Section 8.2 of this code section.

In order to facilitate project and site design consistent with the provisions of this MEMU Overlay Zone, any development proposal for exercising use of the MEMU Overlay Zone shall be designed so that any primary use within the development is located within a newly constructed building. No primary use or uses shall be located in a building that has been rehabilitated or is otherwise the reuse of an existing building.

## **2.4 USE OF PHOTOGRAPHS**

Photographs are used liberally throughout this document and are intended for illustrative purposes only. Specific development standards and regulations contained in this document are the controlling language for purposes of development regulation.



## 3.0 Development Districts

This section delineates the development districts within the MEMU Overlay Zone (Figure 2) and describes the overall form and character of each District (Table 1). There are four development districts in the MEMU Overlay zone that differ in the permitted land uses and development intensity as determined by their location and adjacency to sensitive land uses and freeways as shown on Figure 2. The Village Center District contains a pedestrian-oriented area designed to serve a central core for the Metro East area. Developments within the Village Center core are allowed at a slightly greater intensity to facilitate the role and function of this area as an activity node within the Metro East area.

Table 1 provides general descriptions and representative images of the character of each District within the Metro East Mixed-Use Overlay Zone.

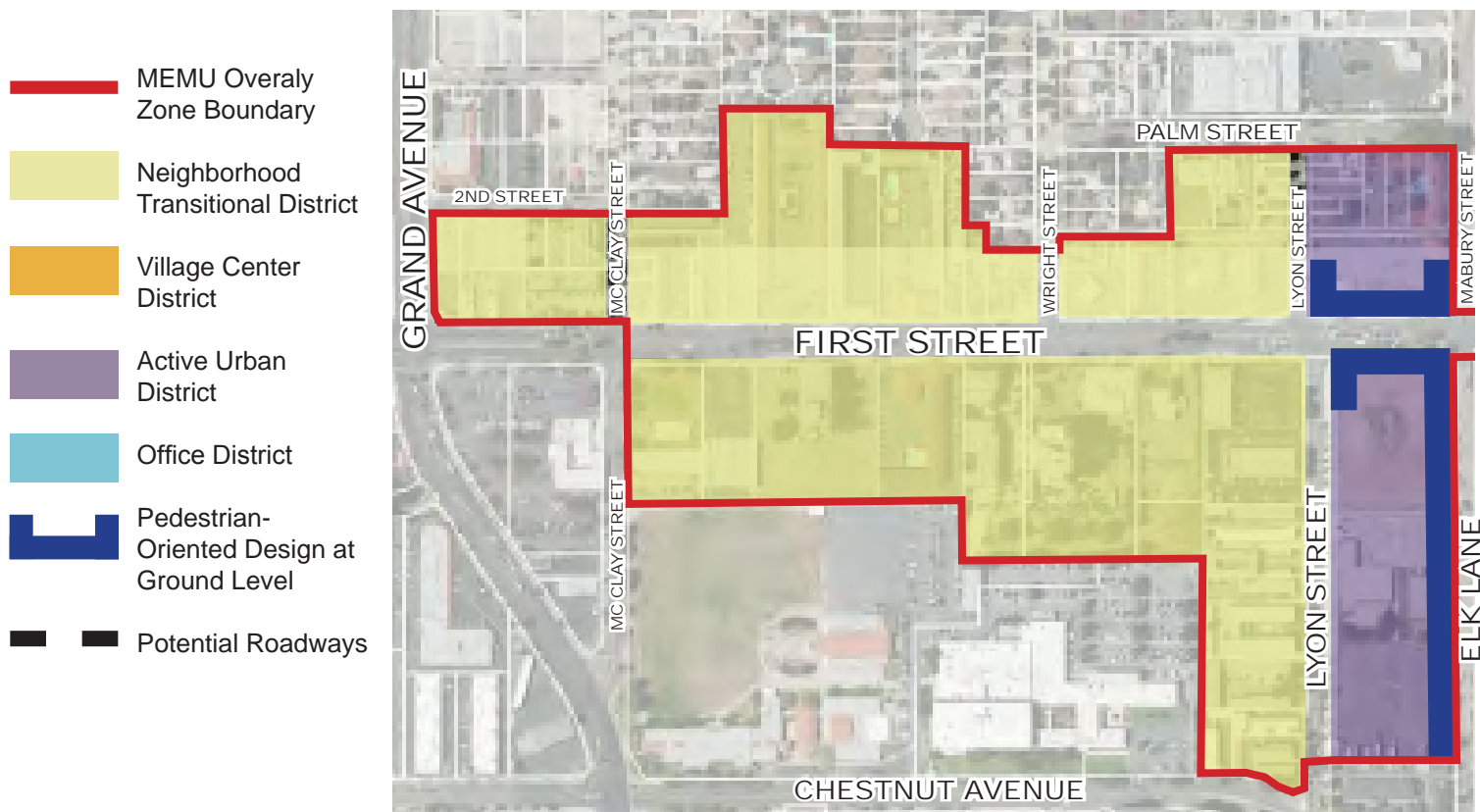
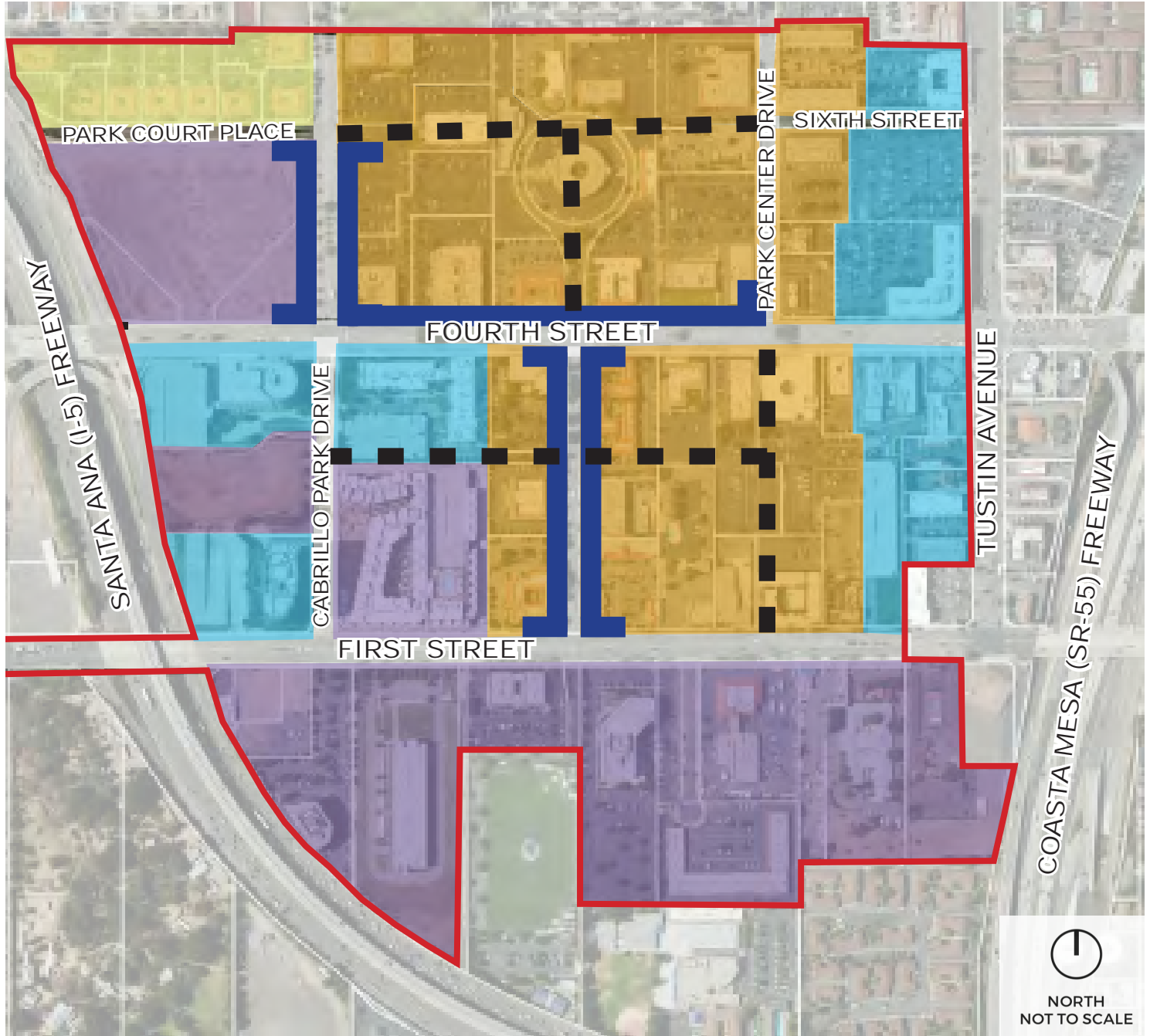


Figure 2 MEMU Overlay Zone Development Districts



## Table 1 MEMU Overlay District Description

### Neighborhood Transitional District



The Neighborhood Transitional District is intended to provide opportunities for development that acts as a transition between the single-family residential to the north and the adjacent high-intensity Active Urban District. Designated for the lowest scale and the lowest intensity of uses in Metro East, development in this district is limited to residential, live/work, small scale neighborhood serving commercial or office uses. These uses may combine office on the ground floor with residential above or in freestanding single-use buildings on the same site at between two and ~~three~~ four (2-~~34~~) stories in height. New development in this area will be designed to provide an appropriate interface with high levels of landscaping and design features that minimize impacts to the adjacent single family residential area to the north.



### Village Center District



The Village Center District is intended to serve as the focal point and central gathering place within Metro East in well-designed highly connected development sites and public spaces. The District will provide a high level of neighborhood identity and activity through its central location and emphasis on creating a vibrant, attractive, and highly-interconnected pedestrian environment. Opportunities will be provided for shopping, dining, recreation, entertainment and services accessed by extensively landscaped, wide sidewalks that allow free flow between jobs, housing, and retail and commercial services, or opportunities for leisure walking within the District. The Village Center will provide commercial, office, and residential uses in the same building or on the same site in mid-rise buildings of ~~from~~ six to ten (6-10) stories in height, in settings that provide open spaces, niches, and areas for gatherings and activities along streets, paseos, and interconnecting walkways that link the Village Center to adjacent districts and nearby public parks to the north. This District contains a pedestrian-oriented area designed to serve as a core activity center for the Metro East area. Developments within this core area along Fourth Street are allowed up to ten (10) stories in height to enhance the function of this area as a major activity center.





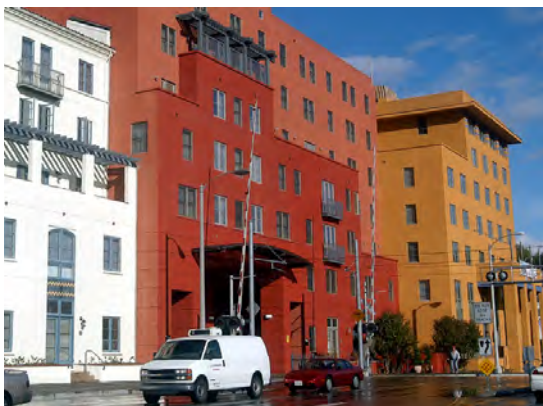
## Active Urban District



The Active Urban District is intended as the location for well-designed high rise mixed use developments in a highly urbanized environment that capitalizes on the exposure and access provided by two adjacent freeways, the Santa Ana (I-5) and Costa Mesa (SR-55), and three major arterials (First and Fourth Streets and Tustin Avenue). Development in this District is envisioned to reflect signature architecture that reinforces the identity and character of Metro East as a vibrant urban village that serves as a regional employment and activity center. The Active Urban District will include major office, residential, commercial, hotel, and entertainment opportunities that are more intensive in scale and design than the adjacent Village Center. Developments in this District may combine office, commercial, and residential uses within one vertical mixed use-building with commercial on the ground floor and office or residential on the upper floors or a mix of uses within freestanding buildings on the same site. Developments will be designed to showcase an amenity-enhanced environment that provides numerous open space opportunities within this urban environment for the enjoyment of residents, employees, and visitors, and to promote pedestrian connections between this District and the Village Center as well as Cabrillo Park located north of Metro East area.



## Office District



The Office District contains existing low-to high-rise office development along Tustin Avenue and adjacent to the Santa Ana (I-5) Freeway. These developments were in place prior to establishment of the MEMU Overlay Zone and will be maintained exclusively as office to promote and maintain a healthy balance between office, commercial and residential land uses within the Metro East area.



## 4.0 Development Standards

The MEMU Overlay Zone establishes development standards for each District, as summarized below in Table 2. Additional requirements for the standards listed in Table 2 are specified in Sections 4.1 through 4.8.

Table 2: Development Standards Summary				
Development Standards by District				
	Neighborhood Transitional District	Village Center District	Active Urban District	Office District
<b>4.1 Land Uses</b>	(See Table 3)			
<b>4.2 Maximum No. Stories</b>	<del>3</del> <u>4</u>	<del>6</del> 10 stories in Village Core (See Section 4.2)	No Maximum 3 Stories Minimum	<del>6-10</del>
<b>4.3 Minimum Development Site Area</b>	20,000 sq. ft.	30,000 sq. ft.	1 acre	1.5 acre
<b>4.4 Permitted Street Level Building Frontages</b>				
Front Porch	Yes	Yes	No	No
Stoop	Yes	Yes	No	No
Forecourt	Yes	Yes	Yes	Yes
Shop Front	<del>No</del> <u>Yes</u>	Yes	Yes	Yes
Gallery	Yes	Yes	Yes	Yes
Arcade	Yes	Yes	Yes	Yes
<b>4.5 Publicly Accessible Open Space</b>	5% of Total Lot Area	10% of Total Lot Area	15% of Total Lot Area	15% of Total Lot Area
<b>4.6 Private/Common Open Space</b>	<del>400-90</del> sq. ft. per unit	<del>400-90</del> sq. ft. per unit	<del>400-90</del> sq. ft. per unit	10% of Total Lot Area
<b>4.7 Building Setbacks</b>	(See Table 4 on Page 21)			
<b>4.8 Parking *</b>	Residential: 2.25 spaces per unit Non-Residential: Per Code	Residential: 2-2.25 spaces per unit Non-Residential: Per Code	Residential: 2.25 spaces per unit Non-Residential: Per Code	Office: 3 spaces per 1,000 sq. ft. Other: Per Code

\* For further detail, refer to Section 4.8, Parking and Access.

## 4.1 LAND USES

The MEMU Overlay Zone sets forth specific uses to be allowed within each district, as shown in Table 3, subject to a MEMU Site Plan Review approval by the Planning Commission. Any use that is not specified as permitted or conditionally permitted within the MEMU Overlay Zone is prohibited unless a determination is

made by the Executive Director of Planning that the proposed use is compatible with the overall intent and character of the MEMU Overlay Zone as specified in Section 41-601(c) of the Santa Ana Municipal Code (SAMC).

Table 3: <b>Permitted Land Uses</b>					The allowable uses are established by letter designations as follows:
Neighborhood Transitional District Village Center District Active Urban District Office District*					P Permitted by right N Prohibited NA Not Applicable CUP Conditional Use Permit required LUC Land Use Certificate required
	Neighborhood Transitional	Village Center	Active urban	Office	Special Provisions (references to other applicable code sections or limitations)
<b>Residential Uses</b>					
Live/Work Units	P	P	P	N	Subject to provisions of this division
Multiple-Family Residential	P	<del>N</del> <u>P</u>	P	N	
<b>Non-Residential Uses</b>					
Art galleries and studios including, but not limited to: photography; fine art; fiber art; printing, lithography, and calligraphy; ceramic and pottery; glass blowing and sculpting	P	P	P	P	
Eating establishments, (cafes, restaurants)	<del>N</del> <u>P</u>	P	P	P	CUP for liquor sales, after hours operation
Bakeries	<del>N</del> <u>P</u>	P	P	P	
Retail and Service uses	<del>N</del> <u>P</u>	P	P	P	
Medical and Dental offices	P	P	P	P	
Professional, administrative and business offices	P	P	P	P	
Child care facilities	P	P	P	P	
Gymnasiums and health clubs	N	P	P	CUP	
Hotels	N	P	P	CUP	
Indoor/outdoor entertainment	N	P	P	P	As defined in Chapter 41 of the SAMC
<u>Religious Institutions</u>	<u>CUP</u>	<u>CUP</u>	<u>CUP</u>	<u>CUP</u>	
Schools	N	P	P	N	
Tattoo Establishments	N	P	P	N	Subject to Sec. 41-199.3 of the SAMC
Temporary outdoor activities	LUC	LUC	LUC	LUC	Subject to Sec. 41-195.5 of the SAMC
Theaters and cinemas	N	P	P	P	
<b>Use/Operational Standards</b>					
Drive through establishments	N	N	N	N	



In addition to the land use categories listed in Table 3, the following regulations and operational standards shall apply to development within the MEMU Overlay Zone.

#### 4.1.1 Village Center Core: Pedestrian-Oriented Design and Active Ground-Floor Uses

In order to generate pedestrian use and contribute to an active street life, developments located in the Village Center core, properties fronting on Fourth Street will be allowed to develop up to a height of ten stories for a depth of 150'. The ground floor of buildings fronting on Fourth Street between Cabrillo Park Drive and Park Center Drive, and Golden Circle Drive south of Fourth Street as shown in Figure 2 shall have commercial uses and pedestrian-oriented designs. The pedestrian-oriented design features include, but are not limited to, visually transparent and architecturally articulated building facades, or designing arcades or courtyards for activities such as outdoor dining or active open-space areas. Active uses that are visually accessible to the public also may satisfy this requirement and may include, but are not limited to, uses such as a workout room for a health club, a cooking class, the nonresidential portion of live/work units, or other active-artisan use.



*Two-story live/work units*

- a. Residential use is permitted only in combination with individual studios in a manner which provides an integrated working and living environment.
- b. At least one (1) off-street parking space shall be provided for each dwelling unit.
- c. A live/work unit shall be at least one thousand (1,000) square feet in size.
- d. It shall comply with all Housing Code requirements as modified by section 8-2700 of the SAMC.
- e. The residential component of a live/work unit shall meet the following standards:
  1. It shall have a space of at least seven hundred fifty (750) square feet.
  2. It shall have access to separate bathroom facilities, including a water closet, a wash basin, and a bathtub or shower.
  3. It shall have separate kitchen facilities including a kitchen sink, cooking appliances and refrigerator. All such facilities shall have a clear working space of at least thirty (30) inches in front.
- f. On-site laundry facilities are required within each unit.



*Three-story live/work units*

#### 4.1.2 Live/Work Units

The residential component of live/work units shall be contiguous with and integral to the working space with direct access between the two areas and shall not be designed as a separate stand-alone dwelling unit. This requirement does not preclude a separate access for the residential area as long as there is not a physical separation between the living area and the work areas of the unit. In addition, the following regulations shall apply to live/work units:

#### 4.1.3 Stand Alone Residential Development

Consistent with the objectives of the MEMU Overlay Zone to encourage and facilitate mixed-use, no stand-alone residential building shall be permitted except in the Neighborhood Transitional District or as a component of a mixed-use project that has different uses in multiple buildings designed as an integrated development on a single development site. An integrated development is a project that is built on a site comprised of more than one parcel or contained in more than one building when the uses and support facilities such as parking or open space are designed to function in a cohesive interactive manner throughout the development site.

## 4.2 MAXIMUM NUMBER OF STORIES

A. The overall scale and massing of development within the MEMU Overlay Zone should transition from the existing low-scale intensity of the Neighborhood Transitional District, which is adjacent to an existing single-family residential neighborhood, to mid-rise development in the Village Center and high-rises in the Urban Core adjacent to the Santa Ana Freeway. To create a varied skyline and enhance the form of development sites throughout the Metro East area, building heights will be regulated based on the maximum number of stories permitted. The following ~~maximum story~~ heights are typical ~~established~~ for the uses within a building as calculated from floor to floor:

1. Residential: 9–15 feet (includes lofts and live work unit designs)
2. Retail: 18 feet
3. Retail with mezzanine: 22 feet
4. Specialty retail: 22–24 feet
5. Office: 13.5 feet

B. In compliance with the Airport Land Use Commission (ALUC) of Orange County, the following conditions shall apply to all new development with the MEMU Overlay Zone.

1. For development of structures that exceed 200 feet in height above ground level at a development site, applicants shall file a Notice of Proposed Construction or Alteration with the FAA (FAA Form 7460-1). Following the FAA's Aeronautical Study of the project, projects must comply with conditions of approval imposed or recommended by the FAA. Subsequent to the FAA findings, the City shall refer the project to the ALUC for consistency analysis.
2. Buildings within any District of the Overlay Zone shall not penetrate the FAA FAR Part 77 imaginary obstruction surface for John Wayne Airport.
3. Applicants shall file a Notice of Proposed Construction or Alteration with the FAA (Form 7460-1) for any construction cranes that exceed 200 feet in height above ground level.

C. New development will be required to be within the following maximum number of stories based upon their location within the MEMU Overlay Zone except as specified below:

### 1. Neighborhood Transitional District: ~~Three~~ Four stories maximum

New development shall be of a low scale, and should serve as a visual transition between the MEMU Village and adjacent residential areas to the north. New development



*Three-story live/work units*

in this District shall be compatible in height, scale, and mass with adjacent residential development to the north, with heights ranging between two and ~~three~~ four stories.

### 2. Village Center District: Six stories maximum; ten stories maximum within core area (See Section 4.1.1)

New development in the Village Center District is more intensive in scale than Neighborhood Transitional, and shall serve as a visual transition from the low-intensity of the Neighborhood Transitional District to the intensive development in the Active Urban District. The height, scale, mass and bulk of new development shall be designed to achieve a “human scale” at the ground level to foster a pedestrian-friendly atmosphere, with buildings located along and oriented to the street frontages and common plazas. In order to encourage and maintain active streets and function as a central gathering place and 18-hour activity center for residents, employees, and visitors, a core area along Fourth Street will be allowed to develop at a height of up to ten stories, for a depth of 150’.



*Five-story mixed-use corner building*



(See also Section 4.1.1). Properties outside the core of the Village Center will be allowed to develop up to a height of six stories.

### 3. Active Urban District: No maximum height; minimum three stories required

The Active Urban District is the most intensive in scale within the MEMU area, and is designed to create a highly urbanized environment. New development in this District shall relate in scale, height, and configuration with adjacent buildings. New development shall be designed and oriented to promote intensive public activity at the ground level that integrates and establishes a cohesive transition to adjacent Districts.



*Front street building orientation*

Larger buildings shall be broken down in scale through changes in massing, changes in plane and profile, façade subdivision, as well as other architectural means to ensure that the building is well proportioned and creates a satisfactory composition. Sites in this District shall be designed so that tower elements do not impact adjacent lower intensity developments but rather are designed to maximize exposure to the freeway or to adjacent developments of a similar intensity.

A minimum building height of three stories is required within this District to ensure that a level of intensity is achieved on any development site even when there are multiple buildings of various heights. Any new development that is ten stories or greater in the Active Urban District and is proposed at a location adjacent to a multiple-family residential use or zone outside of the MEMU area shall be set back at least 150' from the property line of the adjacent residentially used or zoned property.

### 4. Office District: ~~Six~~ Ten stories maximum

Existing development within the Office District varies from two-story garden offices to the high-rise Xerox Center adjacent to the I-5 Freeway. Development in this District is limited to office uses to maintain a core of offices uses within the Metro East area and therefore is least likely to utilize the provisions of the MEMU Overlay Zone. New development in this District under the Overlay Zone will vary from low-rise garden office to mid-rise office buildings with ancillary uses and may not redevelop as quickly as other Metro East areas.



*Higher intensity mixed-use building*

The height, scale, mass and bulk of new development shall be designed to achieve a "human scale" at the ground level to foster a pedestrian-friendly atmosphere, with buildings located along and oriented to the street frontages and common plazas. In order to maintain a consistent level of development intensity within this District, a minimum height of three stories is encouraged. If a project is on a large site with multiple buildings, an average of four stories should be used as a guide.

## 4.3 MINIMUM DEVELOPMENT SITE AREA

As a means to encourage development that achieves the objectives of the MEMU Overlay Zone, all new development shall have a minimum lot size that facilitates the use of design principles that achieve adequate setbacks, open spaces, connections with adjacent properties in the district, and a high level of site design. Required development site area is required as follows:

- a. Neighborhood Transitional District  
20,000 square feet
- b. Village Center District  
30,000 square feet



- c. Active Urban District  
1 Acre (43,560 square feet)
- d. Existing Office District  
30,000 square feet

#### 4.4 PERMITTED STREET LEVEL BUILDING FRONTAGES

A. Appropriate building frontages reinforce a continuous urban street wall defining the street edge and encouraging public-private interaction which results in active pedestrian urban spaces. In order to encourage a stronger public-private interaction within the Metro East area, new development will be required to include one of the building frontages specified by district below:

- Front Porch
- Stoop
- Forecourt
- Shop Front
- Gallery
- Arcade

1. Neighborhood Transitional District:
  - a. Front Porch
  - b. Stoop
  - c. Forecourt building frontages are permitted
  - d. Shop Front

2. Village Center District
  - a. Front Porch
  - b. Stoop
  - c. Forecourt
  - d. Shop Front
  - e. Gallery
  - f. Arcade

3. Active Urban District
  - a. Forecourt
  - b. Shop Front
  - c. Gallery
  - d. Arcade

4. Office District
  - a. Forecourt
  - b. Shop Front
  - c. Gallery
  - d. Arcade

B. Street level building frontages shall be designed according to the following descriptions and requirements.

#### Front Porch

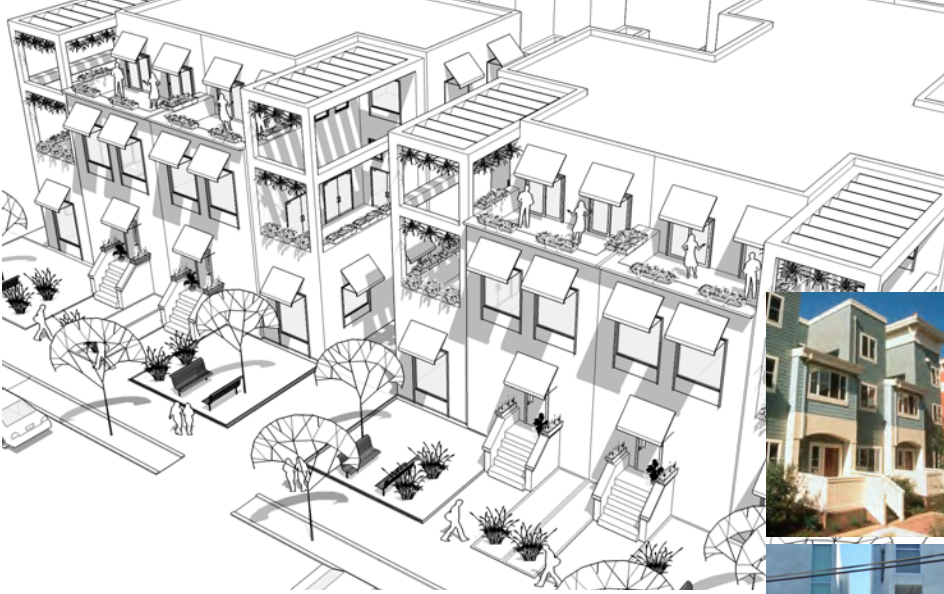


##### 1. Front Porch

A front porch is frontage wherein the façade is set back from the frontage line with an attached roofed porch that extends into the front open space area. Porches shall have a minimum dimension of 8 feet in any direction.



## Stoop



### 2. Stoop

A stoop is a frontage wherein the façade is aligned close to the frontage line with the first story elevated from sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground floor residential uses.

## Forecourt



### 3. Forecourt

A forecourt is a frontage wherein a portion of the façade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop offs and/or required open space areas. (Minimum dimension of a forecourt should be 20 x 20 feet). This type of frontage should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.



## Shopfront



### 4. Shop Front

A shop front is frontage wherein the façade is aligned close to the frontage line with the building entrance at sidewalk grade. This frontage is conventional for retail use. It has substantial non-reflective glazing at the sidewalk level and should include awnings at main entrances that may overlap the sidewalk consistent with the City's overhead sidewalk encroachment provisions.

## Gallery



### 5. Gallery

A gallery is frontage wherein the façade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade which may overlap front open space areas. This type is convenient for retail use. The gallery shall be no less than 10 feet wide and may overlap adjacent open space areas up to within 5 feet of the parkway or sidewalk area.





## Arcade



### 6. Arcade

An arcade is frontage wherein the façade may abut the sidewalk at the frontage line. This frontage type is conventional for retail use. The arcade shall be no less than 12 feet wide and may not overhang the sidewalk but may be within 5 feet of the parkway or sidewalk.

## 4.5 PUBLICLY ACCESSIBLE OPEN SPACE

In order to provide relief from the intensity of development within the MEMU Overlay Zone and provide for a high level of pedestrian connectivity and activity throughout the Metro East area, it is necessary to provide a variety of open space opportunities. Publicly accessible open space areas shall be designed to optimize linkages and connections with adjacent properties within the District. Further, open space areas shall encourage active use and pedestrian activity between the public and the private realm.

- A. To achieve well-designed and highly amenitized open space areas that are accessible to the public, new development will be required to include an open space component that is accessible to the public through the main street-facing façade entry of the project. These areas may be inclusive of a front setback or driveway areas, but may not include parking areas or rear setbacks to satisfy a private open space requirement. All new development within the MEMU Overlay Zone shall provide publicly accessible open spaces as a percentage of the total development site area as follows:



*Public plaza*

1. Neighborhood Transitional District: 5 percent
2. Village Center District: 10 percent
3. Active Urban District: 15 percent
4. Office District: 15 percent





Active public/open space areas

B. In addition to the above requirements, the following provisions shall apply to the design, location, and materials used in these open space areas:

1. Plazas, courtyards, or other publicly accessible open space areas at the ground level may be used to satisfy this requirement, and shall be incorporated into the design of the development.
2. Parking and rear setback areas shall not be considered to meet this requirement. Front and side setback areas that are integrated into the design of the public open space may be considered to satisfy this requirement.
3. Public open space areas shall be visible and accessible from the public rights-of-way to engage the interest of pedestrians and encourage public use.

4. A combination of landscape and hardscape materials shall be used in the design of these areas to satisfy the following requirements:

- a. Hardscape paving may include brick, stone, interlocking concrete pavers, textured concrete, and/or impressed patterned concrete. Hardscape elements may include, but are not limited to, seating areas, potted plant materials, water features, and public art installations.
- b. The balance of the open space areas shall be landscaped with turf, shrubs, or groundcover, and trees. All plant materials shall be in proportion to the height and mass of the building, and shall be permanently maintained.

5. In order to achieve sunlight and air circulation in required open space areas, the following minimum height to width ratios shall be provided:

- a. Enclosed Open Space: 2 to 1 ratio

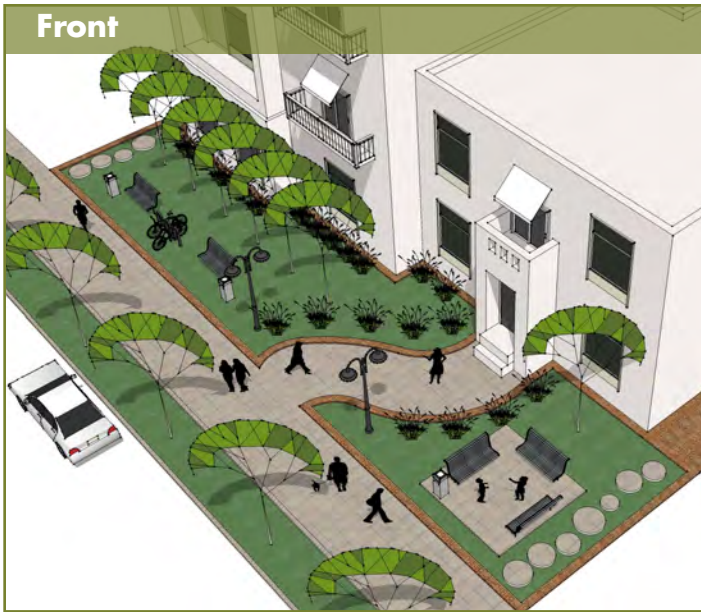
(Open space that is enclosed on four sides, such as a courtyard). The required open space shall have a width of at least one-half the height of the adjacent building façade (measured perpendicularly from the façade). This requirement shall apply to all sides of the required open space.

- b. Open Space which is open on one or more sides: 3 to 1 ratio

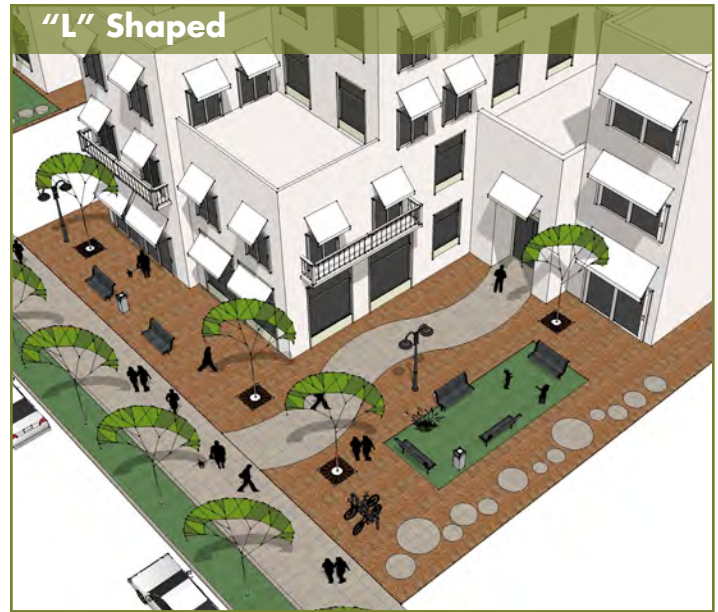
The required open space shall have a width of at least one-third the height of the adjacent building facade (measured perpendicularly from the façade). This requirement shall apply to all sides of the required open space.

6. The required publicly accessible open space areas shall be located and configured as one of the following:

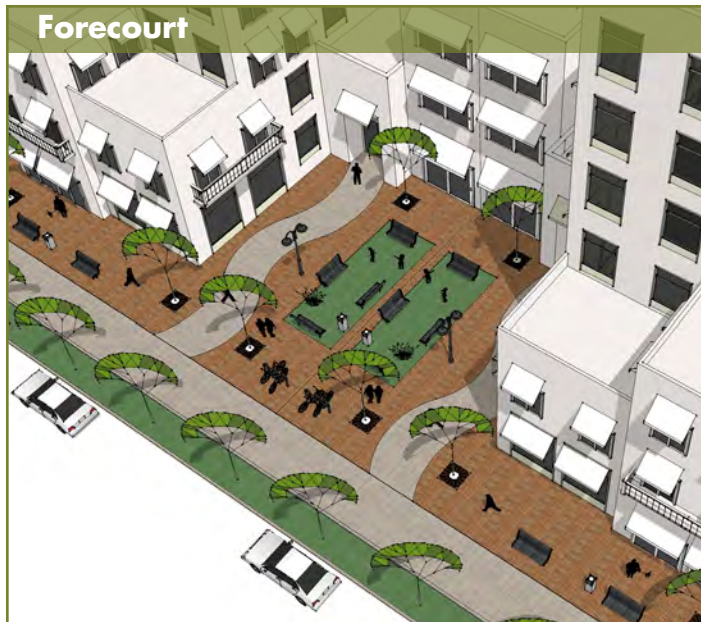




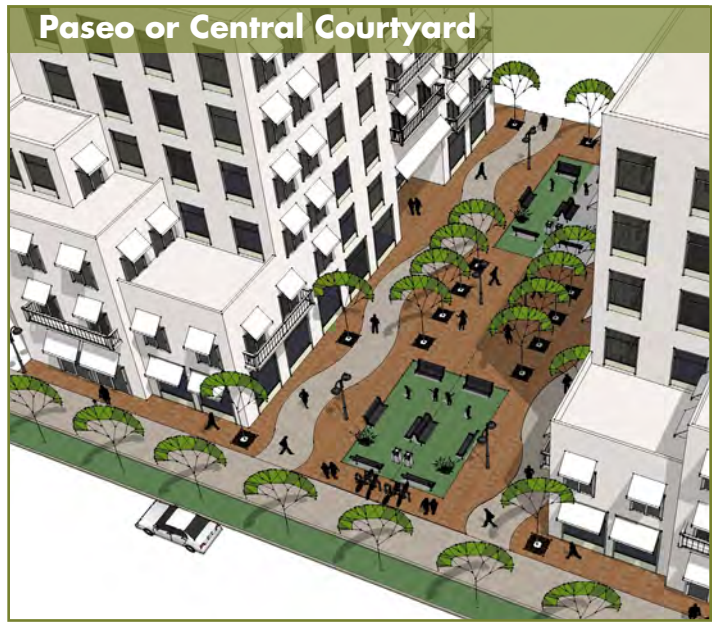
a. Front: The publicly accessible open space area is located along the street facing frontage of the building as illustrated.



c. "L" Shaped: The publicly accessible open space area is located along the front and side of the lot as illustrated.



b. Forecourt: The publicly accessible open space area is located along a recessed center section of the front façade of the building as illustrated.



d. Paseo or Central Courtyard: The publicly accessible open space area is located on the side of the building or along a center pedestrian paseo or courtyard as illustrated.



## 4.6 PRIVATE/COMMON OPEN SPACE

To support and enhance the publicly accessible open space, new development within the MEMU Overlay Zone will be required to include private and/or common open space for resident, tenant and visitor use. Private and/or common open space shall be provided in addition to the required publicly accessible open space in Section 4.5.

**Residential developments:** Private or common open space shall be provided on a per unit basis for residential projects and shall be a combination of the total required space divided between private areas such as balconies or patios or common areas such as courtyards, recreation facilities, multi-purpose room or other areas designed for the common use of residents as specified below.

**Nonresidential or mixed-use developments:** Private or common open space shall be provided as a percentage of the total lot area for nonresidential projects and may be used to provide site amenities such as rooftop decks, courtyards, or similar features. Mixed use developments shall combine the residential standards and the nonresidential standard to satisfy this provision.

A. Private or common open space shall be provided in the following amounts:

1. Neighborhood Transitional District: ~~400~~ 90 square feet per unit
2. Village Center District: ~~400-90~~ square feet per unit and 5 percent of the total development site area for nonresidential uses.
3. Active Urban District: ~~400-90~~ square feet per unit and 5 percent of the total development site area for nonresidential uses.
4. Office District: 10 percent of the total development site area

B. In addition to the above standards, all private and/or common open space areas are also subject to the following provisions in their design, location, and selection of amenities:

1. Private and common open space areas shall be designed for the exclusive use of the residents or tenants of the property and their guests and shall not be publicly accessible except in the Neighborhood Transitional District where the required private/common open space may be designed in combination with the required publicly accessible open space specified in Section 4.5.

2. In the Neighborhood Transitional, Village Center, and Active Urban Districts, a combination of private and common open space shall be provided to satisfy the following requirements:

- a. Common open space amenities shall include, but are limited to, one or more of the following amenities: courtyards, plazas, tennis courts, swimming pools, spas, permanently equipped gym/exercise rooms, or other permanent amenity. Rooftop decks and terraces may be used to satisfy this requirement, however, these areas shall be easily accessible to all residents within the building, and face the public rights-of-way where possible.
  - b. Private open space areas may include balconies, patios, terraces, or rooftop decks. These areas shall be carefully integrated into the overall architectural design of the building. Architectural elements such as railings, trellises, short walls, or roof top enclosures shall be consistent with the architectural style of the structure to which they are attached.
3. Open space areas shall be constructed of permanent materials and be permanently integrated into the design of the building.

4. In order to achieve sunlight in outdoor common open space areas, the following building height to open space width ratios are required: 1 to 1; and 2 to 1 if the space is open on one or more sides.



*Private rooftop deck*



*Private balcony*

## 4.7 BUILDING SETBACKS

A. Setback area requirements facilitate the incorporation of publicly accessible open space while reinforcing a continuous urban street frontage that defines the street edge. Setback requirements are designed as a range so that variety may be achieved in the public/private interface area depending on the site and building design and its relationship to adjacent developments. Setbacks are designed to coordinate with the public improvements identified in the Metro East Public Realm Amenity Plan (Appendix). New development within the MEMU Overlay Zone shall be designed to provide setback areas from private or public streets as follows:

Table 4: Building Setbacks			
Setbacks or Separation (1)(2)(3)		Min.	Max.
<b>Building to Street and Parking</b>			
Adjacent to public street right-of-way or public easement		---	10 ft (4)
Adjacent to alley or internal aisle		3 ft	---
Adjacent to parking		7 ft	---
Clear Zone		25 ft	---
<b>Building to Property Line</b>			
Adjacent to any residential use	1st and 2nd floor	15 ft	---
	3rd floor and above (5)	20/30 ft	---
Adjacent to all other uses	All floors	5 ft	---
<b>Building to Building</b>			
Up to 3rd floor		6 ft	---
4th floor and above		15 ft	---

### Notes

1. Setbacks are measured from the closest point of a building to the property line or public easement, except for clear zones. If a front yard/porch frontage is used, the building facade may be setback a maximum of 15 feet.
2. Additional setbacks for entry plazas or courtyards, or to meet adjacent structures, may be permitted subject to additional design review. Frontage types may be used to satisfy setback requirements.
3. Building planes above 3rd floor shall have, at a minimum, a 50% variation in setback within the specific standards in Table 4.
4. If a development project has multiple frontages, the maximum setback along one street frontage may be exceeded if the area is used for publicly-accessible open space.
5. For building with seven or more stories, the third floor and above must be set back a minimum of 30 feet from any residential use.

### 6. Clear Zones:

- a. Clear zones are required at driveway, street, or alley intersections to provide adequate line of sight for drivers, bicyclists, and pedestrians as they approach intersections. The clear zone shall consist of an isosceles right triangle with 25-foot sides along the property line.
- b. The clear zone shall not be occupied by a ground floor building facade. Site and building features that are taller than 30 inches in height, including utilities, mechanical equipment, fences, and landscaping, are prohibited in the clear zone.
- c. Upper floors may extend over the clear zone. Awnings must maintain a vertical clearance of at least 15 feet within the clear zone.

B. In addition to the above setback requirements, the following provisions shall also apply to new development projects:

1. In order to encourage flexibility and provide an organic feel in the design and building-street interaction, there is no minimum setback requirement within the MEMU Overlay Zone, ~~with the exception that all structures shall maintain the maximum rear setback specified if the property abutting on the rear property line is developed solely as a residential use.~~
2. Setbacks abutting public right-of-way may be further recessed from the maximum setback specified for the purpose of a public open space, dining/gathering or special entry area. These areas may not satisfy private open space requirements.
3. Setbacks abutting public rights-of-way shall be landscaped with lawn, trees, shrubs, or other plants and/or decorated as a hard surface expansion of the sidewalk. A combination of landscape and hardscape materials shall be provided as follows:
  - a. Hardscape paving may include brick, stone, interlocking concrete pavers, textured concrete, and/or impressed patterned concrete. Hardscape elements shall also be provided when setback area is being used to satisfy publicly accessible open space areas. These elements may include, but are not limited to, seating areas, potted plant materials, water features, and public art installations.
  - b. The balance of the setback areas shall be landscaped with turf, shrubs, or groundcover, and trees. All plant materials shall be in proportion to the height and mass of the building, and shall be permanently maintained.

## 4.8 PARKING AND ACCESS

Adequate parking is necessary to service the full-range of uses permitted within a development project. In order to enhance the appearance and character of the Metro East area, parking should not be a part of the pedestrian level streetscape. The goal of the Metro East area is to provide adequate parking that encourages people to “park once” and conveniently walk to multiple destinations in the same area. Standards below reflect this concept except in the Neighborhood Transition District where parking is established at a rate that does not impact the adjacent residential neighborhood to the north.

The parking standards for the MEMU Overlay Zone are designed to accommodate the wide variety of uses in the area while providing an incentive for mixed-use projects that encourage an active street life and convenient services and leisure activities for Metro East residents and visitors. A mixed-use development is defined as any development that contains more than one type of use in a building or set of buildings and contains within the development a residential component. Stand alone uses are defined as operations or uses that are not a component of an integrated mixed-use development project. Dimensions of parking spaces and drive aisles shall be consistent with SAMC Article XV, Division 1.

A. Parking within the MEMU Overlay Zone shall be required for new development in each district as follows:

### 1. Neighborhood Transitional District

- a. Stand-alone residential: 2.0 spaces per residential unit, inclusive of guest parking
- b. Office or other permitted nonresidential uses: As required by Division 3 of Article 15, Off-Street Parking Requirements, SAMC.

### 2. Village Center District

- a. Stand-alone nonresidential Uses: As required by Division 3 of Article 15, Off-Street Parking Requirements, SAMC.
- b. Stand-alone Residential Uses: As required by Division 3 of Article 15, Off-Street Parking Requirements, SAMC.
- c. Mixed-use Developments with less than 10 percent of the gross floor area devoted to a commercial activity: A minimum of 1.8 spaces per residential or live/work unit inclusive of guest parking and any nonresidential uses.

- d. Mixed-use developments with 10 percent or greater of the gross floor area devoted to a commercial activity: Any development proposal that devotes 10 percent or more of the development's gross floor area to a nonresidential use shall be required to provide a parking study by a city approved consultant to establish an adequate parking requirement for the mixture of uses in the proposed development. In no case, however, shall a standard of less than 2.25 spaces per unit inclusive of guest parking and any nonresidential uses be established.

### 3. Active Urban District

- a. Stand-alone Nonresidential Uses: As required by Division 3 of Article 15, Off-Street Parking Requirements, SAMC.
- b. Stand-alone Residential Uses: As required by Division 3 of Article 15, Off-Street Parking Requirements, SAMC.
- c. Mixed-use Developments with less than 10 percent of the gross floor area devoted to a commercial activity: A minimum of 1.8 spaces per residential or live/work unit inclusive of guest parking and any nonresidential uses.
- d. Mixed-use developments with 10 percent or greater of the gross floor area devoted to a commercial activity: Any development proposal that devotes 10 percent or more of the development's gross floor area to a nonresidential use shall be required to provide a parking study by a city approved consultant to establish an adequate parking requirement for the mixture of uses in the proposed development. In no case, however, shall a standard of less than 2.25 spaces per unit inclusive of guest parking and any nonresidential uses be established.

### 4. Office District

- a. Office or other permitted nonresidential uses: As required by Division 3 of Article 15, Off-Street Parking Requirements, SAMC.

B. In addition to the parking requirements above, new developments in the MEMU Overlay Zone shall provide parking in compliance with the following:

1. Guest parking at a rate of 10 percent of the total required parking spaces shall be set aside and assigned for the exclusive use of guests in any development project within the MEMU Overlay Zone.
2. All residential units shall be provided a minimum of one (1) assigned space per unit.



In order to provide well-designed parking areas that enhance the pedestrian experience and adequately provide for the mixture of uses that may occur on a development site, the following standards shall be required for all new developments within the MEMU Overlay Zone:

3. Parking facilities (surface or structures) shall be located below grade, behind buildings, and/or screened from the main right of way and all active public areas, except for areas designed for and devoted to vehicular access, drop off, or valet parking. Those portions of new parking structures that face a public street shall include commercial spaces or other pedestrian oriented design features at the ground floor level.



*Screening of parking structures along main streets*

4. Parking spaces specifically designated for nonresidential and residential uses shall be clearly marked by the use of posting, pavement markings, and/or physical separation. Parking area design shall incorporate a separation of the parking for nonresidential and residential uses, except that guest parking may be combined with nonresidential parking as long as the total required parking for the development is not reduced.
5. Driveways shall be a maximum of 24 feet wide, in order to enhance the pedestrian experience, except as required to satisfy fire and/or waste collection requirements. A maximum of one curb cut shall be permitted for each parcel with up to 150 feet of street frontage. Development sites exceeding 150 feet of street frontage shall be permitted a maximum of two curb cuts. Three curb cuts shall be permitted only if a separate residential entrance is required.

# 5.0 Design Principles

The MEMU Overlay Zone establishes qualitative design principles that will be used by Staff and decision makers in evaluating proposed projects. This section establishes qualitative design standards intended to guide the developer to achieve the image and design desired for the Metro East Overlay Zone. Staff and decision makers will use these principles to review proposed development projects and determine their approval based on the extent to which the plans address the intent of the City for the area as part of the MEMU Overlay Zone Site Plan Review process.



*Architectural/massing variety*

## 5.1 INTEGRATED DESIGN

The design of buildings, signs, landscaping, and other structures or elements shall feature a unified and integrated theme.

## 5.2 ARCHITECTURAL QUALITY

Projects shall utilize materials, window and door systems, hardscape, softscape, and water features, and architectural details and components throughout that convey a distinct sense of endurance and quality.

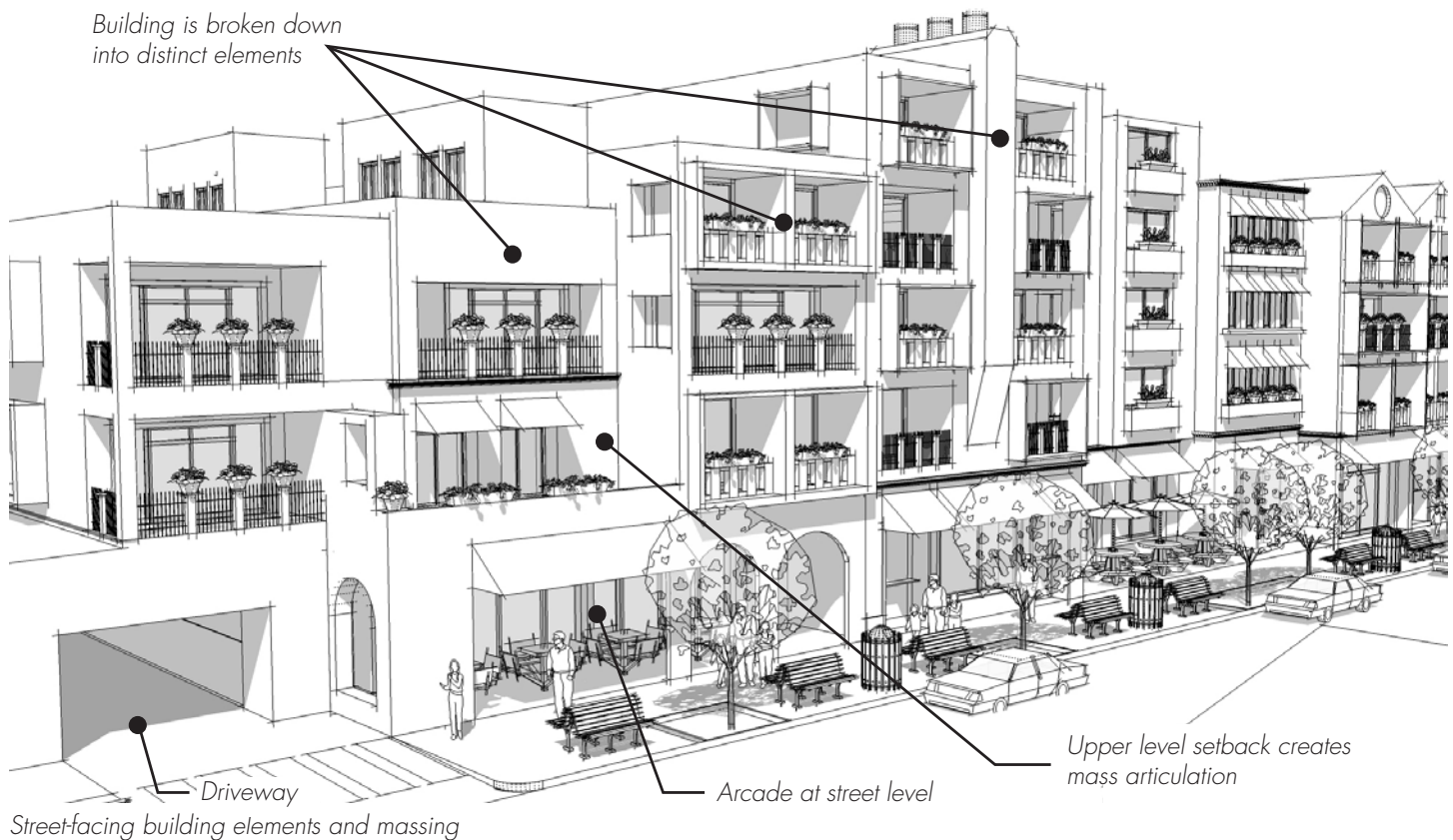
## 5.3 ARCHITECTURAL VARIETY

Projects shall utilize architectural means such as varied massing, breaks in plane, a diverse palette of high-quality materials, and changes in form, proportion and detail, as well as a variety of unit types to create variety and differentiation between and within project components.

In order to further promote variety and interest within the project as a whole, the use of more than one architect is required for projects on development sites with an area that exceeds two (2) acres. This requirement can be met by compliance with any one of the following as approved by the Planning Manager at the time of the initial Site Plan Review:

- a. Architectural design is completed by two different firms
- b. Architectural design is peer reviewed by a second architectural firm
- c. Architectural design is completed by different studios within one architectural firm
- d. Applicant conducts an architectural design workshop with City staff in the early phase of design





## 5.4 MASSING

- In general, project massing should be broken down into discrete building elements and components that reinforce a continuous street-facing urban block pattern. This pattern should be broken by intervening the required publicly accessible open space areas. See Section 4.5.
- Within this block pattern, individual buildings shall be massed such that individual building planes or architectural masses do not exceed one-hundred-fifty (150) feet in length.
- The design of buildings shall incorporate a variety of massing and forms to introduce variety at the ground plane and skyline of the project.

## 5.5 FACADES

- Street facing facades shall be architecturally enhanced through the use of arcades, colonnades, recessed entrances, window details, bays, variation in building materials, and other details such as cornices and contrasting colors.
- Building step backs at the upper level of buildings along public rights-of-ways in the Neighborhood Transitional, Village Center, and Active Urban Districts shall be provided as a means to provide building articulation.

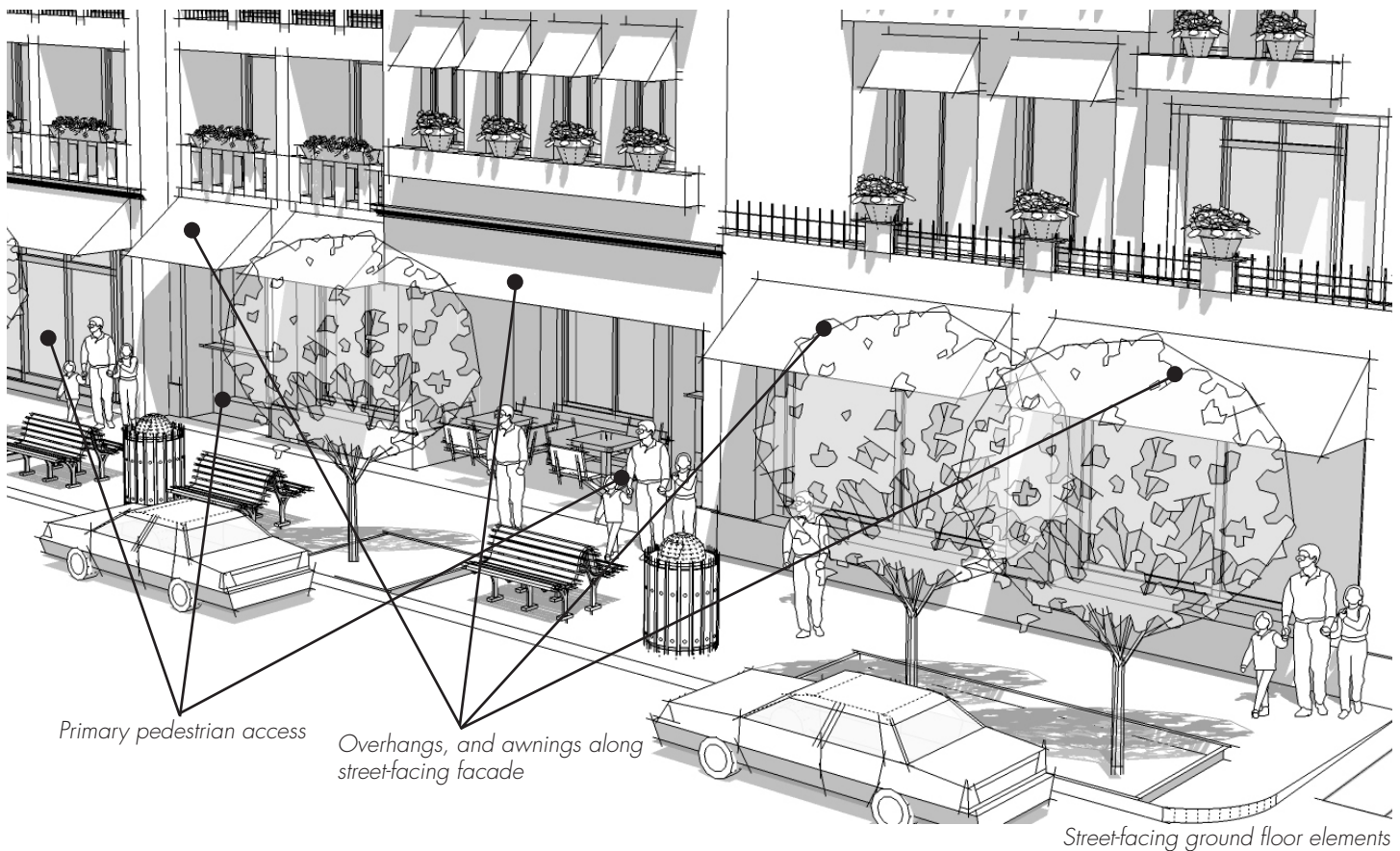


*Street-facing facade elements*

The building articulation may include private/common open space terraces or roof decks. The minimum upper level setback area shall be 10 Ft wide (parallel to the building façade) by 6 Ft deep.

- Buildings facades shall be articulated through the use of separated wall surfaces, contrasting colors and materials, variations in building setbacks, and attractive window fenestrations.





## 5.6 GROUND FLOOR USES

- Ground floor commercial or retail uses oriented to the street shall provide primary pedestrian access directly from the adjacent public street frontage.
- Ground floor commercial or retail uses oriented to the street shall incorporate the use of overhangs, awnings, or trellis work for at least 60 percent of the frontage.

## 5.7 COMMUNITY CONNECTIONS

Project site plans shall create community connections and linkages between developments within the various Districts within the MEMU Overlay Zone area, as well as facilitate comfortable and visually interesting pedestrian and bicycle movements.

- Pedestrian- and sidewalk-oriented buildings.*  
Projects as a whole, as well as individual building components, shall reinforce activity and pedestrian scale along adjacent sidewalks through the use of active building entries and frontages, and/or publicly accessible open space fronting the streets.

- Street facing facades shall be integrated with public plazas, mini parks, outdoor dining, and other pedestrian-oriented amenities where feasible.

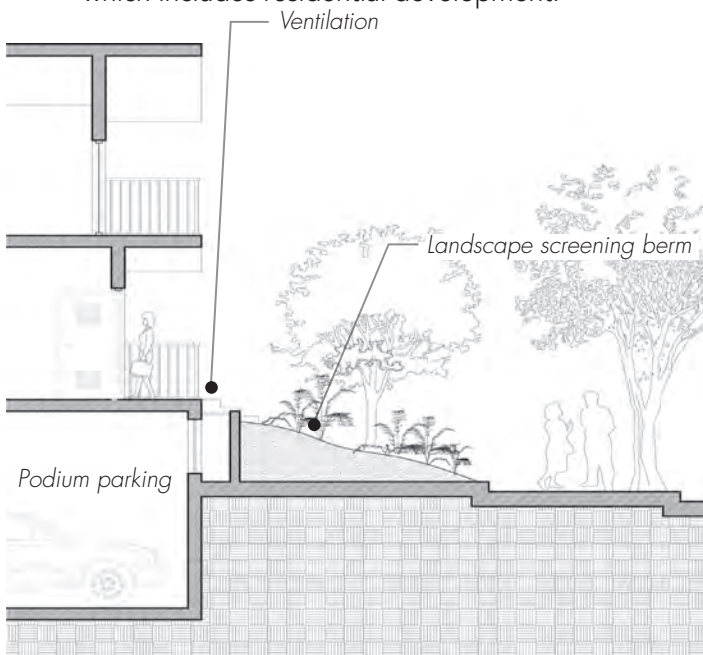


*Pedestrian/bicycle oriented streetscape*

- b. *Pedestrian-oriented sidewalks and streetscapes.* Projects as a whole shall incorporate design and development features that facilitate pedestrian and bicycle-scale orientation at the street level. These features include, but are not limited to, street trees, improved medians with trees, widened sidewalks, pedestrian-scale lighting, integrated bicycle paths, curbside parkways, and feasible curbside parking to create a streetscape that accommodates increased and comfortable pedestrian and bicycle use.

## 5.8 LANDSCAPE BUFFERS

- a. In order to establish a strong public street and sidewalk edge, building massing shall establish variation in relationship of the building frontages to the street. Landscape buffers should be provided along driveways which are adjacent to any project which includes residential development.



*Podium parking screening*

- b. Landscape buffers in addition to other screening techniques should also be provided as a means to screen trash collection areas, and above grade surface parking.

## 5.9 PARKING

Parking areas, whether at grade or in a structure, shall be completely screened from the public street view. Above-grade parking structures shall be completely screened at the street level by architectural features including retail spaces, stoops, porches, landscaping or other pedestrian oriented design features.

## 5.10 ENERGY CONSERVATION—SHADE AND SHADOW

Energy consumption shall be minimized using the following features where feasible: cogeneration, solar access, south facing windows with eave coverage, double glazed windows, deciduous shade trees, good ventilation, efficient lighting, and day lighting.

Individual units, where possible, should be oriented such that they receive a minimum of two (2) hours of direct sunlight in major living spaces such as living rooms, dining rooms, dens, great rooms, or kitchens on the day of the winter solstice.

## 5.11 RESIDENTIAL UNIT SIZE

An average unit size of 1,200 square feet per unit will be used as a guideline to assess the overall quality and livability of any residential units. The mix of unit sizes within a project should be more heavily weighted towards units larger than 1,000 square feet in size.



## 6.0 Signs

Building identification and signage can be used as a creative tool to enhance the look and design of a development project. When signs are designed to complement the form and function of the building and its users, it contributes to the aesthetics of the project and aids in way finding. The City desires to encourage creative sign proposals where the standard provisions of Article XI do not well suit a particular need, situation, or circumstance. In exchange, certain signs that otherwise would be allowed by Article XI might not be allowed.



*Main access signage*

### 6.1 MASTER SIGN PROGRAM

Building identification and signage can be used as a creative tool to enhance the look and design of a development project. When signs are designed to complement the form and function of the building and its users it contributes to the aesthetics of the project and aids in way finding. The provisions of this section encourage creative sign proposals where the standard provisions of the sign code may not well suit a particular need, situation, or circumstance. In exchange, certain signs that otherwise would be allowed might not be allowed in the MEMU Overlay Zone.

Prior to issuance of any sign permits or certificates of occupancy for any building or portion thereof, a master sign program for the entire site, including directional signs and graphics for any parking structure, shall be submitted to the Planning Commission as part of the MEMU Site Plan Review application. The purpose of the Master Sign Program is as follows:

- a. The primary purpose of a master sign program is to provide a mechanism by which the sign regulations established in the SAMC can be modified to ensure that signs for a uniquely planned or designed development are most appropriate for that development or area.
- b. A master sign program may include sign regulations that are, at the same time, both more restrictive in some respects and less restrictive in other respects than the regulations established in the SAMC. Less restrictive provisions in a master sign program may also include signs that are otherwise prohibited by the SAMC.
- c. Each master sign program application shall show to the Planning Commission's satisfaction why the modifications requested are warranted and how the total sign proposal for the development meets the general purpose and intent of the SAMC.



*Secondary access sign*



- d. The Planning Commission shall approve, conditionally approve, or disapprove any application for a master sign program based on the signage and its compatibility with the proposed development project based on the following findings:
  - 1. Compliance with the objectives of the MEMU Overlay Zone as specified in Section 1.2.
  - 2. Compliance with the purpose and objectives outlined in the Citywide Design Guidelines; and
  - 3. Compliance with the purpose and intent of Section 41-860 et seq. except for the variations specified in the Master Sign Program application.
- e. Applications for a Master Sign Program that are denied by the Planning Commission may be appealed to the City Council. Appeals from decision of the Planning Commission shall be processed and considered consistent with SAMC Chapter 41, Article 5.

# 7.0 Compatibility/Operational Standards

The following standards are intended to ensure the compatibility of the mix of residential and nonresidential uses that may occur within one building or on a development site in the MEMU Overlay Zone. These standards are intended to mitigate the potential impacts that may occur as a result of the interface between nonresidential and residential uses within one project.



*Compatible design: Public open space, retail on first level, and residential uses on top*

## 7.1 SECURITY

Residential units shall be designed to ensure the security of residents through the provision of secured entrances and exits that are separate from the nonresidential uses and are directly accessible to parking areas. Nonresidential and residential uses shall not have common entrances that provide direct access to residential units. The separation of entrances shall be shown on the development plan and the separations shall be permanently maintained.

## 7.2 RESTRICTION ON ACTIVITIES

Commercial uses shall be designed and operated, and hours of operation limited, so that neighboring residents are not exposed to offensive noise, especially from traffic, trash collection, routine deliveries, or late night activity. There shall be no loading or unloading of trucks between the hours of 9:00 P.M. and 9:00 A.M.

## 7.3 LOADING AND UNLOADING

Every building involving the receipt or distribution by vehicle of materials or merchandise incidental to carrying on such activity shall provide adequate area for the loading and unloading of vehicles, include moving vans, garbage trucks, and other delivery vehicles.



*Mixed use along corridor*

## 7.4 VIBRATIONS AND ODORS

No use, activity, or process shall produce vibrations or noxious odors that are perceptible without instruments by the average person at the property lines of the site or within the interior of residential units on the site.

## 7.5 LIGHTING

Outdoor lighting associated with commercial uses shall not adversely impact surrounding residential uses, but shall provide sufficient illumination for access and security purposes consistent with the lighting standards in Chapter 8 of the SAMC (Security Ordinance).

## 7.6 WINDOWS

Residential windows shall not directly face loading areas and docks. To the extent windows of residential units face each other, the windows shall be offset to maximize privacy.

## 8.0 Implementation

This Division includes development Standards and design principles that are designed to work in concert to facilitate the vision for the long-term development of the MEMU Overlay Zone. Successful implementation of this Division requires effective and coordinated administration of these required standards and principles by professional staff on a cooperative basis with developers and property owners with the goal of expediting the entitlement/permit process for projects consistent with the plan.

### 8.1 MEMU SITE PLAN REVIEW BY PLANNING COMMISSION

A. Any application for development subject to the provisions of the MEMU Overlay Zone shall require filing an application with the Planning Manager for approval of a MEMU Site Plan Review by the Planning Commission. The application and development plan shall contain the materials outlined in the Planning Division's Development Review Committee Checklist which includes but is not limited to the following materials that shall demonstrate conformance with the provisions of this section and other required sections of the SAMC:

1. A site plan consisting of architectural drawings or sketches and plot plans, all to a workable scale and fully dimensioned, showing the elevations of the proposed building or structure, off-street parking and other physical features such as trees, hydrants, poles, and other installations, and any other such information as determined necessary by the Planning Manager to fully evaluate any requirement of a building permit.
2. A landscape design plan, pursuant to the requirements of Section 41-1507, showing fully dimensioned private, common, and public open space areas.
3. A master sign program, pursuant to the requirements of Section 6.

B. Upon receipt of a MEMU Site Plan Review application, the same shall be reviewed by City staff to determine conformance with the provisions of the MEMU Overlay Zone and referred to the Planning Commission for review and recommendations. The Planning Commission shall review said plans for the purpose of ensuring that buildings, structures, and grounds will be in keeping with the compatibility standards and design principles of this division, and

will not be detrimental to the harmonious development of the city or impair the desirability of investment or occupation in the MEMU Overlay Zone. Depending on the level of conformance with the findings of the MEMU Overlay Zone, the Planning Commission may take any of the following actions:

1. Approve the development plan
2. Approve the development plan with conditions
3. Deny the development plan

### 8.2 FINDINGS FOR GRANTING A MEMU OVERLAY ZONE SITE PLAN REVIEW APPROVAL

The Planning Commission may grant a MEMU Overlay Zone Site Plan Review approval subject to finding the following:

- a. That the proposed development plan is consistent with and will further the objectives outlined in Section 1.2 for the MEMU Overlay Zone.
- b. That the proposed development plan is consistent with the development standards specified in Section 4 of the MEMU Overlay Zone.
- c. That the proposed development plan is designed to be compatible with adjacent development in terms of similarity of scale, height, and site configuration and otherwise achieves the objectives of the Design Principles specified in Section 5 of the MEMU Overlay Zone.
- d. That the land use uses, site design, and operational considerations in the proposed development plan have been planned in a manner that will result in a compatible and harmonious operation as specified in Section 7 of the MEMU Overlay Zone.

### 8.3 CONDITIONAL USE PERMITS, VARIANCES AND MINOR EXCEPTIONS

Conditional use permits, variances and minor exceptions in the MEMU Overlay Zone shall be processed and considered pursuant to SAMC Chapter 41, Article 5.



## 8.4 TIME LIMITS

MEMU Site Plan Review shall automatically become void after two (2) years from the effective date of such approval when the owner fails to institute an action to erect, build, alter, move or maintain the use of the property as specified in the terms and conditions of the MEMU Site Plan Review. City Council may, by resolution, extend the date on which a MEMU Site Plan Review becomes void for a period or periods not exceeding three (3) years in total beyond the date it would otherwise become void.

Acceptable action shall be considered to be actual construction, alteration, repairs and use of the structures and land. Preparation of plans, financial negotiations, or change of property owners are not considered sufficient evidence of action.

## 8.5 DEVELOPMENT CAPACITY MONITORING AND ENVIRONMENTAL REVIEW

In order to maintain conformity with the provisions of the environmental analysis completed for this project under the California Environmental Quality Act (CEQA), development capacity within the MEMU Overlay Zone shall be limited to 1.27 million gross square feet of commercial (retail and service) and 3.41 million gross square feet of office space. This corresponds to a potential net increase of 963,000 square feet of commercial, and 690,000 square feet of office space, and the potential for 5,551 residences above existing development constructed prior to March of 2007. When new development within the MEMU Overlay Zone reaches 80 percent of the allowable increased capacity, no development shall be entitled until an environmental review, including a traffic study, has been completed pursuant to CEQA. These development capacity "triggers" are as follows:

- a. Commercial—770,400 square feet
- b. Office—552,000 square feet
- c. Residential—4,440 units





SPR No. 2018-02  
ELAN MIXED-USE RESIDENTIAL COMMUNITY  
1660 EAST FIRST STREET

SITE  
PHOTO  
EXHIBIT 6





EXHIBIT 7



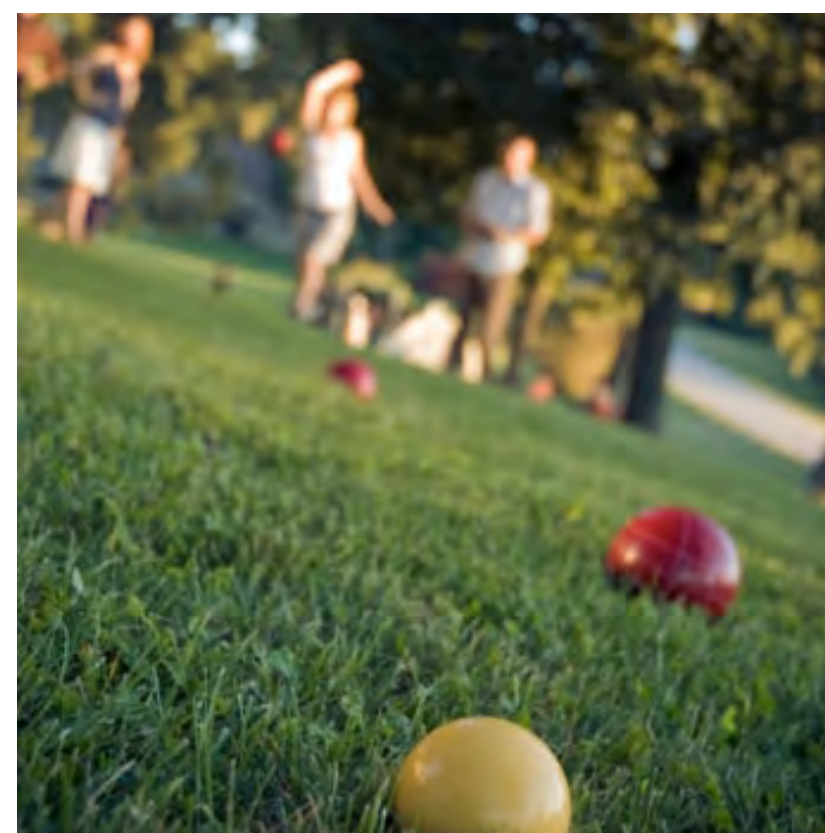
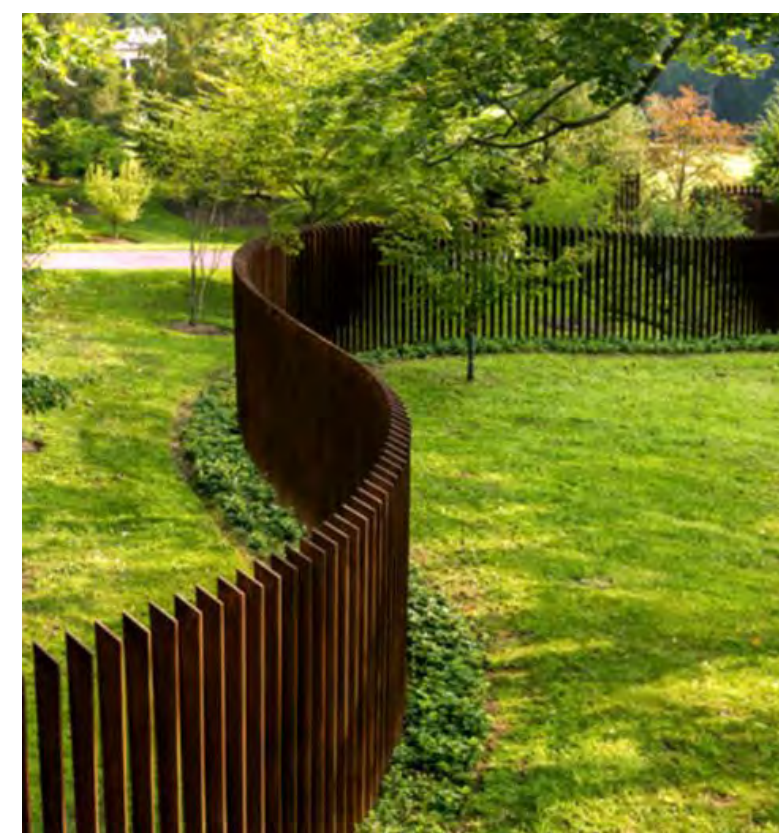
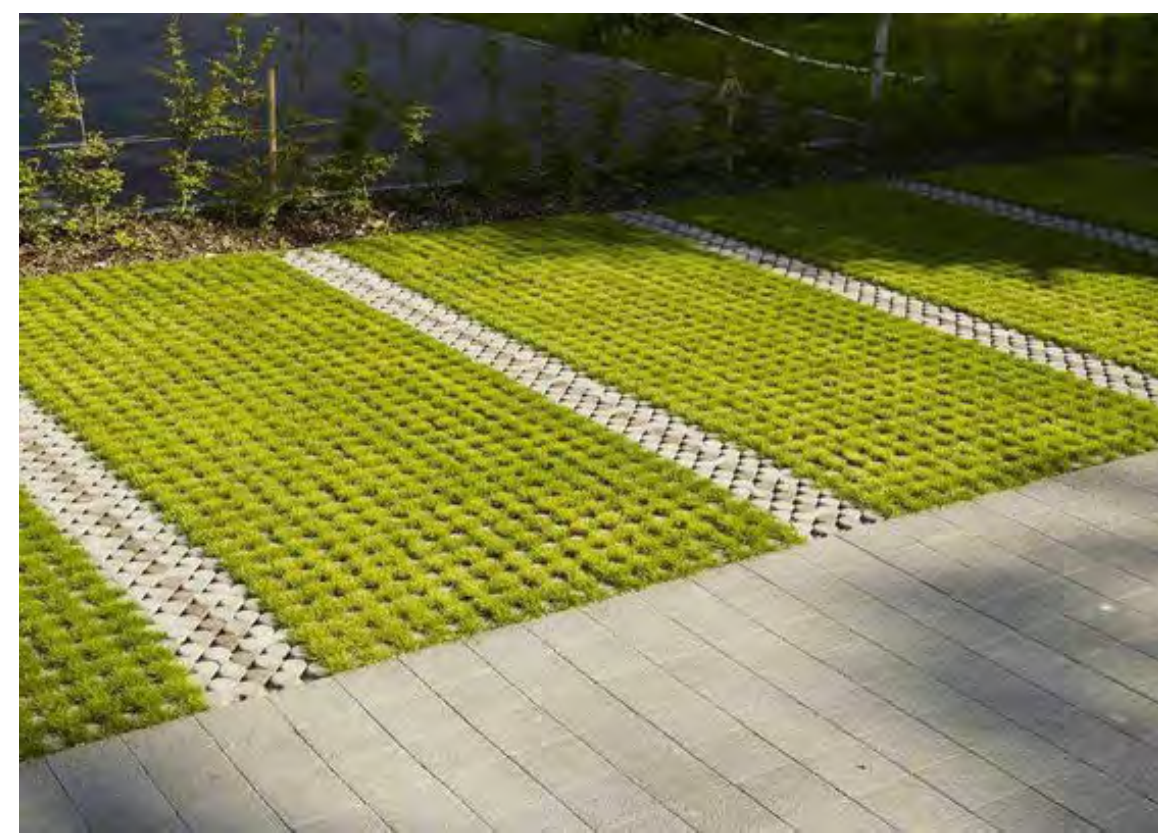
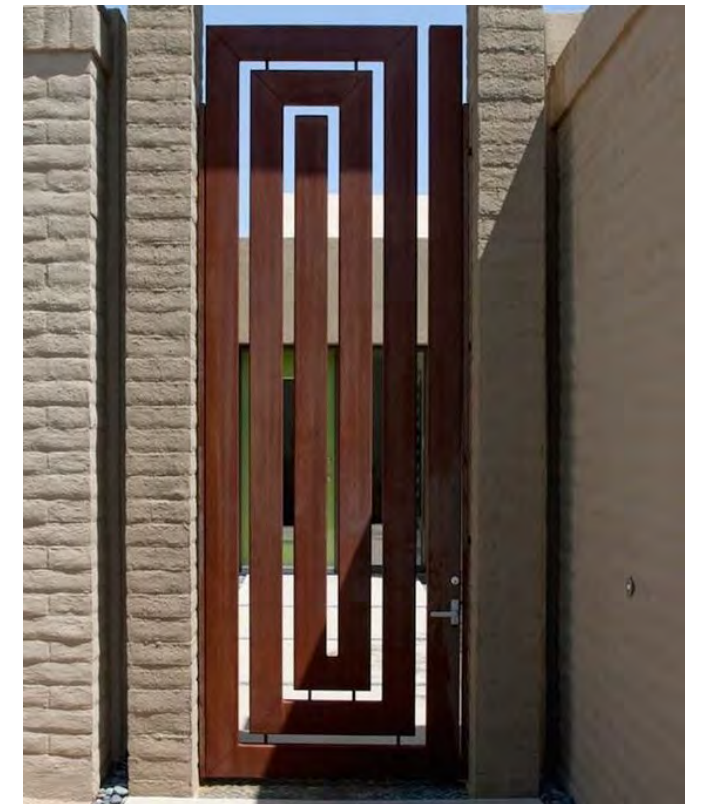


## EXHIBIT 8





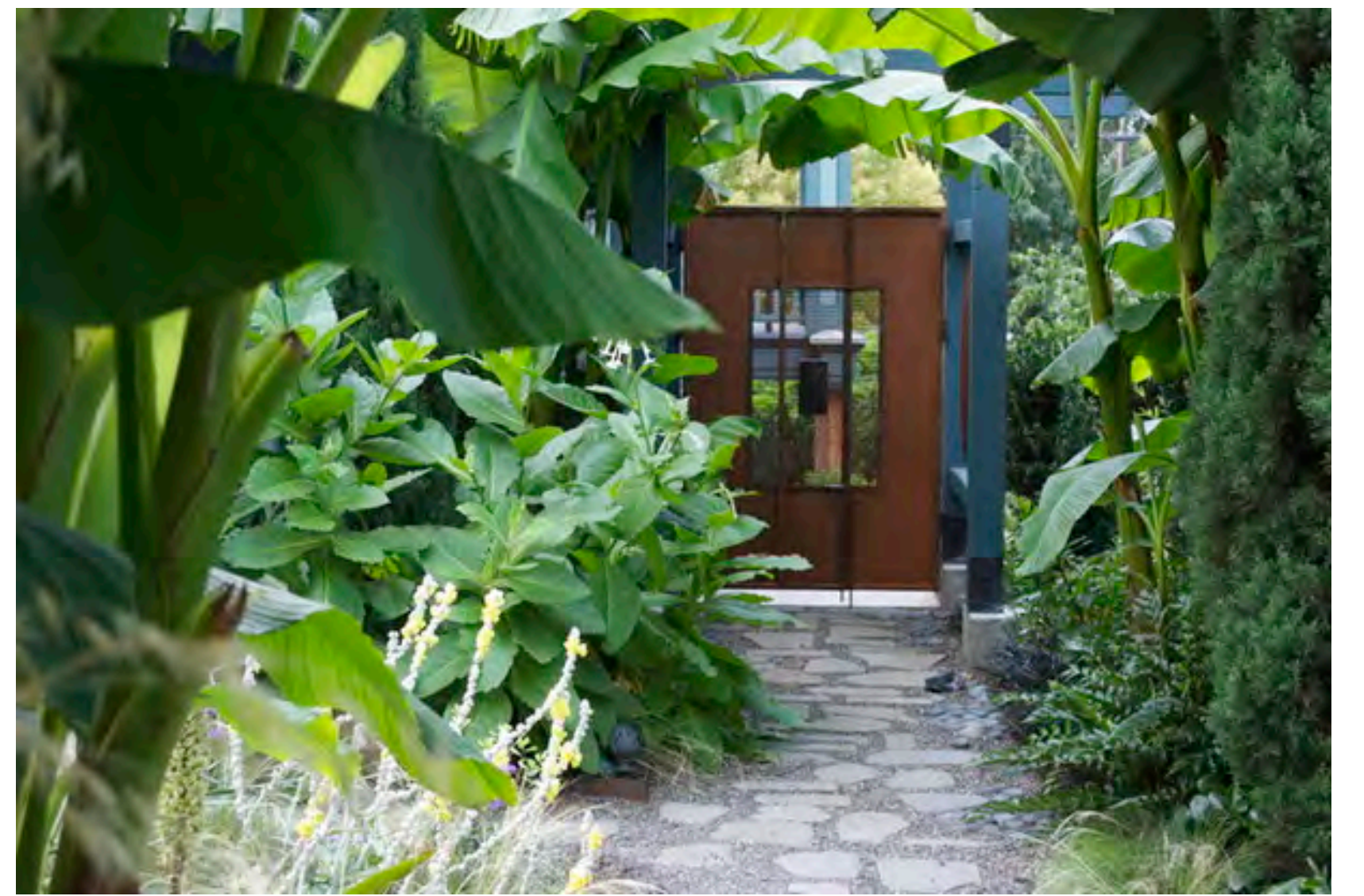




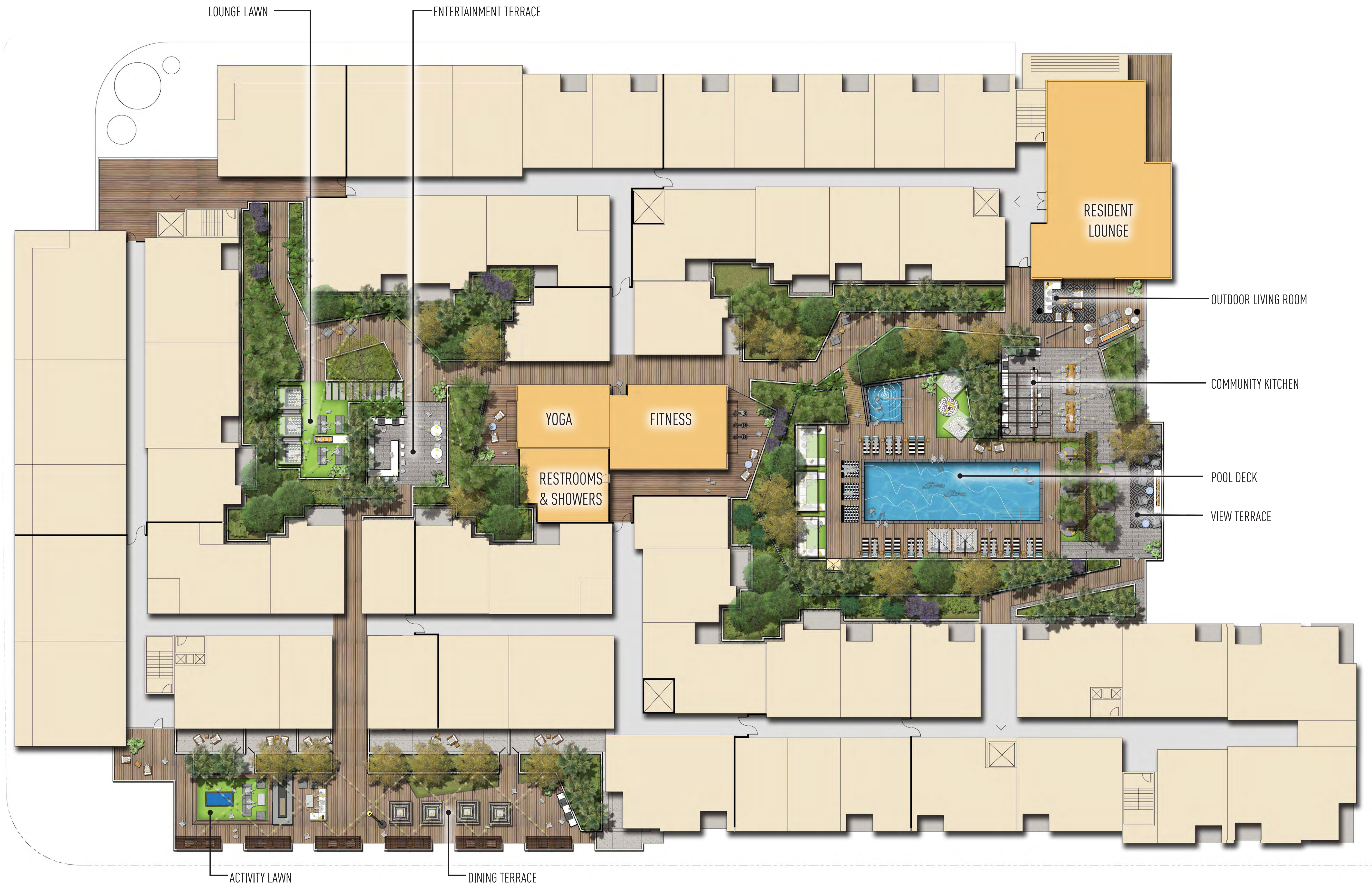




















## SITE BENCHES



## HAMMOCK



## BIKE RACKS



## HANGING CHAIRS

### PLANT PALETTE NOTES:

THIS PRELIMINARY PLANT PALETTE IS INTENDED TO REPRESENT A TYPICAL SAMPLE OF THE PROPOSED PLANTS BUT DOES NOT INDICATE THE EXACT SPECIES WHICH WILL BE DEVELOPED ON THE DETAILED PLANS.

### WUCOLS NOTE:

WUCOLS, WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, IS A UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION PUBLICATION AND IS A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS.

### TREE SURVEY NOTE:

1. SITE PREVIOUSLY GRADED. NO EXISTING TREES.

### LANDSCAPE STANDARDS:

1. LANDSCAPE TO BE DESIGNED TO CONFORM WITH THE CITY OF SANTA ANA COMMERCIAL AREA LANDSCAPE STANDARDS SEC 41-372(d).
2. PLANT MATERIALS WILL BE MAINTAINED AND DEAD MATERIAL REPLACED AS SPECIFIED IN THE CITY OF SANTA ANA CODE SECTION 41-609.

### WATER EFFICIENT LANDSCAPING:

THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:

1. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS OF THE CITY OF SANTA ANA GUIDELINES FOR WATER EFFICIENT LANDSCAPES.
2. THE ESTIMATED APPLIED WATER USE ALLOWED FOR THE LANDSCAPE AREA SHALL NOT EXCEED THE MAWA CALCULATION.

### GENERAL PLANTING NOTES:

1. MAINTAIN SHRUBS AT 24" HIGH INSIDE OF VEHICULAR LINE OF SIGHT.
2. SECURITY PLANTING MATERIALS WILL BE UTILIZED ALONG WALL AND PROPERTY LINES AND UNDER VULNERABLE WINDOWS.
3. ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 5' OF ANY HARDSCAPE SURFACE.

### POLICE DEPARTMENT SECURITY NOTES:

ADEQUATE LIGHTING OF PARKING STRUCTURE, CIRCULATION AREAS, AISLES, PASSAGEWAYS, RECESSES, and GROUNDS CONTIGUOUS TO BUILDINGS SHALL BE PROVIDED WITH LIGHTING OF SUFFICIENT WATTAGE TO PROVIDE ADEQUATE ILLUMINATION TO MAKE CLEARLY VISIBLE THE PRESENCE OF ANY PERSON ON or ABOUT THE PREMISES DURING HOURS OF DARKNESS and PROVIDE A SAFE, SECURE ENVIRONMENT FOR ALL PERSONS, PROPERTY, and VEHICLES ON-SITE.

### LANDSCAPE NOTES:

1. ALL LANDSCAPING MUST MEET THE STANDARDS SET BY THE STATE OF CALIFORNIA EMERGENCY DROUGHT PLAN.
2. ALL SYNTHETIC TURF MUST MEET THE CITY OF SANTA ANA'S STANDARDS FOR SYNTHETIC TURF.
3. ALL STREET STREETS SHALL BE 24-INCH BOX AT 35 FEET O.C. ON THEORETICAL STREET, INCLUDING DEEP ROOT IRRIGATION SYSTEMS, PER CITY STANDARDS.
4. INSTALL 24-INCH BOX STREET TREES PER THE CITY STANDARDS AND APPROVED PLAN, AS NEEDED.
5. THE DEVELOPER SHALL MAINTAIN SIDEWALK AND TREES IN THE PUBLIC RIGHT-OF-WAY.
6. LANDSCAPING ON ELK LANE AND LYON STREET SHALL BE DROUGHT TOLERANT LANDSCAPE PER THE CITY OF SANTA ANA PARKWAY GUIDELINE FOR DROUGHT TOLERANT PLANTS IN THE EXISTING PARKWAY.
7. A NEW DEDICATED IRRIGATION WATER SERVICE WILL BE PROVIDED PER PUBLIC WORKS REQUIREMENTS. THESE FACILITIES WILL BE INSTALLED IN CONFORMANCE WITH CITY STANDARDS AND APPROVED PLANS. INSTALLATION WILL BE DONE BY THE DEVELOPERS CONTRACTOR (REQUIRING 'A' OR A 'C-34' CONTRACTING LICENSE) FOLLOWING THE ISSUANCE OF A WATER APPLICATION AND A STREET WORK PERMIT. DEMAND CALCULATIONS PER GALLON PER MINUTE FOR SIZE DETERMINATION ARE REQUIRED FOR BOTH DOMESTIC AND IRRIGATION WATER METERS. CONTACT PHILLIP VAKILI AT (714) 647-5038 FOR ASSISTANCE.

### GRAFFITI NOTES:

1. ANY GRAFFITI PAINTED OR MARKED UPON THE PREMISES OR ON ANY ADJACENT AREA UNDER THE CONTROL OF THE LICENSEE(S) SHALL BE REMOVED OR PAINTED WITHIN 24 HOURS OF BEING APPLIED.



## DRINKING FOUNTAIN

### PRELIMINARY PLANT PALETTE

PRENTICE PARK APARTMENTS  
SANTA ANA, CA

THE OBJECTIVE OF THE OVERALL LANDSCAPING CONCEPT IS TO PROVIDE A DISTINCT VISUAL IMPRESSION AND BUILDING IDENTITY, SOFTEN THE URBAN EXPERIENCE, PROVIDE THE HIGHEST LEVEL OF AESTHETIC STANDARDS COMPLIMENTED BY THE QUALITY OF THE BUILDING MATERIALS THAT WILL ASSURE AN ATTRACTIVE ENVIRONMENT ENHANCING THE QUALITY OF LIFE AMONG ITS RESIDENTS AND VISITORS.

SUCCESSFUL STREETSCAPES ARE A PARTNERSHIP BETWEEN THE BUILDING DESIGN AND THE LANDSCAPED EDGE OF THE STREET DISTINGUISHING PRENTICE PARK LANE, LYON STREET & FIRST STREET THROUGH DISTINCTIVE LANDSCAPING, STREET TREE SPACING, LIGHTING AND STREET FURNISHINGS.

THE LANDSCAPE IRRIGATION CONCEPT FOR THE SITE WILL BE DESIGNED TO PROVIDE THE MOST EFFICIENT AND CONSERVING MEANS TO DISTRIBUTE IRRIGATION WATER AND PROVIDE THE PROPERTY MANAGEMENT COMPANY WITH THE LATEST TECHNOLOGY FOR WATER CONSERVATION AND DISTRIBUTION. THE PRELIMINARY PLANT PALETTE IS DESIGNED TO UTILIZE A MAJORITY OF WATER-CONSERVING PLANTS.

THE FOLLOWING PLANT MATERIAL AS SELECTED IS COMPLIANT WITH CITY OF SANTA ANA WATER CONSERVATION MEASURES WITH CONSIDERATION FOR NON-INVASIVE SPECIES.

#### TREES:

Botanical Name	Common Name	Size:
First Street:		
<i>Platanus a. 'Bloodgood'</i>	Plane Tree (to match existing)	36" box
Location to be coordinated with City of Santa Ana Public Works Street Tree Supervisor		
Tree to be planted in 6' x 4' tree wells.		
Elk Lane:		
<i>Celtis speciosa</i>	Floss Silk Tree	24" box
<i>Eucalyptus citrodora</i>	Lemon-Scented Gum	24" box
<i>Eucalyptus ficifolia</i>	Red-Flowering Gum	24" box
<i>Jacaranda mimosifolia</i>	Jacaranda	36" box
<i>Magnolia g. 'St. Mary'</i>	Southern Magnolia	36" box
<i>Quercus virginiana</i>	Southern Live Oak	36" box
<i>Tipuanu tipu</i>	Tipu Tree	36" box
<i>Tristania conferta</i>	Brisbane Box	36" box

Lyon Street:		
<i>Tristania conferta</i>	Brisbane Box	24" box
Location to be coordinated with City of Santa Ana Public Works Street Tree Supervisor		
Tree to be planted in 6' x 4' tree wells.		

Central Courtyard Trees:		
<i>Aloe barberae</i>	Tree Aloe	24" box
<i>Arbutus x 'Marina'</i>	Hybrid Strawberry Tree	36" box
<i>Archontophoenix cunninghamiana</i>	King Palm	48" box
<i>Bambusa oldhamii</i>	Timber Bamboo	24" box
<i>Brahea armata</i>	Mexican Blue Palm	36" box
<i>Dracaena draco</i>	Dragon Tree	24" box
<i>Erythrina crista-galli</i>	Cockspur Coral Tree	48" box
<i>Jacaranda mimosifolia</i>	Jacaranda	36" box
<i>Olea europae 'Wilsonii'</i>	Fruitless Olive	48" box
<i>Platanus mexicana</i>	Mexican Sycamore	36" box
<i>Plumeria obtusa 'Singapore White'</i>	Singapore Plumeria	36" box
<i>Prunus caroliniana 'Bright &amp; Tight'</i>	Compact Carolina Cherry	24" box
<i>Quercus agrifolia</i>	Coast Live Oak	48" box
<i>Spathodea campanulata</i>	African Tulip Tree	48" box
<i>Tabebuia ipe</i>	Pink Trumpet Tree	36" box
<i>Tipuanu tipu</i>	Tipu Tree	36" box
<i>Trachycarpus fortunei</i>	Windmill Palm	6'-10' b.t.h.
<i>Washingtonia robusta</i>	Mexican Fan Palm - Hts. vary	12'-24' b.t.h.

Pool Courtyard Trees/Palms (in raised planters over-structure):		
<i>Arbutus x 'Marina'</i>	Hybrid Strawberry Tree	36" box
<i>Archontophoenix cunninghamiana</i>	King Palm	48" box
<i>Bambusa oldhamii</i>	Timber Bamboo	24" box
<i>Dactylocten 'Medjool'</i>	Medjool Date Palm - matching hts.	18' b.t.h.
<i>Dracaena draco</i>	Dragon Tree	24" box
<i>Ficus m. 'Green Gem'</i>	Green Gem Laurel (Column)	36" box
<i>Howea forsteriana</i>	Kentia Palm	36" box
<i>Laurus nobilis 'Saratoga'</i>	Sweet Bay (Column)	36" box
<i>Magnolia 'Little Gem'</i>	Southern Magnolia	36" box
<i>Olea europae 'Wilsonii'</i>	Fruitless Olive	48" box
<i>Prunus caroliniana 'Bright &amp; Tight'</i>	Compact Carolina Cherry	24" box
<i>Strelitzia nicolai</i>	Giant Bird of Paradise	24" box
<i>Tabebuia ipe</i>	Pink Trumpet Tree	48" box
<i>Trachycarpus fortunei</i>	Windmill Palm	6'-10' b.t.h.

Entertainment Terraces (in raised planters over-structure):		
<i>Aloe barberae</i>	Tree Aloe	24" box
<i>Arbutus x 'Marina'</i>	Hybrid Strawberry Tree	36" box
<i>Archontophoenix cunninghamiana</i>	King Palm	48" box
<i>Bambusa oldhamii</i>	Timber Bamboo	24" box
<i>Brahea armata</i>	Mexican Blue Palm	36" box
<i>Citrus species</i>	Thornless Citrus-in Pots	24" box
<i>Dracaena draco</i>	Dragon Tree	24" box
<i>Ficus m. 'Green Gem'</i>	Green Gem Laurel-Column	36" box
<i>Erythrina crista-galli</i>	Cockspur Coral Tree	48" box
<i>Howea forsteriana</i>	Kentia Palm	36" box
<i>Magnolia 'Little Gem'</i>	Southern Magnolia	36" box
<i>Olea europae 'Swan Hill'</i>	Fruitless Olive	48" box
<i>Plumeria obtusa 'Singapore White'</i>	White Plumeria	36" box
<i>Prunus caroliniana 'Bright &amp; Tight' Compact</i>	Carolina Cherry	24" box
<i>Spathodea campanulata</i>	African Tulip Tree	48" box
<i>Strelitzia nicolai</i>	Giant Bird of Paradise	36" box
<i>Tabebuia ipe</i>	Pink Trumpet Tree	48" box
<i>Trachycarpus fortunei</i>	Windmill Palm	6'-10' b.t.h.

#### TREES:

Perimeter Common Area:		
<i>Bambusa oldhamii</i>	Timber Bamboo	24" box
<i>Hymenosporum flavum</i>	Sweetshade	24" box
<i>Pinus eklarica</i>	Alghan Pine	36" box
<i>Podocarpus 'Icee Blue'</i>	Icee Blue Yellow-Wood	15 gal.
<i>Podocarpus maki</i>	Shrubby Yew Pine	24" box
<i>Tristania conferta</i>	Brisbane Box	36" box

#### SHRUBS and ACCENT PLANTS:

Botanical Name	Common Name
Large shrubs ( <i>minimum 15 gallon size at 3' o.c.</i> )	
<i>Arbutus unedo</i>	Strawberry Tree
<i>Furcraea 'Mediopicta'</i>	Mauritius Hemp
<i>Hibiscus rosa-sinensis</i>	Tropical Hibiscus
<i>Philodendron monstera</i>	Philodendron
<i>Phormium hybrids</i>	Hybrid Flax
<i>Raphiolepis 'Majestic Beauty'</i>	Yedda Hawthorne-Modular Wetland
<i>Strelitzia nicolai</i>	Giant Bird of Paradise
<i>Tecoma stans</i>	Yellow Bells

Medium Shrubs ( <i>minimum 5 gallon size</i> )	
<i>Asparagus meyeri</i>	Meyer's Asparagus
<i>Bougainvillea species</i>	Bougainvillea
<i>Callistemon 'Little John'</i>	Dwarf Bottlebrushco
<i>Dietes vegeta 'Orange Drop'</i>	Fortnight Lily
<i>Olea 'Little Olle'</i>	Little Olle Olive
<i>Pittosporum species</i>	Mock Orange
<i>Philodendron xanadu</i>	Dwarf Philodendron
<i>Raphiolepis 'Enchantress White'</i>	Yedda Hawthorn
<i>Strelitzia reginae</i>	Bird of Paradise
<i>Westringia l. 'Smokey'</i>	Dwarf Coast Rosemary

Low Shrubs and Groundcovers ( <i>minimum 5 gallon size</i> )	
<i>Buxus 'Green Beauty'</i>	Boxwood
<i>Carissa m. 'Boxwood Beauty'</i>	Natal Plum
<i>Carex species</i>	Sedge
<i>Hemerocallis hybrids</i>	Evergreen Daylilies
<i>Liriope gigantea</i>	Giant Liriope
<i>Rosmarinus o. prostratus</i>	Dwarf Rosemary

Accent/Color Shrubs ( <i>minimum 5 gallon size</i> )	
<i>Aeonium x floribundum</i>	Aeonium Hybrid
<i>Aloe species</i>	Agave
<i>Bromeliad species</i>	Bromeliad
<i>Canna species</i>	Canna
<i>Colocasia species</i>	Elephant Ears
<i>Cycas revoluta</i>	Sago
<i>Drypis lutescens</i>	Areca Palm
<i>Rose 'Carpet Red'</i>	Carpet Rose

Screen Shrubs for Above-Ground Utilities ( <i>minimum 15 gallon size</i> )	
<i>Ligustrum j. texanum</i>	Wax Leaf Privet - Column
<i>Podocarpus maki</i>	Shrubby Yew Pine
<i>Prunus c. 'Bright &amp; Tight'</i>	Compact Carolina Cherry

### GENERAL PLANTING NOTES:

1. MAINTAIN SHRUBS AT 24" HIGH INSIDE OF STREET AND DRIVEWAY LINE OF SIGHT.
2. ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 5' OF ANY HARDSCAPE SURFACE.

### UTILITY SCREENING NOTES:

ALL ABOVE-GROUND UTILITIES INCLUDING BACKFLOW DEVICES AND TRANSFORMERS WILL BE SCREENED WITH A DENSE PLANTING HEDGE TO MITIGATE VIEWS OF THE UTILITIES FROM THE PUBLIC REALM AS REQUIRED BY THE CITY OF SANTA ANA ORDINANCE.

### FIRE ACCESS NOTES:

TREES FOUND WITHIN THE FIRE LANE SHALL BE MAINTAINED AT THE MINIMUM CLEARANCE OF 13'-6" FOR FIRE DEPARTMENT ACCESS.



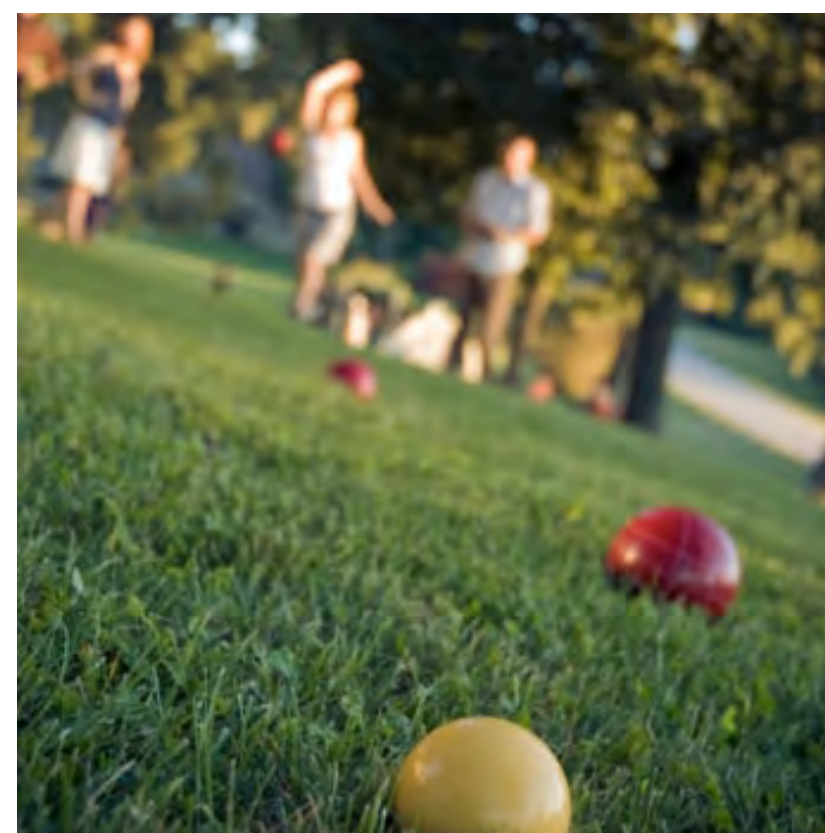
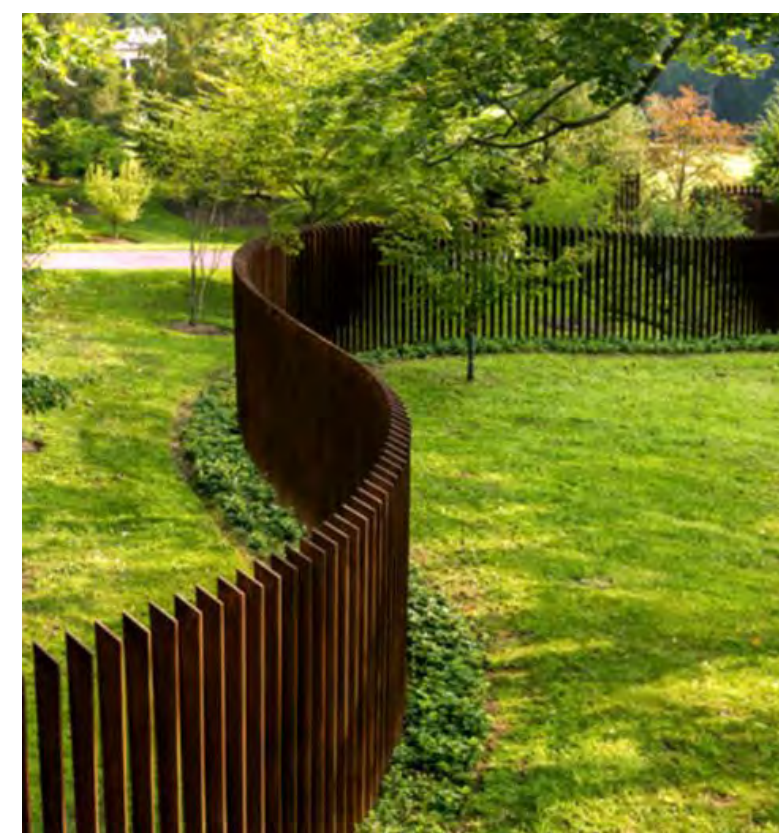
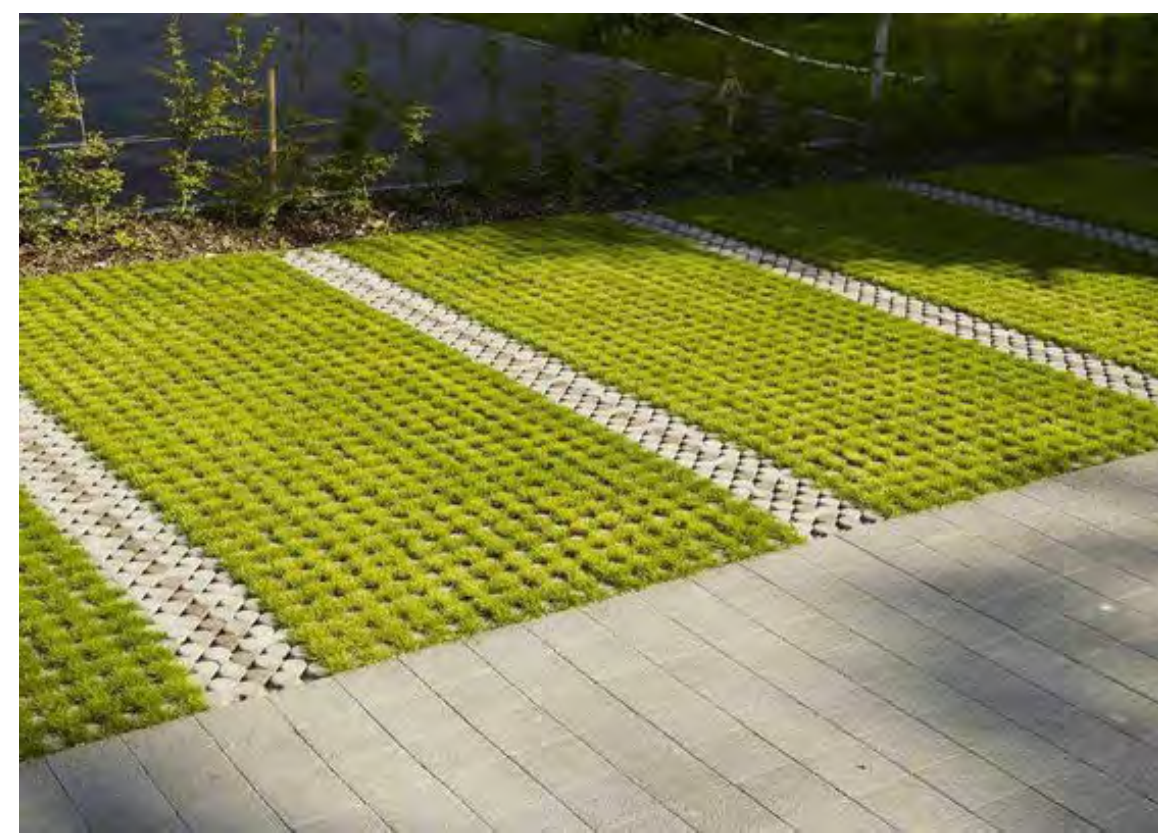
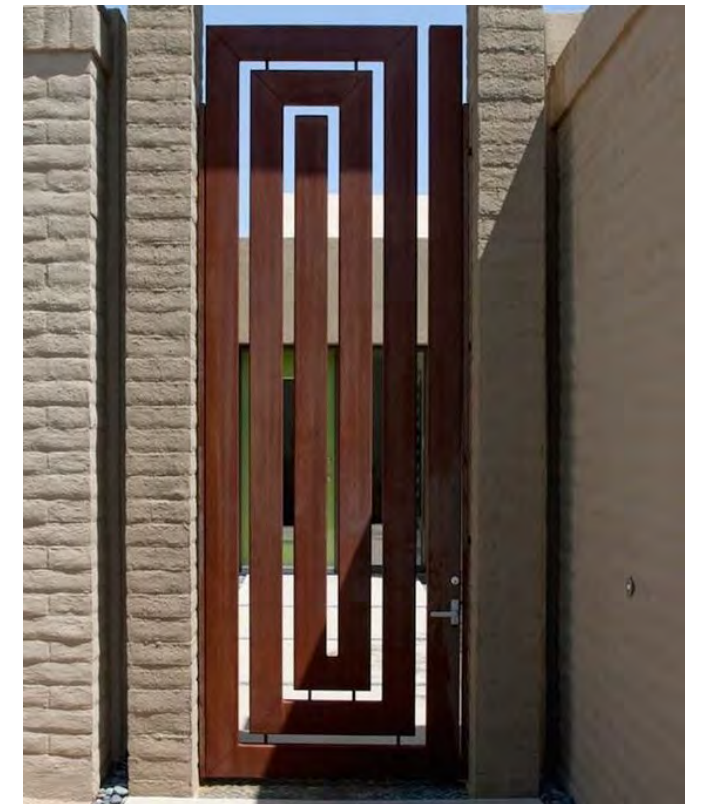
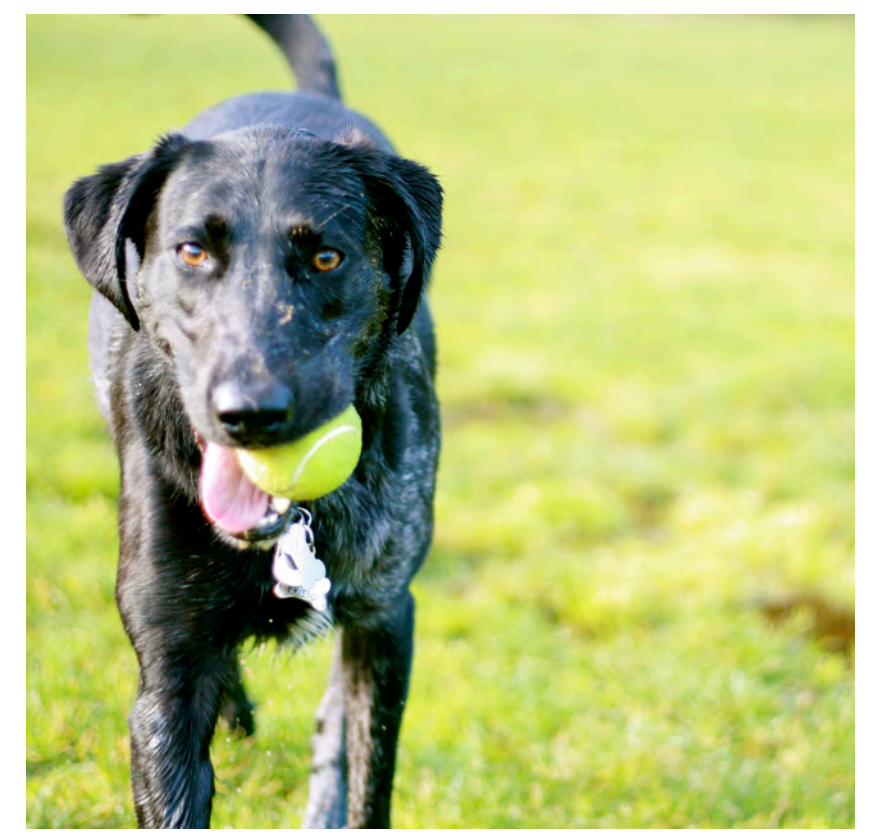






**EXHIBIT 9**

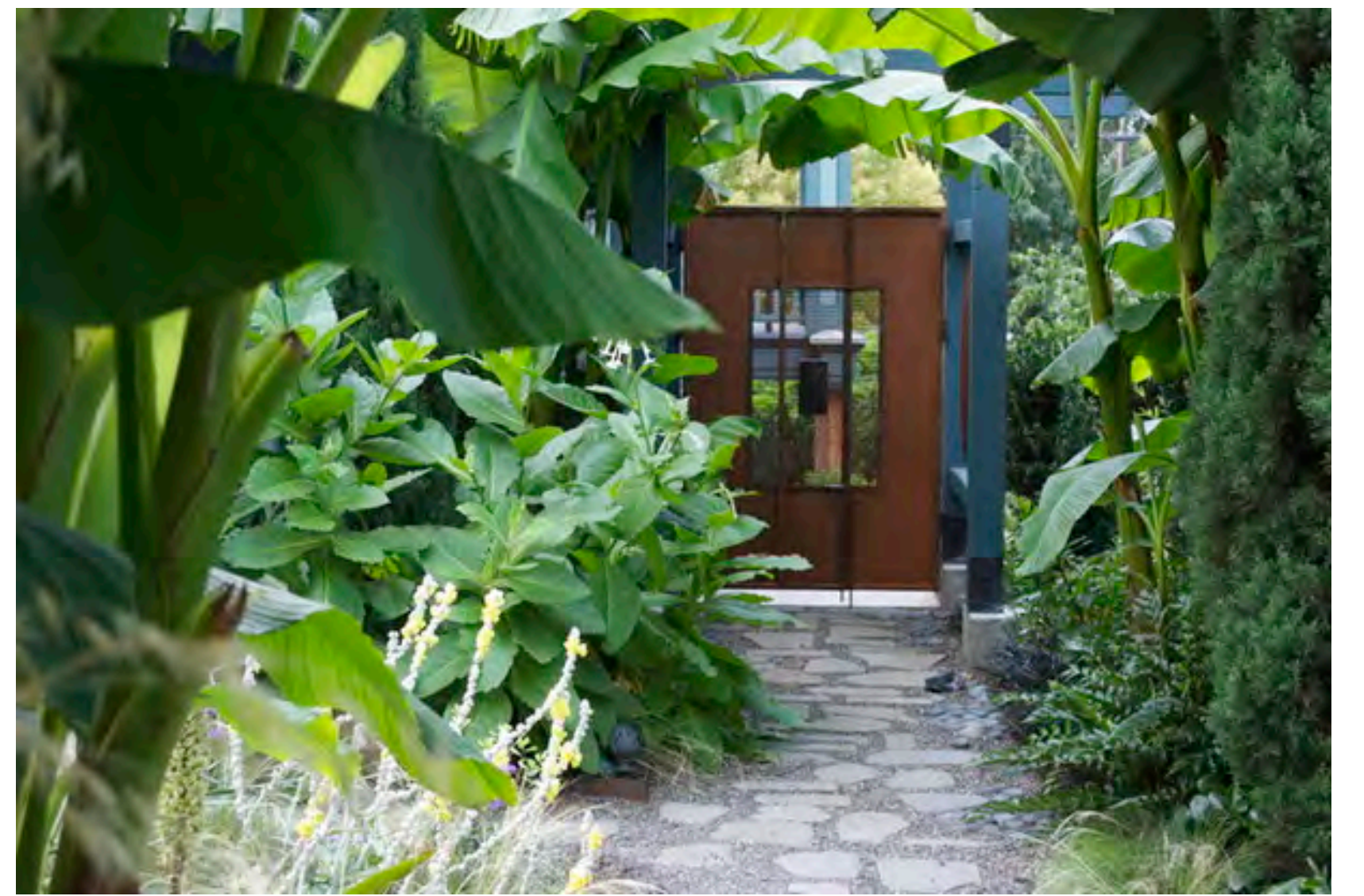




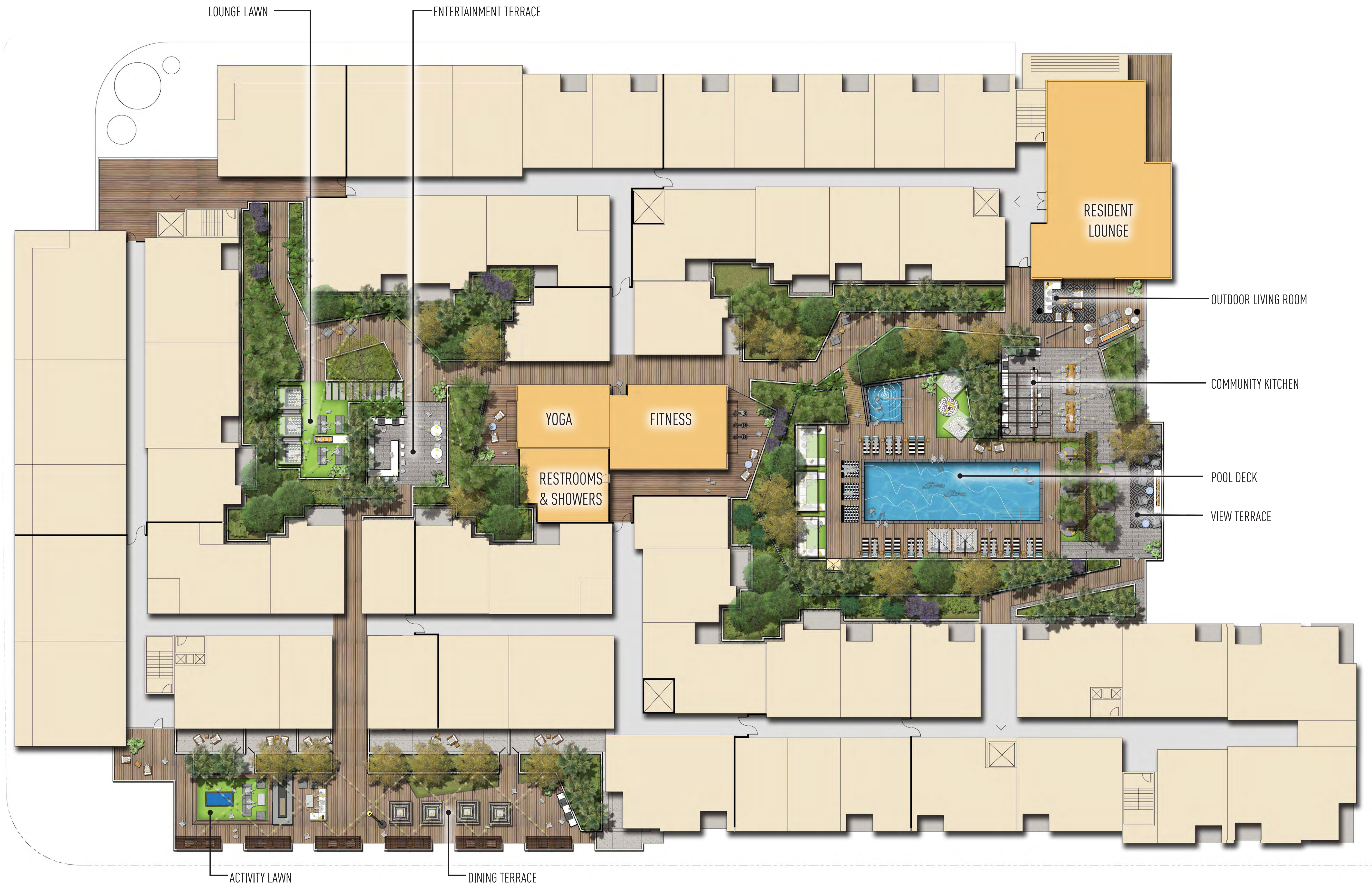




















## SITE BENCHES



## HAMMOCK



## BIKE RACKS



## HANGING CHAIRS

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6. LANDSCAPING ON ELK LANE AND LYON STREET SHALL BE DROUGHT TOLERANT LANDSCAPE PER THE CITY OF SANTA ANA PARKWAY GUIDELINE FOR DROUGHT TOLERANT PLANTS IN THE EXISTING PARKWAY.
7. A NEW DEDICATED IRRIGATION WATER SERVICE WILL BE PROVIDED PER PUBLIC WORKS REQUIREMENTS. THESE FACILITIES WILL BE INSTALLED IN CONFORMANCE WITH CITY STANDARDS AND APPROVED PLANS. INSTALLATION WILL BE DONE BY THE DEVELOPERS CONTRACTOR (REQUIRING 'A' OR A 'C-34' CONTRACTING LICENSE) FOLLOWING THE ISSUANCE OF A WATER APPLICATION AND A STREET WORK PERMIT. DEMAND CALCULATIONS PER GALLON PER MINUTE FOR SIZE DETERMINATION ARE REQUIRED FOR BOTH DOMESTIC AND IRRIGATION WATER METERS. CONTACT PHILLIP VAKILI AT (714) 647-5038 FOR ASSISTANCE.

### GRAFFITI NOTES:

1. ANY GRAFFITI PAINTED OR MARKED UPON THE PREMISES OR ON ANY ADJACENT AREA UNDER THE CONTROL OF THE LICENSEE(S) SHALL BE REMOVED OR PAINTED WITHIN 24 HOURS OF BEING APPLIED.



## DRINKING FOUNTAIN

### PRELIMINARY PLANT PALETTE

PRENTICE PARK APARTMENTS  
SANTA ANA, CA

THE OBJECTIVE OF THE OVERALL LANDSCAPING CONCEPT IS TO PROVIDE A DISTINCT VISUAL IMPRESSION AND BUILDING IDENTITY, SOFTEN THE URBAN EXPERIENCE, PROVIDE THE HIGHEST LEVEL OF AESTHETIC STANDARDS COMPLIMENTED BY THE QUALITY OF THE BUILDING MATERIALS THAT WILL ASSURE AN ATTRACTIVE ENVIRONMENT ENHANCING THE QUALITY OF LIFE AMONG ITS RESIDENTS AND VISITORS.

SUCCESSFUL STREETSCAPES ARE A PARTNERSHIP BETWEEN THE BUILDING DESIGN AND THE LANDSCAPED EDGE OF THE STREET DISTINGUISHING PRENTICE PARK LANE, LYON STREET & FIRST STREET THROUGH DISTINCTIVE LANDSCAPING, STREET TREE SPACING, LIGHTING AND STREET FURNISHINGS.

THE LANDSCAPE IRRIGATION CONCEPT FOR THE SITE WILL BE DESIGNED TO PROVIDE THE MOST EFFICIENT AND CONSERVING MEANS TO DISTRIBUTE IRRIGATION WATER AND PROVIDE THE PROPERTY MANAGEMENT COMPANY WITH THE LATEST TECHNOLOGY FOR WATER CONSERVATION AND DISTRIBUTION. THE PRELIMINARY PLANT PALETTE IS DESIGNED TO UTILIZE A MAJORITY OF WATER-CONSERVING PLANTS.

THE FOLLOWING PLANT MATERIAL AS SELECTED IS COMPLIANT WITH CITY OF SANTA ANA WATER CONSERVATION MEASURES WITH CONSIDERATION FOR NON-INVASIVE SPECIES.

#### TREES:

Botanical Name	Common Name	Size:
First Street:		
<i>Platanus a. 'Bloodgood'</i>	Plane Tree (to match existing)	36" box
Location to be coordinated with City of Santa Ana Public Works Street Tree Supervisor		
Tree to be planted in 6' x 4' tree wells.		
Elk Lane:		
<i>Celtis speciosa</i>	Floss Silk Tree	24" box
<i>Eucalyptus citrodora</i>	Lemon-Scented Gum	24" box
<i>Eucalyptus ficifolia</i>	Red-Flowering Gum	24" box
<i>Jacaranda mimosifolia</i>	Jacaranda	36" box
<i>Magnolia g. 'St. Mary'</i>	Southern Magnolia	36" box
<i>Quercus virginiana</i>	Southern Live Oak	36" box
<i>Tipuanu tipu</i>	Tipu Tree	36" box
<i>Tristania conferta</i>	Brisbane Box	36" box

Lyon Street:		
<i>Tristania conferta</i>	Brisbane Box	24" box
Location to be coordinated with City of Santa Ana Public Works Street Tree Supervisor		
Tree to be planted in 6' x 4' tree wells.		

Central Courtyard Trees:		
<i>Aloe barberae</i>	Tree Aloe	24" box
<i>Arbutus x 'Marina'</i>	Hybrid Strawberry Tree	36" box
<i>Archontophoenix cunninghamiana</i>	King Palm	48" box
<i>Bambusa oldhamii</i>	Timber Bamboo	24" box
<i>Brahea armata</i>	Mexican Blue Palm	36" box
<i>Dracaena draco</i>	Dragon Tree	24" box
<i>Erythrina crista-galli</i>	Cockspur Coral Tree	48" box
<i>Jacaranda mimosifolia</i>	Jacaranda	36" box
<i>Olea europae 'Wilsonii'</i>	Fruitless Olive	48" box
<i>Platanus mexicana</i>	Mexican Sycamore	36" box
<i>Plumeria obtusa 'Singapore White'</i>	Singapore Plumeria	36" box
<i>Prunus caroliniana 'Bright &amp; Tight'</i>	Compact Carolina Cherry	24" box
<i>Quercus agrifolia</i>	Coast Live Oak	48" box
<i>Spathodea campanulata</i>	African Tulip Tree	48" box
<i>Tabebuia ipe</i>	Pink Trumpet Tree	36" box
<i>Tipuanu tipu</i>	Tipu Tree	36" box
<i>Trachycarpus fortunei</i>	Windmill Palm	6'-10' b.t.h.
<i>Washingtonia robusta</i>	Mexican Fan Palm - Hts. vary	12'-24' b.t.h.

Pool Courtyard Trees/Palms (in raised planters over-structure):		
<i>Arbutus x 'Marina'</i>	Hybrid Strawberry Tree	36" box
<i>Archontophoenix cunninghamiana</i>	King Palm	48" box
<i>Bambusa oldhamii</i>	Timber Bamboo	24" box
<i>Dactylocten 'Medjool'</i>	Medjool Date Palm - matching hts.	18' b.t.h.
<i>Dracaena draco</i>	Dragon Tree	24" box
<i>Ficus m. 'Green Gem'</i>	Green Gem Laurel (Column)	36" box
<i>Howea forsteriana</i>	Kentia Palm	36" box
<i>Launus nobilis 'Saratoga'</i>	Sweet Bay (Column)	36" box
<i>Magnolia 'Little Gem'</i>	Southern Magnolia	36" box
<i>Olea europae 'Wilsonii'</i>	Fruitless Olive	48" box
<i>Prunus caroliniana 'Bright &amp; Tight'</i>	Compact Carolina Cherry	24" box
<i>Strelitzia nicolai</i>	Giant Bird of Paradise	24" box
<i>Tabebuia ipe</i>	Pink Trumpet Tree	48" box
<i>Trachycarpus fortunei</i>	Windmill Palm	6'-10' b.t.h.

Entertainment Terraces (in raised planters over-structure):		
<i>Aloe barberae</i>	Tree Aloe	24" box
<i>Arbutus x 'Marina'</i>	Hybrid Strawberry Tree	36" box
<i>Archontophoenix cunninghamiana</i>	King Palm	48" box
<i>Bambusa oldhamii</i>	Timber Bamboo	24" box
<i>Brahea armata</i>	Mexican Blue Palm	36" box
<i>Citrus species</i>	Thornless Citrus-in Pots	24" box
<i>Dracaena draco</i>	Dragon Tree	24" box
<i>Ficus m. 'Green Gem'</i>	Green Gem Laurel-Column	36" box
<i>Erythrina crista-galli</i>	Cockspur Coral Tree	48" box
<i>Howea forsteriana</i>	Kentia Palm	36" box
<i>Magnolia 'Little Gem'</i>	Southern Magnolia	36" box
<i>Olea europae 'Swan Hill'</i>	Fruitless Olive	48" box
<i>Plumeria obtusa 'Singapore White'</i>	White Plumeria	36" box
<i>Prunus caroliniana 'Bright &amp; Tight' Compact</i>	Carolina Cherry	24" box
<i>Spathodea campanulata</i>	African Tulip Tree	48" box
<i>Strelitzia nicolai</i>	Giant Bird of Paradise	36" box
<i>Tabebuia ipe</i>	Pink Trumpet Tree	48" box
<i>Trachycarpus fortunei</i>	Windmill Palm	6'-10' b.t.h.

#### TREES:

Perimeter Common Area:		
<i>Bambusa oldhamii</i>	Timber Bamboo	24" box
<i>Hymenosporum flavum</i>	Sweetshade	24" box
<i>Pinus eklatra</i>	Alghan Pine	36" box
<i>Podocarpus 'Icee Blue'</i>	Icee Blue Yellow-Wood	15 gal.
<i>Podocarpus maki</i>	Shrubby Yew Pine	24" box
<i>Tristania conferta</i>	Brisbane Box	36" box

#### SHRUBS and ACCENT PLANTS:

Botanical Name	Common Name
Large shrubs ( <i>minimum 15 gallon size at 3' o.c.</i> )	
<i>Arbutus unedo</i>	Strawberry Tree
<i>Furcraea 'Mediopicta'</i>	Mauritius Hemp
<i>Hibiscus rosa-sinensis</i>	Tropical Hibiscus
<i>Philodendron monstera</i>	Philodendron
<i>Phormium hybrids</i>	Hybrid Flax
<i>Raphiolepis 'Majestic Beauty'</i>	Yedda Hawthorne-Modular Wetland
<i>Strelitzia nicolai</i>	Giant Bird of Paradise
<i>Tecoma stans</i>	Yellow Bells

Medium Shrubs ( <i>minimum 5 gallon size</i> )	
<i>Asparagus meyeri</i>	Meyer's Asparagus
<i>Bougainvillea species</i>	Bougainvillea
<i>Callistemon 'Little John'</i>	Dwarf Bottlebrushco
<i>Dietes vegeta 'Orange Drop'</i>	Fortnight Lily
<i>Olea 'Little Olle'</i>	Little Olle Olive
<i>Pittosporum species</i>	Mock Orange
<i>Philodendron xanadu</i>	Dwarf Philodendron
<i>Raphiolepis 'Enchantress White'</i>	Yedda Hawthorn
<i>Strelitzia reginae</i>	Bird of Paradise
<i>Westringia l. 'Smokey'</i>	Dwarf Coast Rosemary

Low Shrubs and Groundcovers ( <i>minimum 5 gallon size</i> )	
<i>Buxus 'Green Beauty'</i>	Boxwood
<i>Carissa m. 'Boxwood Beauty'</i>	Natal Plum
<i>Carex species</i>	Sedge
<i>Hemerocallis hybrids</i>	Evergreen Daylilies
<i>Liriope gigantea</i>	Giant Liriope
<i>Rosmarinus o. prostratus</i>	Dwarf Rosemary

Accent/Color Shrubs ( <i>minimum 5 gallon size</i> )	
<i>Aeonium x floribundum</i>	Aeonium Hybrid
<i>Aloe species</i>	Agave
<i>Bromeliad species</i>	Bromeliad
<i>Canna species</i>	Canna
<i>Colocasia species</i>	Elephant Ears
<i>Cycas revoluta</i>	Sago
<i>Drypis lutescens</i>	Areca Palm
<i>Rose 'Carpet Red'</i>	Carpet Rose

Screen Shrubs for Above-Ground Utilities ( <i>minimum 15 gallon size</i> )	
<i>Ligustrum j. texanum</i>	Wax Leaf Privet - Column
<i>Podocarpus maki</i>	Shrubby Yew Pine
<i>Prunus c. 'Bright &amp; Tight'</i>	Compact Carolina Cherry

### GENERAL PLANTING NOTES:

1. MAINTAIN SHRUBS AT 24" HIGH INSIDE OF STREET AND DRIVEWAY LINE OF SIGHT.
2. ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 5' OF ANY HARDSCAPE SURFACE.

### UTILITY SCREENING NOTES:

ALL ABOVE-GROUND UTILITIES INCLUDING BACKFLOW DEVICES AND TRANSFORMERS WILL BE SCREENED WITH A DENSE PLANTING HEDGE TO MITIGATE VIEWS OF THE UTILITIES FROM THE PUBLIC REALM AS REQUIRED BY THE CITY OF SANTA ANA ORDINANCE.

### FIRE ACCESS NOTES:

TREES FOUND WITHIN THE FIRE LANE SHALL BE MAINTAINED AT THE MINIMUM CLEARANCE OF 13'-6" FOR FIRE DEPARTMENT ACCESS.





UNIT S1



UNIT A1



UNIT A1.2



UNIT A2



UNIT B1



UNIT B2



UNIT B3



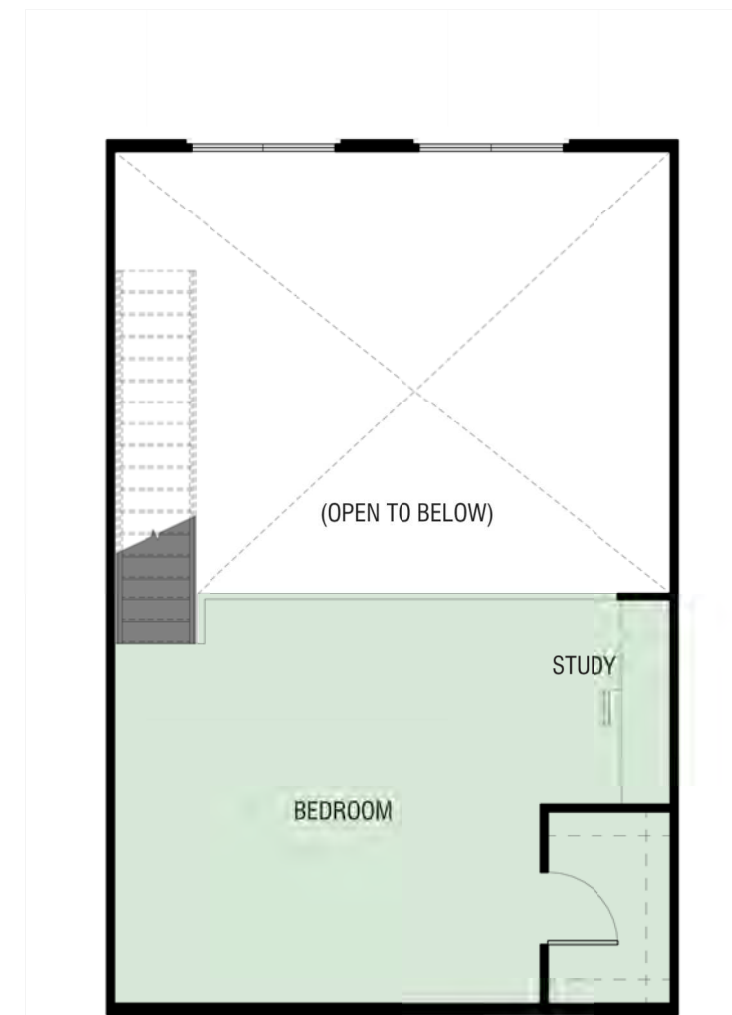
UNIT B3.1



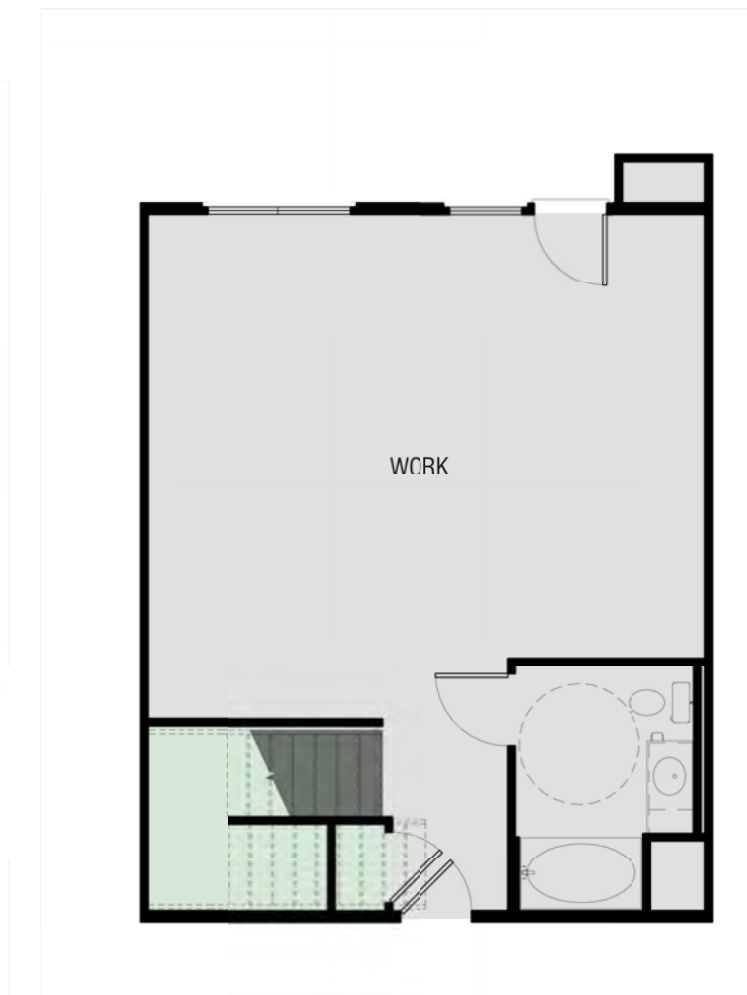
UNIT C1



LOFT  
LEVEL 1



LOFT  
LEVEL 2



LIVE/WORK  
LEVEL 1



LIVE/WORK  
LEVEL 2

GENERAL NOTES:

- 1 UNIT PLANS SHOWN ARE TYPICAL CONDITIONS ONLY. PLAN ALTERNATES MAY RESULT IN DIFFERENCES IN UNIT AND DECK AREAS.
- 2 REFER TO SHEET G-1.0 FOR ALL SQUARE FOOTAGES.
- 3 TYPICAL WINDOW LOCATIONS ARE SHOWN. REFER TO ELEVATIONS FOR VARIATIONS.
- 4 INTERIOR LAYOUTS AS SHOWN ARE PRELIMINARY AND ARE SUBJECT TO CHANGE THROUGHOUT PROJECT DEVELOPMENT

**EXHIBIT 10**





THE CENTRAL COURTYARD IS AN ACTIVE “HEART” OF THE PARK DISTRICT AND A WONDERFUL PASEO THAT CONNECTS THE LARGER COMMUNITY





THE LANDSCAPE OF THE PARK DISTRICT GIVES THIS COMMUNITY  
ITS COMPELLING QUALITY OF LIFE





GATEWAY ARRIVAL TO THE PARK DISTRICT AND THE ICONIC “LANTERN” FEATURE





ACTIVE NEIGHBORHOOD COMMERCIAL AND STEPPED MASSING





BUILDING “SET BACK” INTO LUSH COURTYARD, SIGNATURE ENTRY AND PEDESTRIAN SCALED DESIGN ELEMENTS CREATE A NEW URBANITY





DISTINCT POINTS OF ARRIVAL AND PEDESTRIAN SCALED FRONTAGES



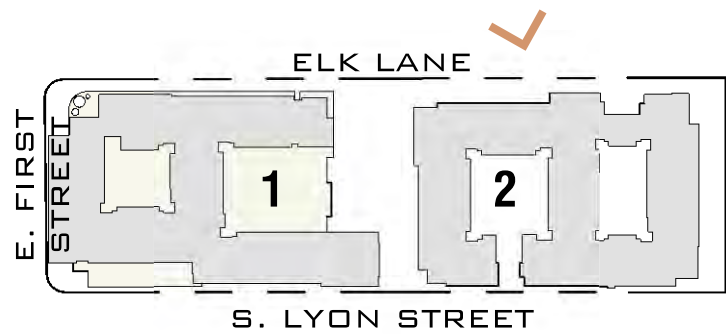


## UNIQUE LOFTS GIVE RESIDENTS AN IMMERSIVE PARK DISTRICT EXPERIENCE





UNDULATING PATIOS BLUR LINE BETWEEN NATURE AND BUILDING







LIVE/WORK REINFORCES EXISTING NEIGHBORHOOD CHARACTER  
AND CONTRIBUTES TO REVITALIZATION





ELEVATION #1

## MATERIAL LEGEND

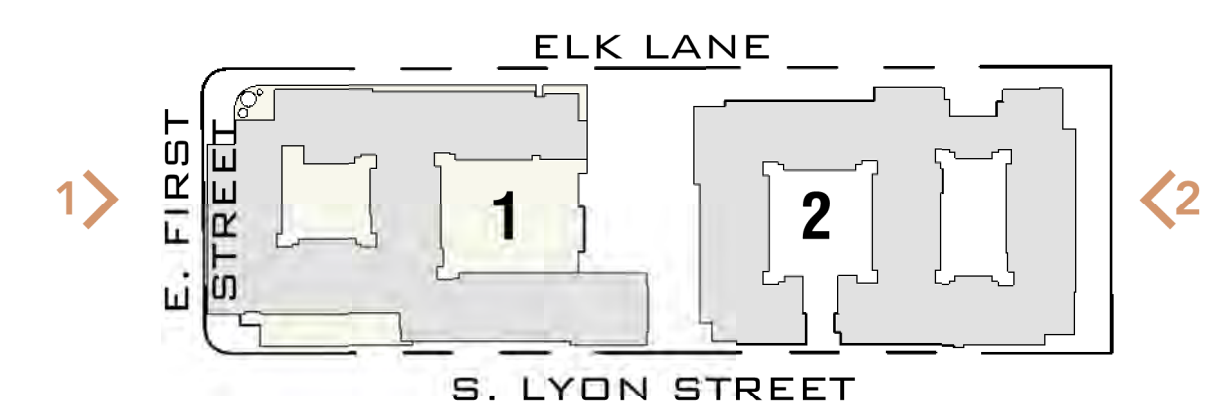
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- 2 FIBER CEMENT SIDING
- 3 GLASS RAIL
- 4 METAL PICKET RAIL
- 5 METAL BROW
- 6 CONCRETE COLUMNS
- 7 METAL FACIA CANOPY
- 8 CMU BLOCK
- 9 VINYL WINDOW
- 10 WINDOW WALL
- 11 STUCCO FRAMES
- 12 METAL SUN SHADE
- 13 WOOD RAILING



ELEVATION #2

## NOTES

- ALL FIRE RISERS, DOWNSPOUTS, GUTTERS, AND OTHER CONDUITS AND APPURTENANCES WILL BE CONCEALED WITHIN INTERIOR CONSTRUCTION.



KEY PLAN





ELEVATION #1

### MATERIAL LEGEND

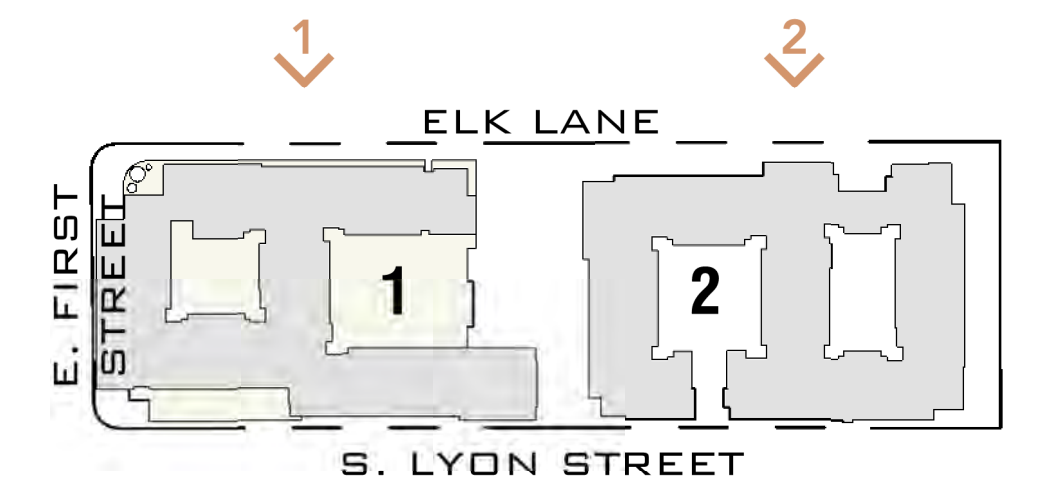
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- 3 GLASS RAIL
- 4 METAL PICKET RAIL
- 5 METAL BROW
- 6 CONCRETE COLUMNS
- 7 METAL FACIA CANOPY
- 8 CMU BLOCK
- 9 VINYL WINDOW
- 10 WINDOW WALL
- 11 STUCCO FRAMES
- 12 METAL SUN SHADE
- 13 WOOD RAILING



ELEVATION #2

### NOTES

- ALL FIRE RISERS, DOWNSPOUTS, GUTTERS, AND OTHER CONDUITS AND APPURTENANCES WILL BE CONCEALED WITHIN INTERIOR CONSTRUCTION.



KEY PLAN





## MATERIAL LEGEND

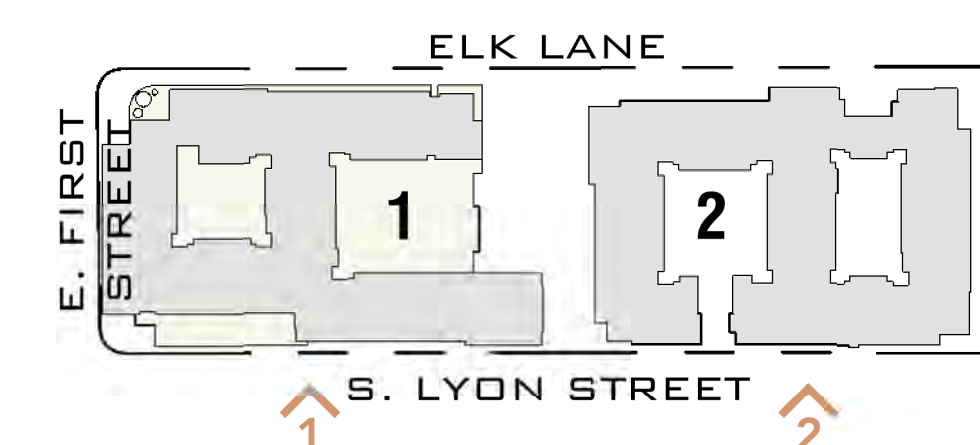
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- 4 METAL PICKET RAIL
- 5 METAL BROW
- 6 CONCRETE COLUMNS
- 7 METAL FACIA CANOPY
- 8 CMU BLOCK
- 9 VINYL WINDOW
- 10 WINDOW WALL
- 11 STUCCO FRAMES
- 12 METAL SUN SHADE
- 13 WOOD RAILING

ELEVATION #1



## NOTES

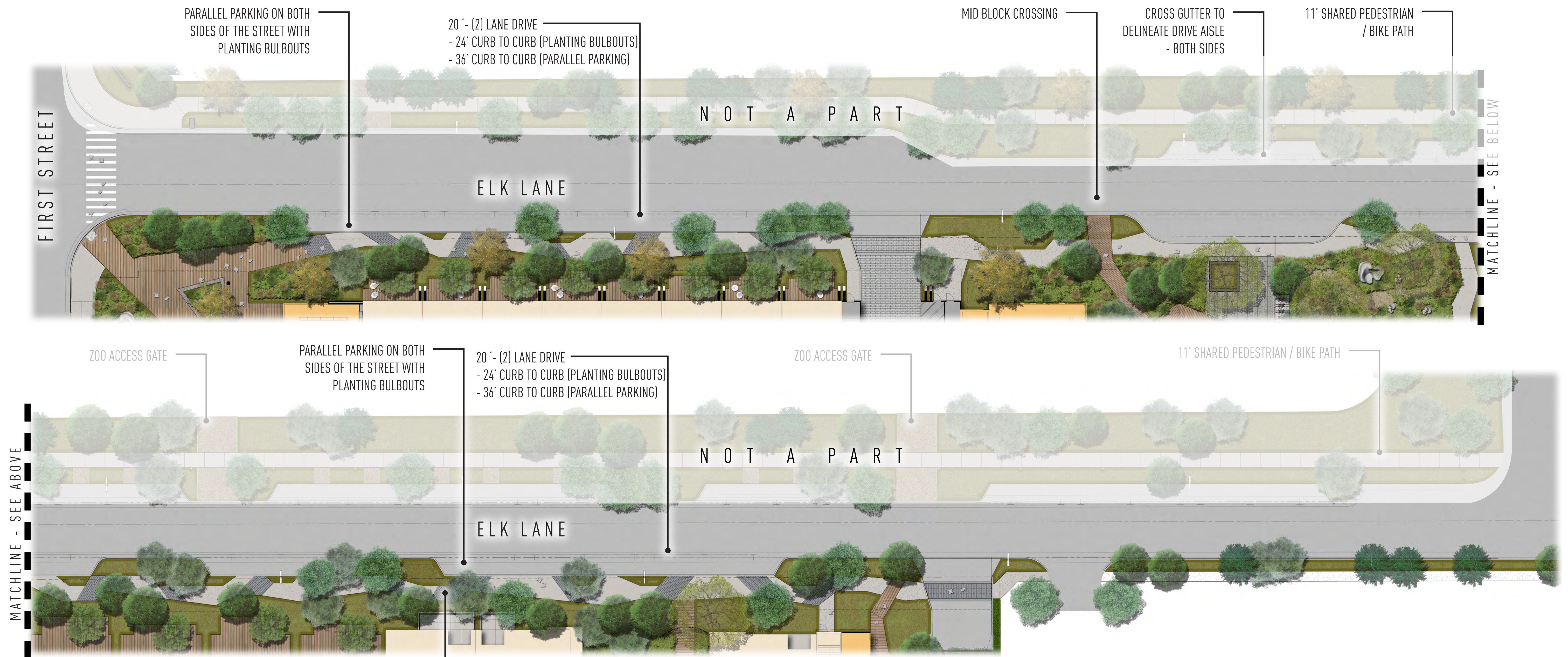
- ALL FIRE RISERS, DOWNSPOUTS, GUTTERS, AND OTHER CONDUITS AND APPURTENANCES WILL BE CONCEALED WITHIN INTERIOR CONSTRUCTION.



KEY PLAN

ELEVATION #2





## ELK LANE STREETSCAPE

### STREETSCAPE DESIGN NARRATIVE:

#### STREETSCAPE:

THE DESIGN INTENT IS TO CREATE A STREETSCAPE WITH TREE CANOPIES THAT PULLS FROM THE ZOO FLORA TO CREATE A SENSE OF COHESION AND NOT A SEPARATION AS YOUR ARRIVE FROM FIRST STREET. IN AN EFFORT TO MITIGATE CAR SPEED AND PROVIDE A TREE LINED STREETSCAPE, BULBOUTS IN THE CURBS ARE PROVIDED THE FULL LENGTH OF ELK LANE. CROSS GUTTERS ON BOTH SIDES OF THE STREET HAVE BEEN PROVIDED TO DELINEATED THE DRIVE AISLE. PARALLEL PARKING WILL BE PROVIDED BETWEEN TREE BULBOUTS.

#### SIDEWALK:

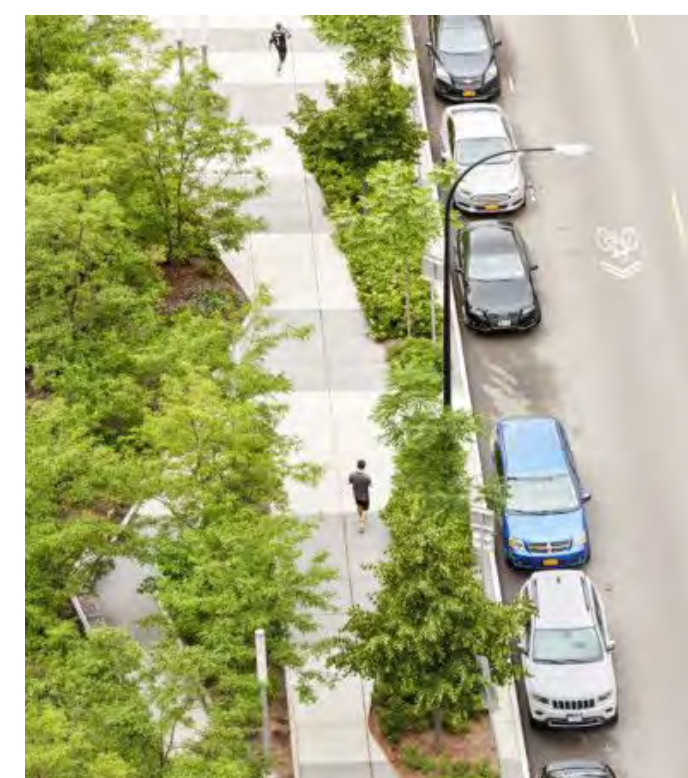
AN ANGULAR WALK DESIGN WHICH WILL ALLOW MEANDERING WHILE ALSO ALLOWING A DIRECT PATH OF TRAVEL, IF DESIRED. THE ANGULAR WALK WILL ALLOW ACCESS TO THE PARKED CARS AND PROVIDE LANDSCAPE AT THE STREETSCAPE EDGE. WALKS WILL BE ACCENTED WITH PAVER BANDS TO ENHANCE THE PEDESTRIAN EXPERIENCE.

#### ELKS STREETSCAPE

- angular meandering walk with paver or decorative concrete bands
- lush natural tree placement



SIDEWALK CONCEPT



SIDEWALK CONCEPT



STREETSCAPE CONCEPT



IRREGULAR PLANTING BULBOUTS EXAMPLE

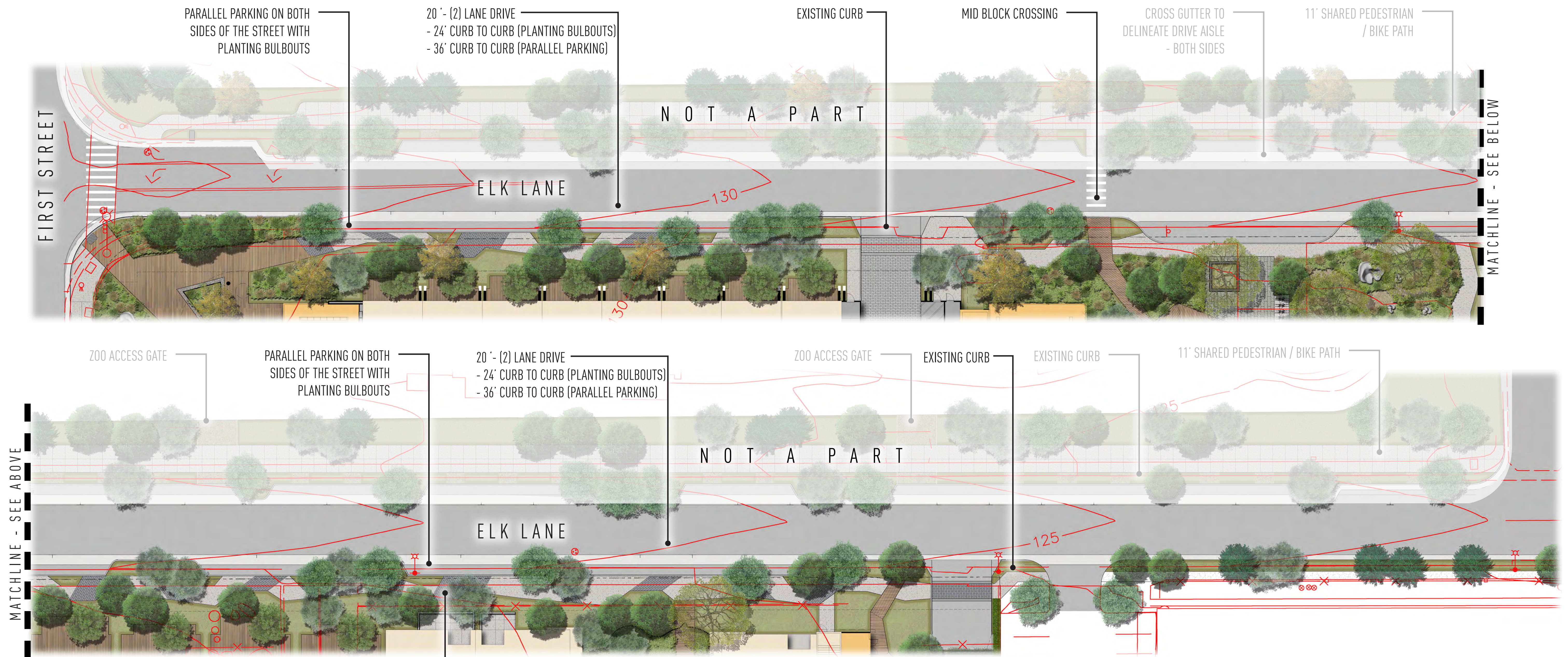
### INSPIRATIONAL IMAGERY

### EXHIBIT 13



### ELK LANE STREETSCAPE





## ELK LANE STREETScape

### ELKS STREETScape

- angular meandering walk with paver or decorative concrete bands
- lush natural tree placement

## STREETSCAPE DESIGN NARRATIVE:

### STREETSCAPE:

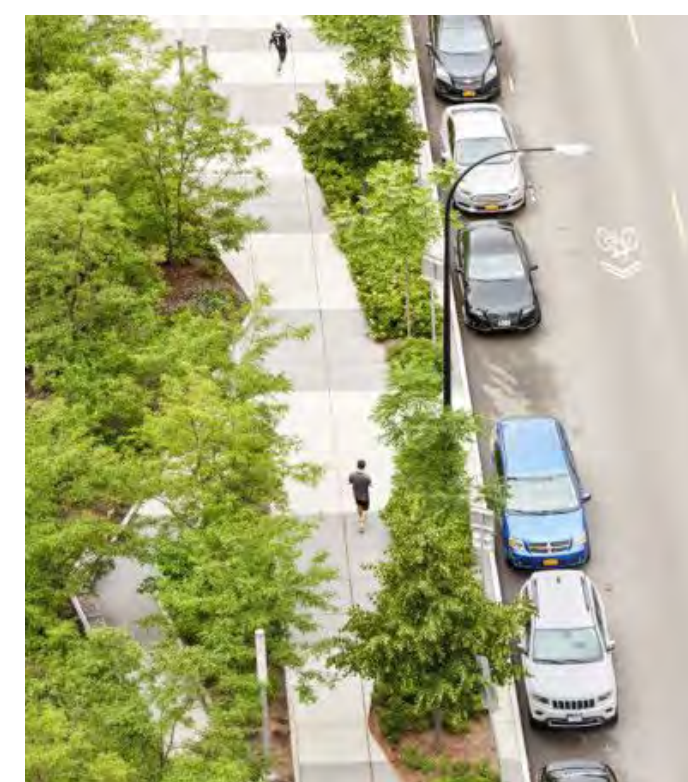
THE DESIGN INTENT IS TO CREATE A STREETSCAPE WITH TREE CANOPIES THAT PULLS FROM THE ZOO FLORA TO CREATE A SENSE OF COHESION AND NOT A SEPARATION AS YOUR ARRIVE FROM FIRST STREET. IN AN EFFORT TO MITIGATE CAR SPEED AND PROVIDE A TREE LINED STREETSCAPE, BULBOUTS IN THE CURBS ARE PROVIDED THE FULL LENGTH OF ELK LANE. CROSS GUTTERS ON BOTH SIDES OF THE STREET HAVE BEEN PROVIDED TO DELINEATED THE DRIVE AISLE. PARALLEL PARKING WILL BE PROVIDED BETWEEN TREE BULBOUTS.

### SIDEWALK:

AN ANGULAR WALK DESIGN WHICH WILL ALLOW MEANDERING WHILE ALSO ALLOWING A DIRECT PATH OF TRAVEL, IF DESIRED. THE ANGULAR WALK WILL ALLOW ACCESS TO THE PARKED CARS AND PROVIDE LANDSCAPE AT THE STREETSCAPE EDGE. WALKS WILL BE ACCENTED WITH PAVER BANDS TO ENHANCE THE PEDESTRIAN EXPERIENCE.



SIDEWALK CONCEPT



SIDEWALK CONCEPT



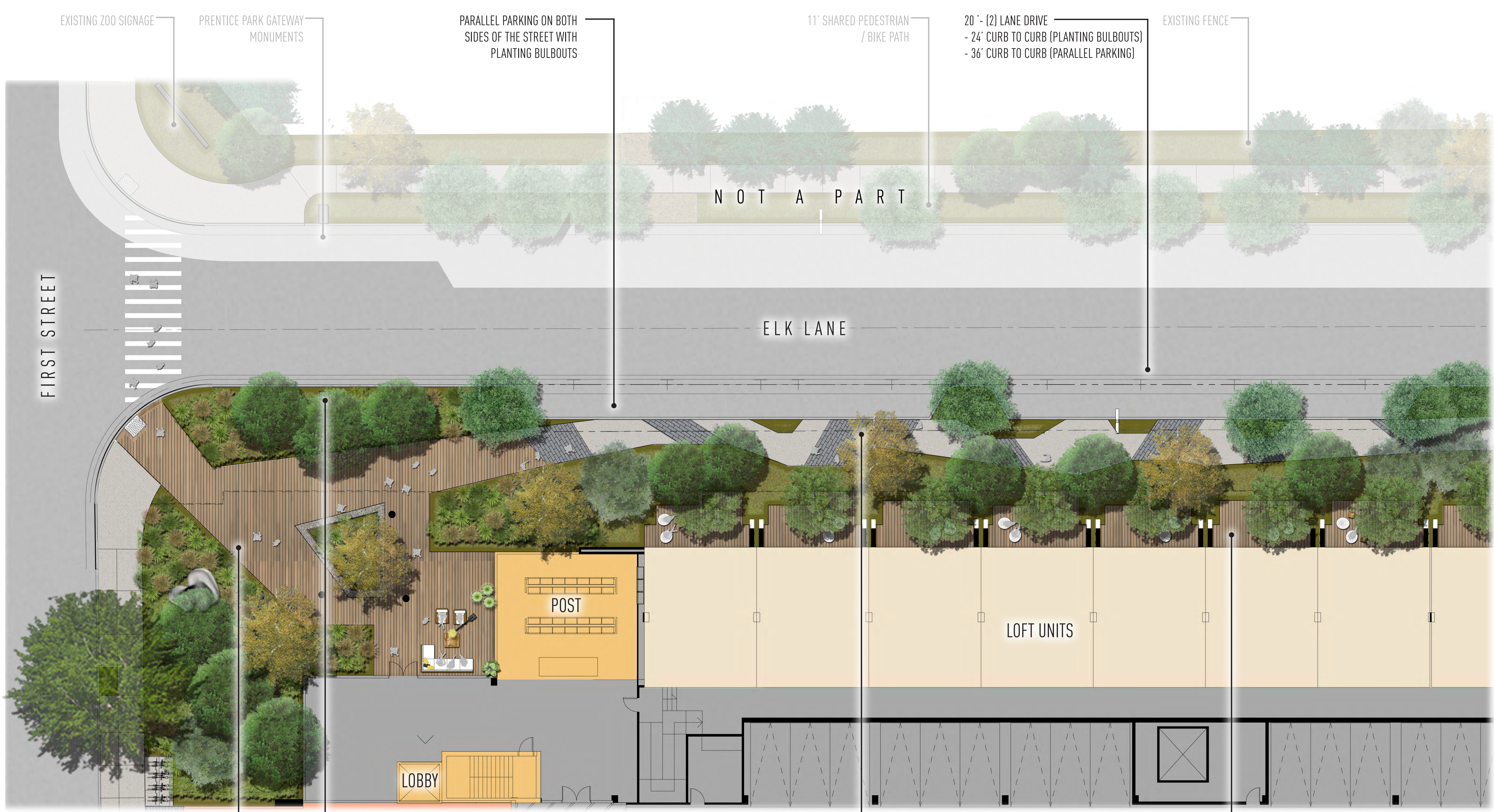
STREETSCAPE CONCEPT



IRREGULAR PLANTING BULBOUTS EXAMPLE

## INSPIRATIONAL IMAGERY





EXISTING ZOO SIGNAGE

PRENTICE PARK GATEWAY  
MONUMENTS

PARALLEL PARKING ON BOTH  
SIDES OF THE STREET WITH  
PLANTING BULBOUS

11' SHARED PEDESTRIAN  
/ BIKE PATH

20' - (2) LANE DRIVE  
- 24' CURB TO CURB (PLANTING BULBOUS)  
- 36' CURB TO CURB (PARALLEL PARKING)

EXISTING FENCE

N O T A P A R T

ELK LANE

POST

LOFT UNITS

LOBBY

- ENTRY PLAZA
- art
  - enhanced paving
  - raised metal planter
  - accent trees

PRENTICE PARK GATEWAY  
MONUMENTS

- ELKS STREETSCAPE
- angular meandering walk  
with paver or decorative  
concrete bands
  - lush natural tree placement

- PRIVATE PATIOS AT LOFT UNITS (TYPICAL)
- raised decks with irregular edges
  - patio trees
  - cable rail fence
  - direct access



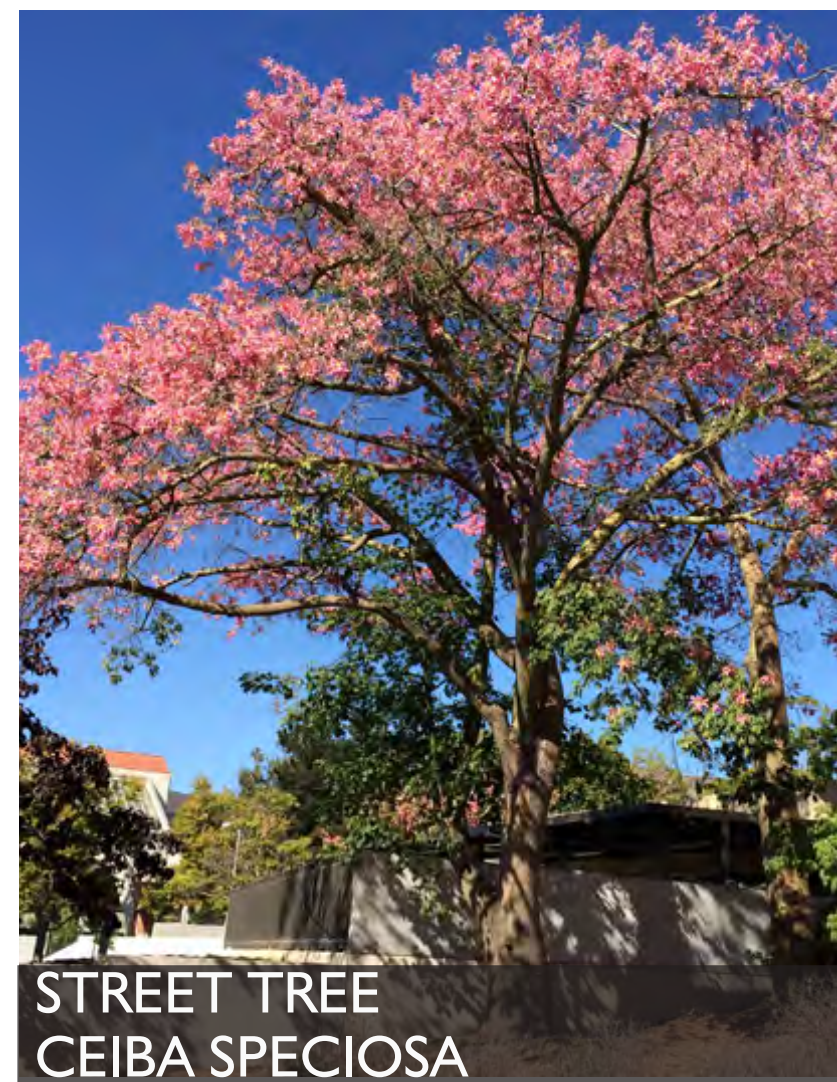


**SIDEWALK BANDS**  
**OPTION 1: PAVERS**  
 ACKERSTONE -4 X 24 -  
 GRAPHITE - RUNNING BOND

**OPTION 2: CONCRETE**  
 DARK GRAY WITH MEDIUM RELEASE



**SIDEWALK CONCRETE**  
 NATURAL GREY WITH MEDIUM RELEASE FINISH



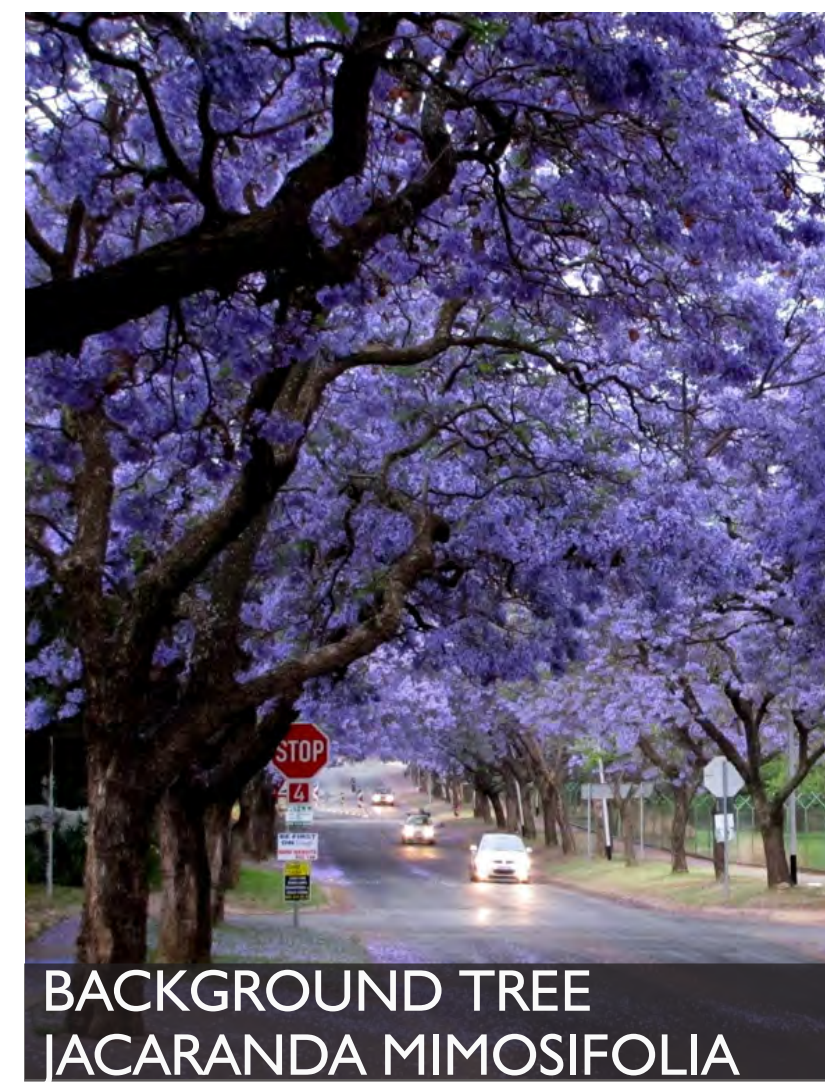
**STREET TREE**  
**CEIBA SPECIOSA**



**STREET TREE**  
**EUCALYPTUS CITRIODORA**



**BACKGROUND TREE**  
**EUCALYPTUS FICIFOLIA**



**BACKGROUND TREE**  
**JACARANDA MIMOSIFOLIA**



**POLE LIGHTS**  
**OPTION 1: VEHICULAR (HIGH) AND PEDESTRIAN (LOW)**  
 LANDSCAPE FORMS RAMA or APPROVED EQUAL -  
 COLOR: STROMCLOUD



**OPTION 2:**  
**DOUBLE KING POLE LIGHT**  
 CITY OF SANTA ANA STANDARD



**BACKGROUND TREE**  
**MAGNOLIA G. 'ST MARY'**



**BACKGROUND TREE**  
**QUERCUS VIRGINIANA**



**BACKGROUND TREE**  
**TIPUANU TIPU**



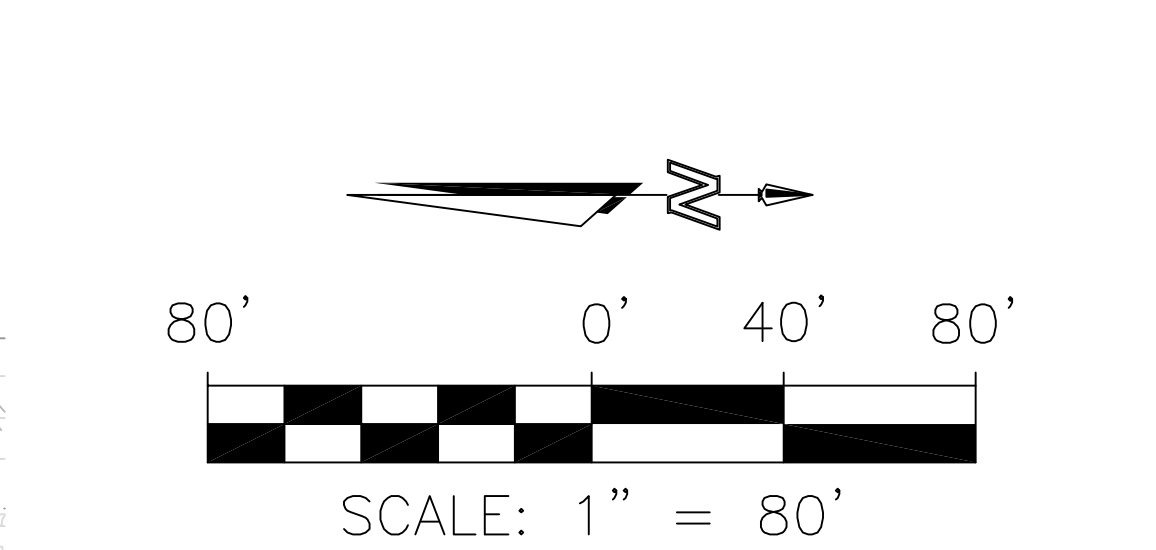
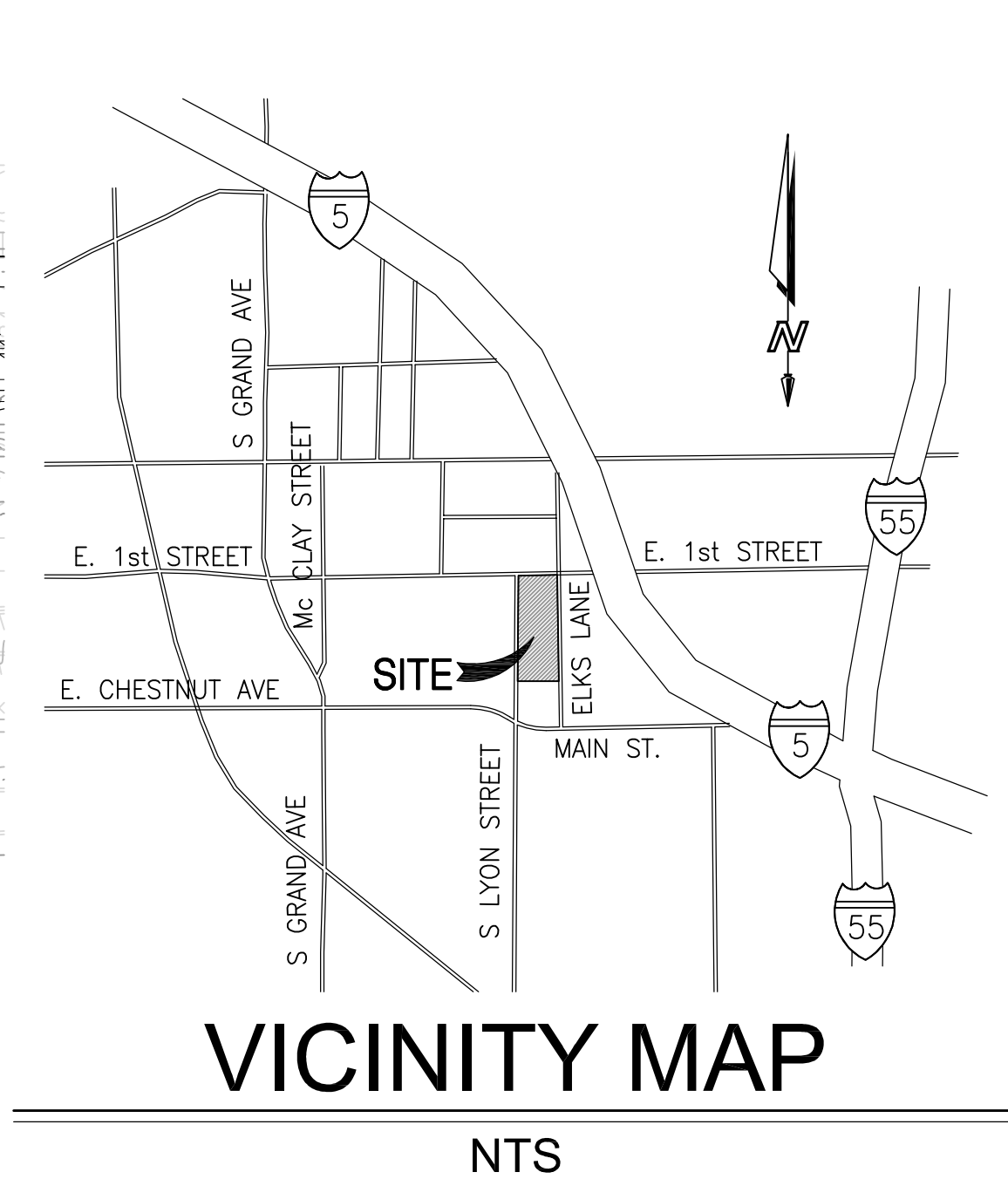
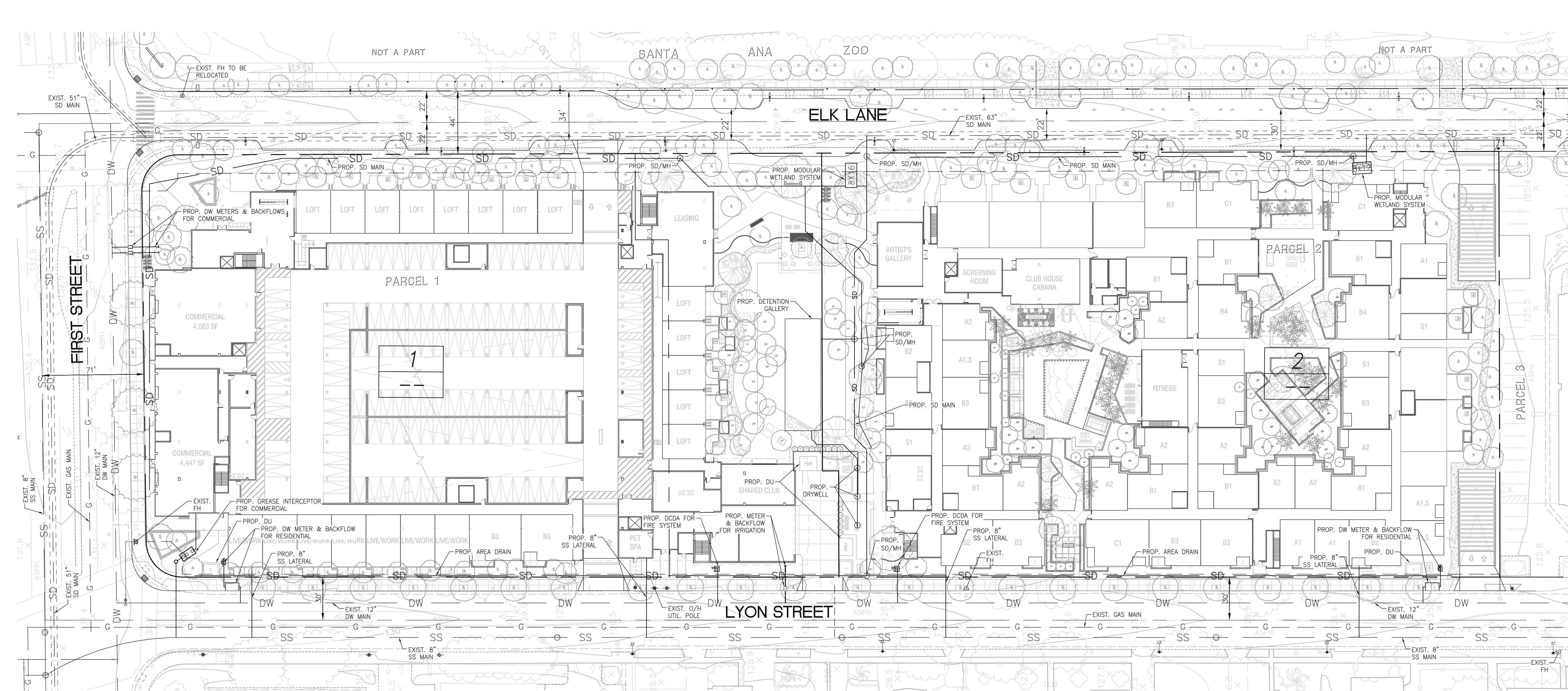
**BACKGROUND TREE**  
**TRISTANIA CONFERTA**

#### STREET LIGHTING / TREE SETBACKS:

IN ORDER TO CREATE A LUSH STREETScape, THE FOLLOWING UPRIGHT TREES TO BE PLACED 10'- 20' FROM STREETS LIGHTS (DEVIATION FROM CITY STD. I 124B):  
 CEIBA SPECIOSA  
 EUCALYPTUS CITRIODORA

THE REMAINING TREES LISTED TO BE LOCATED PER CITY STD. I 124B





OWNER:

WERMERS PROPERTIES  
5120 SHOREHAM PLACE, #150  
SAN DIEGO, CA 92122  
858.535.1475

CIVIL ENGINEER:

FUSCOE ENGINEERING  
16795 VON KARMAN AVE., SUITE 100  
IRVINE, CA 92606  
TEL: 949.474.1960

CONTACT: JOHN OLIVIER

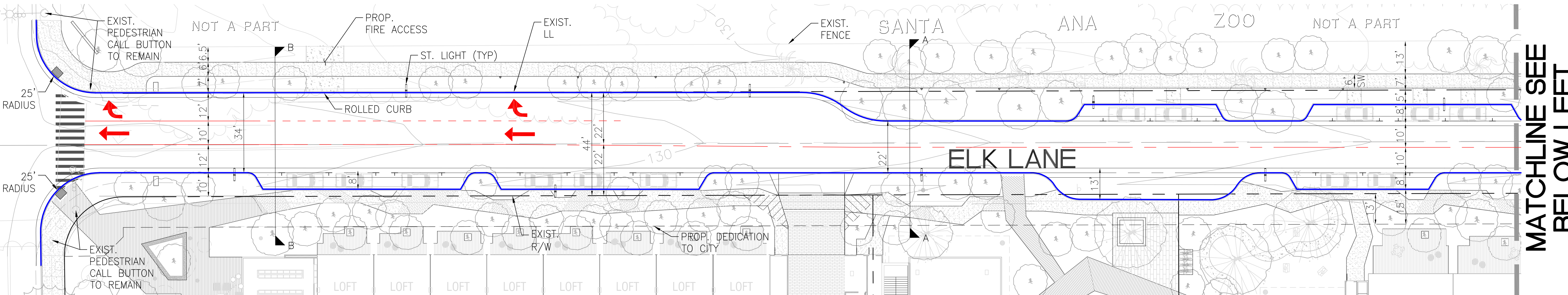
SITE ADDRESS:

1660 E. FIRST STREET  
SANTA ANA, CA 92701

LEGEND:

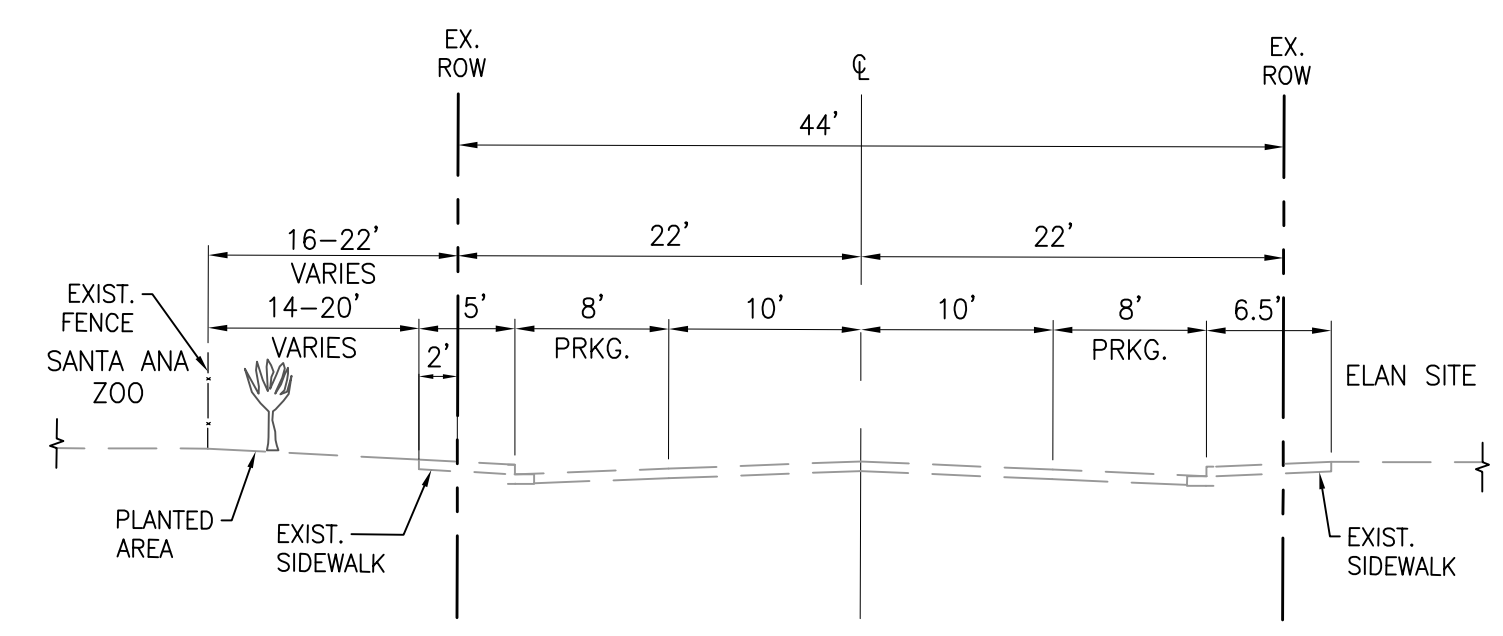
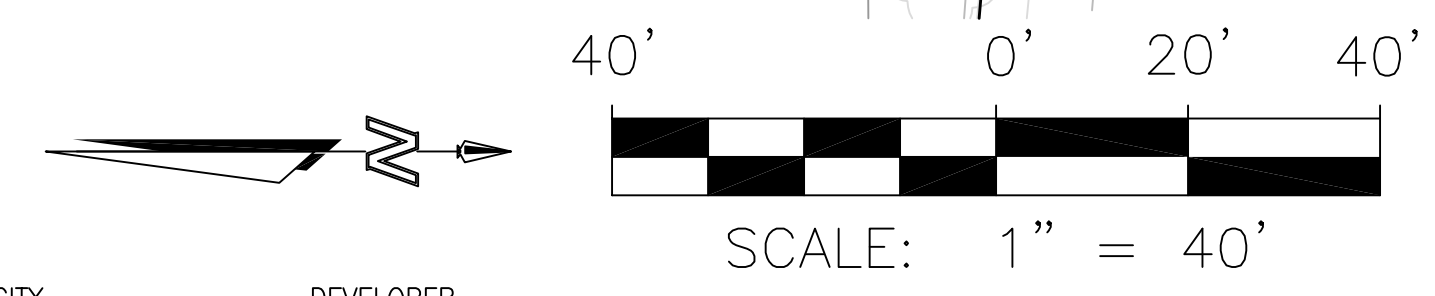
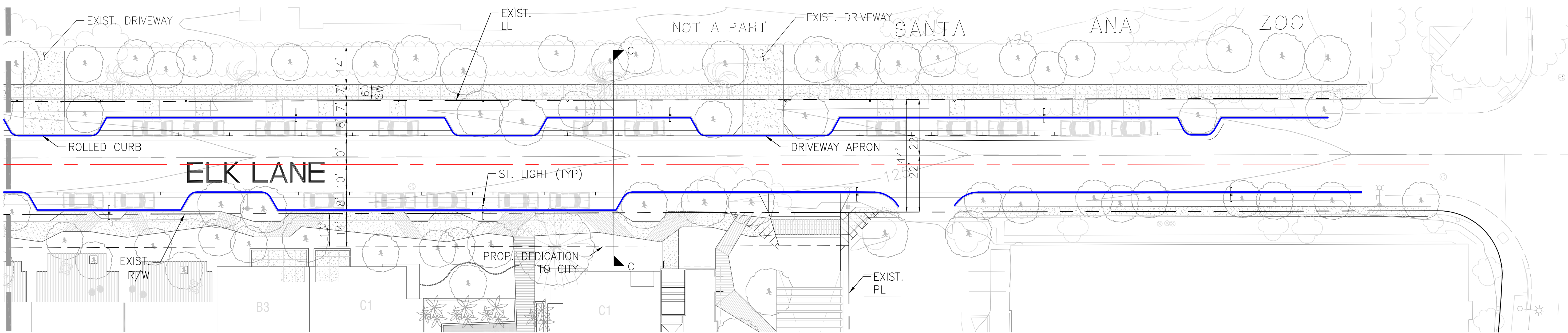
CF	CURB FACE	FH	FIRE HYDRANT
DRWY	DRIVEWAY	MH	MANHOLE
DU	DRY UTILITIES	O/H	OVERHEAD
DW	DOMESTIC WATER	PROP.	PROPOSED
EXIST.	EXISTING	SD	STORM DRAIN
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	UTIL.	UTILITY
— — — — — SS — — — — —	PROPOSED SEWER LINE		
— — — — — SD — — — — —	PROPOSED STORM DRAIN LINE		
— — — — — DW — — — — —	PROPOSED DOMESTIC WATER LINE		
— — — — — SS — — — — —	EXISTING SEWER LINE		
— — — — — SD — — — — —	EXISTING STORM DRAIN LINE		
— — — — — DW — — — — —	EXISTING DOMESTIC WATER LINE		
— — — — — G — — — — —	EXISTING GAS LINE		
⊙	EXISTING FIRE HYDRANT		
⊙	EXISTING OVERHEAD UTILITY POLE		
3	BUILDING #		
4A	BUILDING TYPE		



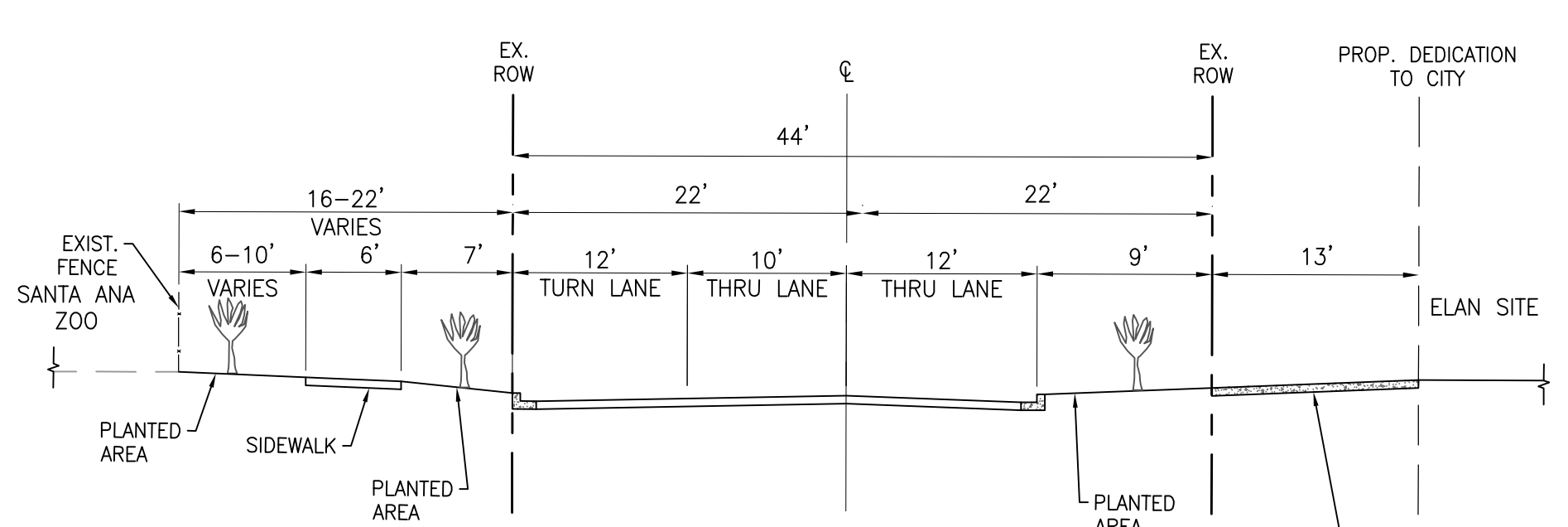


MATCHLINE SEE BELOW LEFT

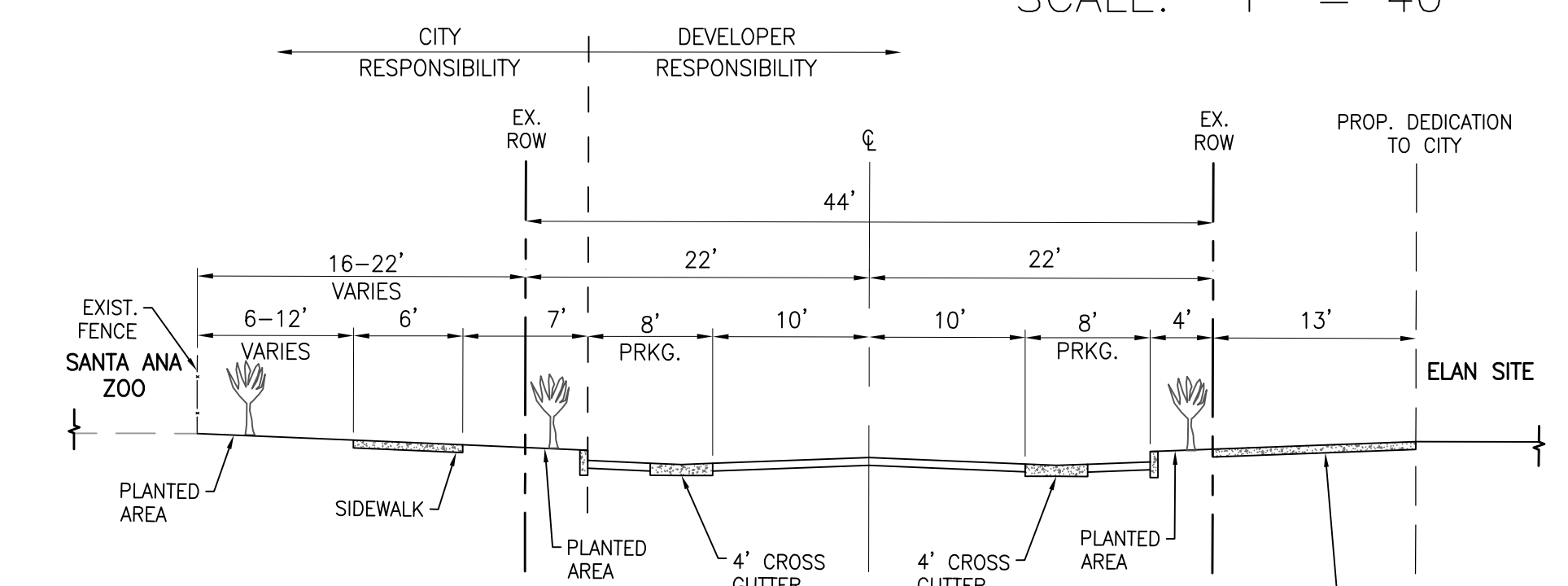
MATCHLINE SEE ABOVE RIGHT



**SECTION A-A**  
SCALE: 1" = 20'  
(EXISTING CONDITION)



**SECTION B-B**  
SCALE: 1" = 20'  
(PROPOSED CONDITION)



**SECTION C-C**  
SCALE: 1" = 20'  
(PROPOSED CONDITION)



## EXHIBIT 14

The Metro East Mixed Use (MEMU) Overlay Zone Subsequent Environmental Impact Report (SEIR) and technical appendices may be accessed at:

Santa Ana City Hall Planning Counter, First Floor  
20 Civic Center Plaza  
Santa Ana, CA 92701

or

Santa Ana Main Library  
26 Civic Center Plaza  
Santa Ana, CA 92701

or

<http://santa-ana.org/pba/planning/MetroEastMixed-UseOverlayZoneExpansion.asp>